

**Agenda**  
**Planning Commission**  
**City Of Edina, Minnesota**  
**City Hall, Council Chambers**  
**4801 West 50th Street Edina, MN 55424**  
**Wednesday, September 13, 2017**  
**7:00 PM**

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
  - A. Minutes, Planning Commission, August 30, 2017
- V. Special Recognitions And Presentations
  - A. Grandview Green: A Case Study for Lid Development In Minnesota
- VI. Public Hearings
  - A. Public Hearing: Variance Request, 5401 Blake Road
- VII. Community Comment

*During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.*

- VIII. Reports/Recommendations
  - A. 2018 Planning Commission Work Plan
- IX. Correspondence And Petitions
- X. Chair And Member Comments
- XI. Staff Comments
- XII. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an

interpreter, large-print documents or something else, please call 952-927-8861  
72 hours in advance of the meeting.



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** September 13, 2017

**Agenda Item #:** IV.A.

**To:** Planning Commission

**Item Type:**

Minutes

**From:** Jackie Hoogenakker, Planning Division

**Item Activity:**

**Subject:** Minutes, Planning Commission, August 30, 2017

Action

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### **ACTION REQUESTED:**

Please approved the August 30, 2017, Planning Commission Meeting Minutes.

### **INTRODUCTION:**

See Attached

### **ATTACHMENTS:**

Minutes, Planning Commission, August 30, 2017



Minutes  
City Of Edina, Minnesota  
Planning Commission  
Edina City Hall Council Chambers  
August 30 2017, 7:00 P.M.

**I. Call To Order**

Vice-Chair Nemerov called the meeting to order at 7:05 P.M.

**II. Roll Call**

Answering the roll were: Commissioners Hobbs, Lee, Thorsen, Strauss, Hamilton, Bennett, Berube, Acting Chair Nemerov Student Members, Jones. Staff, City Planner, Teague, Assistant Planner, Aaker, Sr. Communications Coord., Eidsness, Support Staff, Hoogenakker

Absent from the roll: Olsen and Kivimaki

**III. Approval Of Meeting Agenda**

**A motion was made by Commissioner Thorsen to approve the August 30 2017, meeting agenda. The motion was seconded by Commissioner Strauss. All voted aye. The motion carried.**

**IV. Approval Of Meeting Minutes**

**A motion was made by Commissioner Thorsen to approve the minutes of the August 16, 2017, Planning Commission meeting, The motion was seconded by Commissioner Strauss. Commissioner Lee requested changes to the minutes. All voted aye. The motion carried.**

**V. Public Hearings**

**A. Variance. 4505 Nancy Lane, Edina, MN. Setback Variance from Pond**

**Staff Presentation**

Planner Aaker reported that the subject property is located on the south side of Nancy Lane cul-de-sac consisting of a two story home with an attached two car garage. The property backs up to a ponding area. The property was converted in 2015 from a rambler to a two story home. The property is nonconforming regarding setback and required variances to convert the existing rambler into a two story home, The footprint of the home is larger than the buildable area given the required setbacks for the property. The most impinging setback on the property is the 50-foot setback required from the water body. The water body setback is within the footprint area,

so no improvements into the rear yard can be accomplished without a variance.

The homeowner would like to construct a deck from of the main floor of the home with stairs down to access the rear yard. The deck will be 281 square feet and will be located behind the garage, which is the farthest part of the home from the pond area. Given the maximum allowable lot coverage requirements, some of the existing patio area will be remove in order to accomplish the proposed deck. The homeowner had originally submitted plans for a larger deck however; it was scaled back given the maximum coverage limits. The property will be at the maximum allowable lot coverage with the proposed deck. No additional improvements may be accomplished On-site given coverage requirements.

Planner Aaker concluded that staff recommends approval of the variance based on the following findings:

1. The proposed location of the deck is reasonable given the limitations of the site. It would be located farther from the pond than the existing home.
2. The property received variances in 2015 to convert a rambler into a two-story home given the setbacks required and existing nonconforming conditions. Conditions and setbacks remain the same with no opportunity to add anything into the rear yard, (where typically a home owner would expect to be able to add onto a property).
3. The practical difficulty for the property is restrictive setbacks and nonconforming nature of the structure.
4. The proposed deck will not alter the essential character of the neighborhood. The proposed deck expansion will be above grade and will maintain a greater setback from the pond than the back corner of the house.

Approval shall also be subject to the following conditions: Plans and survey dated stamped: August 1, 2017.

### **Appearing for the Applicant**

Mark Seaberg, applicant and property owner.

### **Applicant Presentation**

Mr. Seaberg addressed the Commission and explained their intent was to construct a deck with stairs to access the rear yard from the house.

### **Comments/Questions**

Planner Aaker was asked when staff reviews plans does staff differentiate between a deck and addition. Planner Aaker responded in the affirmative. She noted a deck is not a solid structure and is usually constructed on posts, allowing flow. She added building solid living space off the rear of the home would raise different concerns.

It was noted that the property received a variance to construct the new house and at that time plans indicated a window not a door on the rear elevation. Changing the window to a door created the need for a variance allowing access the rear yard. Planner Aaker agreed that the original plans did indicate a window not door.

Chair Aaker was asked if a deck requires a storm water management plan. It was pointed out that erosion could be an issue. Planner Aaker responded that the deck did not necessitate a storm water management plan; however, that is something that could be discussed in the future. Commissioners agreed that protecting waterbodies and structures located close to waterbodies is important.

A discussion ensued with the majority of Commissioners agreeing that the variance request was reasonable and that they could support it. It was acknowledged that the applicant was aware of the restraints for this lot due to the water; however, it was pointed out the majority of homes on this pond have decks and are non-conforming.

### **Public Hearing**

David Melander 4443 Garrison Lane, addressed the Commission stating his support for the variance and the fact that many homes along this waterbody are non-conforming and have decks. He said in his opinion there should be no problem with approving this deck.

Vice-chair Nemerov asked if anyone else would like to speak to the issue. Being none; a motion was made by Commissioner Thorsen to close the public hearing. The motion was seconded by Commissioner Lee. All voted aye. The motion carried.

### **Motion**

**A motion was made by Commissioner Thorsen to approve the variance as submitted based on staff findings and subject to staff conditions. The motion was seconded by Commissioner Strauss. Ayes, Hobbs, Strauss, Hamilton, Bennett, Berube, Nemerov. Nays, Lee, Thorsen. The motion carried.**

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### **B. Variance. 7710 March Court, Edina, MN - Withdrew**

### **VI. Community Comment**

Vice-Chair Nemerov asked if anyone would like to speak during public comment. No one spoke.

**Commissioner Thorsen moved to close Community Comment. Commissioner Strauss seconded the motion. All voted aye. Community Comment closed.**

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## **VII. Reports/Recommendations**

Acting-chair Nemerov explained that the Sketch Plan process provides an applicant a venue to receive nonbinding comments from the Commission and City Council. Nemerov stated this is not a public hearing; however, if an applicant proceeds with a formal application public comments will be taken.

### **A. Sketch Plan Review – Shake Shack (NW Corner Southdale Center)**

#### **Planner Presentation**

Planner Teague reported that the Planning Commission is asked to consider a sketch plan proposal to develop the southeast corner of France Avenue & 66th Street, at Southdale. This is the last of the four corners of the Southdale site to be developed. The site is currently a paved overflow parking for the mall and Macy's.

Simon Properties is proposing to construct a 5,000 square foot Shake Shack stand-alone restaurant. No drive-through is proposed. The store would have a pedestrian entrance off France Avenue, and from the parking lot facing east.

Teague added that the site is zoned PCD-3, Planned Commercial District. The proposed use is permitted on the site. The applicant would only be requesting a site plan review with a parking stall variance. These variances have been standard practice for development on the Southdale site over the past 15 years. The City does not have a lot of discretion when reviewing this project as it is a permitted use. The applicant is still however, requesting Sketch Plan feedback on their plans prior to submittal of a formal application.

Teague concluded that a traffic study would be required to determine the impacts on adjacent roadways. The study should include an analysis of intersections, the ring road and access to the site.

#### **Appearing for the Applicant**

Clif Poynter with Simon Properties

#### **Discussion/Comments**

Commissioners provided the following comments on the Shake Shack Sketch Plan.

- Planner Teague was asked if the signage for the proposed restaurant meets code. Planner Teague responded that signage has not been reviewed; however, all signage would be required to meet ordinance requirements.
- Teague was asked who was responsible for the sidewalks and access. Teague responded he believes the developer is responsible for the sidewalks.

- Commissioners asked Planner Teague to explain parking for the Shake Shack and the reason a variance is needed. Teague explained that parking is based on the entire Southdale campus, not the individual site. Teague noted that at present Southdale is considered “under parked” thereby any new construction would require a parking variance. Teague further noted that building the restaurant also removes parking spaces.

### **Applicant Presentation**

Mr. Poynter addressed the Commission and reported that Simon is happy and excited about Shake Shack joining our campus. Poynter said Southdale Center is pleased with the continued redevelopment of its corners. Continuing, Poynter explained the current development plan includes the new 5,000 + square foot Shake Shack restaurant, reconstruction of the surface parking lot, new sidewalk connections from the public right of way to the mall and reconfiguration of nearby intersections along with the mall ring road.

Poynter said they believe the architecture of the proposed restaurant and the outdoor space is vibrant and interesting, including large windows in the restaurant to engage the public. Poynter told the Commission they are very open to increasing the landscaping and with regard to parking they are very comfortable with the parking provided on the site. Concluding, Poynter said Simon also believes this redevelopment addresses the objectives and vision of the Southdale Area District and benefits the residents and visitors to the City of Edina.

Graphics of the project were shared with the Commission.

### **Discussion/Comments**

Commissioners raised the following:

- A question was raised on the redevelopment of this corner pointing out the redevelopment is less dense than previous corner redevelopments. Poynter responded Southdale Center has a vision for their campus, adding they believe this is the highest and best use for this site. Poynter further explained that this corner is subject to visual restraints, reiterating they believe the use as proposed is good.
- It was suggested that more green space should be added to the site. Poynter reiterated they are agreeable to adding more landscaping; however, they are also trying to engage the corner and create a gathering space. He also noted that the elevation also presents some challenges.

A discussion ensued with some Commissioners questioning if the proposed use was the highest and best use for this site. Commissioners expressed surprise at the “view permission” stipulation in some of the anchor tenant leases. Commissioners indicated their belief that this corner is very valuable and high profile and while they understand Simon supports this plan it may not be the best use of the site. An opinion was also expressed that the corners do not relate well and the color pallet was not pleasing. Concluding, Commissioners said if this proceeds to formal application careful study needs to occur to ensure pedestrian safety and that the redevelopment does not negatively affect ring road circulation. Commissioners also expressed the opinion that parking probably would not be a problem.

Vice-chair Nemerov thanked the applicants for their time.

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## **B. Sketch Plan Review. Crossroads (7200 & 7250 France Avenue)**

### **Staff Presentation**

Planner Teague reported that the Planning Commission is asked to consider a sketch plan proposal to re-develop 5.2 acres of land west of France between 72nd Street West and Gallagher Drive. As proposed, at full build out, the site would include:

- 266-334 new housing units (51-64 units per acre); 3-6 stories at 7200 France and 14 stories at 7250 France. Phase 1 = 121-164 units (rental apartments); Phase 2= 145-170 units (owner occupied condominiums or rental apartments.)
- A bike and pedestrian trail is proposed through the site including a launch/landing pad for a bike/pedestrian connection over France Avenue. The applicant does NOT propose to build the bridge over France. This could be a part of the Three Rivers Park Regional Trail. The plans have been sent to Three Rivers Park for comment. The District has found that the plans would not meet their specifications for the Regional Trail.
- The applicant is proposing to comply with the City's Affordable Housing Policy including providing 20% of the total units within the project. (Up to 67 units.)

Teague explained that to accommodate the request the following is required:

- Comprehensive Plan Amendments to increase the height maximum from four stories and 48 feet to 14 stories and 180 feet; and increase the density in the OR, Office Residential District from 30 units per acre to 64 units per acre; and increase in FAR from 1.5 to 1.6; and
- A Rezoning from POD-I, to PUD, Planned Unit Development.

Teague concluded as with all sketch plan reviews; the Planning Commission is asked to provide non-binding comments and direction on a potential future development request. Areas of focus should be on the proposed land use, the appropriateness of the proposed development on this site, with a focus on the proposed density and building height.

### **Appearing for the Applicant**

Dean Dovolis, DJR Architects and Jamie Stolpestad

### **Discussion/Comments**

Commissioners raised the following:

- Planner Teague was asked the perimeters of the POD-I Zoning District. Teague responded that POD-I is primarily office use with limited retail.
- Teague was asked if the “crossover” was part of the project. Teague told the Commission the “crossover” was not part of the project.
- Teague was asked if all parking was accommodated underground. Teague responded that for the most part parking would be underground.
- Teague was asked how this proposal ties in with the timing of the Greater Southdale Small Area Plan. Teague said he believes a contract for a consultant for the plan is being negotiated and should be completed in September. Teague was asked if the west side of France Avenue was included in the Southdale Small Area Plan. Teague responded in the affirmative.

### **Applicant Presentation**

Mr. Stolpestad addressed the Commission and explained the subject site is a complicated site; however, the timing is right to present to the community a different option in living that provides a different quality of life. He added this development would tie into the regional bike trails and is perfect for commuters, pedestrians and bike enthusiasts. Stolpestad introduced Dean Dovolis to speak to elements of the project.

Dean Dovolis explained this project was designed keeping in mind the France Avenue Working Principles and Supporting Questions. With graphics, Dovolis highlighted aspects of the project as follows:

- The Subject Site(s) is a two-site parcel on the west side of France Avenue at Gallagher Drive that will be broken up into smaller areas.
- 7200 France is 3.51 acres and is proposed to be redevelopment into a 3 to 6 story, 121 to 161 housing units. A two level wellness center is also proposed.
- 7250 France Avenue is 1.68 acres and the proposed redevelopment include a 14-story building with residential over retail. The residential component is approximately 140-170 units plus retail.
- A key feature of the project is a bike/pedestrian bridge over France Avenue connecting the subject site to the East of France. This feature provides the missing link to complete the Nine Mile Creek Bike trail.

Mt. Dovolis introduced Mr. Aaron Johnson, project manager to speak to the Commission.

Johnson addressed the Commission and explained the importance of this project provides the homeowners with the opportunity to participate in active forms of transportation. Johnson delivered a power point presentation.

### **Discussion/comments**

- Staff and/or developer was asked the cost of the proposed bridge over France Avenue and who would pay for it. Dovolis responded that the cost would depend on the style and architecture of the bridge. He said he believes a “plain” bridge could cost roughly 2-million dollars; a “designed”

bridge would cost around 3-million. Dovolis added they envision the bridge as both pedestrian and bike, adding who pays for the bridge is under discussion.

- It was suggested that for the 7200 building that attention should be paid to access to grade and to better articulate the building mass to lessen the scale.
- Commissioners expressed their approval that the project reflects a commitment to sustainability. It was suggested that the applicant be dramatic in their approach to sustainability. Dovolis told Commissioners sustainability is important and they will make a conscious effort to bring it to the forefront. Dovolis added they are also doing soil studies and believe if it is sand, that they can purify their own water.
- It was suggested more green space needs to be added throughout the site. Consider green roofs. Activate the sidewalks and work on making the internal site more attractive.
- Make sure that the scale of the project is right and enhances the quality of the site.
- With regard to building height placing the height on France Avenue is best; however look at building mass and finding ways to provide open glimpses throughout the site. Tree placement will be critical to ensure visibility throughout the side.
- Commissioners stressed that the hardest piece of this project is building height. Look at unique architecture to offset height.
- Commissioners also pointed out how important neighborhood outreach is and every effort should be made to keep the neighborhood informed. Dovolis responded that they would continue holding neighborhood meetings.
- Look at the site from the residents view (Bristol neighborhood) and get that right, again it is important that the site appears open, less dense, reduce massing.
- Provide shadow studies.
- It was suggested that if a formal application is made they provide a “walk through” or “fly-over” element in the presentation.
- The development team was asked to explain what the “wellness center” is comprised of. In response, the team explained that they envision the “wellness center” to be an area that focuses on individual health and well-being. It would not be a fitness center. It is envisioned that a spa would be included in this area and physician offices (eye, etc.).
- Commissioners stated they were encouraged by the affordability component.

The discussion continued with Commissioners agreeing that the proposal is interesting; however, without more defined plans it is difficult to form a complete opinion. Commissioners agreed that the location chosen for the tallest building was best. A traffic study also needs to be completed before a decision is made. Commissioners reiterated the importance of green space on the site, walkability of the site and massing. The Commission also said at the time of formal application the development team should know more about the bridge and the sites connection to bike and walking trails. Concluding, Commissioners stressed the issue of building height.

Vice-chair Nemerov thanked the applicants for their presentation.

## **VIII. Correspondence and Petitions**

Vice-Chair Nemerov acknowledged back of packet materials.

**IX. Chair and Member Comments**

None.

**X. Staff Comments**

Planner Teague reported that study for the “Lid” continues, adding there will be meetings in early September on the “Lid”.

**XI. Adjournment**

**Commissioner Thorsen moved to adjourn the meeting of the Planning Commission at 9:50 p.m. Commissioner Strauss seconded the motion. All voted aye. The motion carried.**

Jackie Hoogenakker

**Respectfully submitted**

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## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

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**Date:** September 13, 2017

**Agenda Item #:** V.A.

**To:** Planning Commission

**Item Type:**

Other

**From:** Katie Clark Sieben, Economic Development Project  
Consultant

**Item Activity:**

**Subject:** Grandview Green: A Case Study for Lid  
Development In Minnesota

Discussion, Information

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### ACTION REQUESTED:

No Action Requested

### INTRODUCTION:

See attached PowerPoint.

### ATTACHMENTS:

PowerPoint Presentation

PDF of PowerPoint



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# **Grandview Green:**

## **A Case Study for Lid Development in MN**

September 2017

Katie Clark Sieben, Project Consultant

\*DRAFT for Preliminary Discussion Purposes



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# Today's Agenda

- Edina's Grandview District
- The Grandview Green Project:
  - Concept
  - Feasibility Study Findings
  - Five Year Vision
  - The Partnership
- Next Steps



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## Why Grandview Green?

- ▶ Reconnect neighborhoods and communities divided by Highway 100
    - Reestablishes street grids, safe pedestrian walkways and bicycle paths
    - Provides new green space for community programming and social events
  - ▶ Increases economic productivity:
    - Of airspace above Highway 100
    - Of land adjacent to Highway 100
  - ▶ Enhances sustainability practices through increased storm water collection, potential solar installations, etc.
  - ▶ Serves as a case study for lid development in Minnesota
-

# MN Green Lid Outcomes



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	Neighborhood Connectivity	Economic Development	Green Space	Transportation / Parking
Longfellow Gardens, Minneapolis			X	
ABC Ramps, Minneapolis				X
Fort Snelling, Saint Paul			X	
JW Marriott at MOA, Bloomington		X		
Leif Erickson Park, Duluth	X		X	
Grandview Green, Edina	X	X	X	X

...also serves as a case study to uncover how we leverage unused public land to spur private development!



# 2012 Grandview District Development Framework



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- ▶ Create a place with a unique identity announced by signature elements like: an iconic ‘gateway’, a central commons, serves the neighborhood’s needs, innovative 21<sup>st</sup> century sustainability approach
- ▶ Completely rethink and reorganize the District’s transportation infrastructure to: make the district accessible to pedestrians and cyclists, provide automobile friendly access to convenience retail and preserve future transit opportunities consistent with the district’s envisioned character
- ▶ Leverage public resources to make incremental value-creating changes that enhance the public realm and encourage voluntary private redevelopment consistent with the vision that improves the quality of the neighborhood for residents, businesses, and property owners



# 2016 Grandview District Transportation Study



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## ► Short Term Changes (0–5 Years)

- **Pedestrian crossing** and intersection improvements for Vernon and Eden Avenues
- Conversion of two **off-ramps from Highway 100**
- Reconfiguration of Arcadia Avenue along former Public Works site to **accommodate pedestrians and bikers**

## ► Mid Term Changes (5–15 Years)

- Vernon and Eden Avenues converted to **support bikes, pedestrians, greenspace and traffic management**
- Added infrastructure **to support bicycling** on Eden Avenue over Highway 100
- **Enhanced bus stops**
- New frontage road **providing southbound access to Highway 100 and development parcels** on west side of Highway 100
- **Improved parking**

## ► Long Term Changes (15–30 Years)

- **New pedestrian and cyclist connection** over Highway 100 to City Hall
  - New frontage road providing **northbound access to Highway 100 and development parcels** on east side of Highway 100
  - Direct connection for **high capacity transit line** and **new district parking** on the former public works site
-

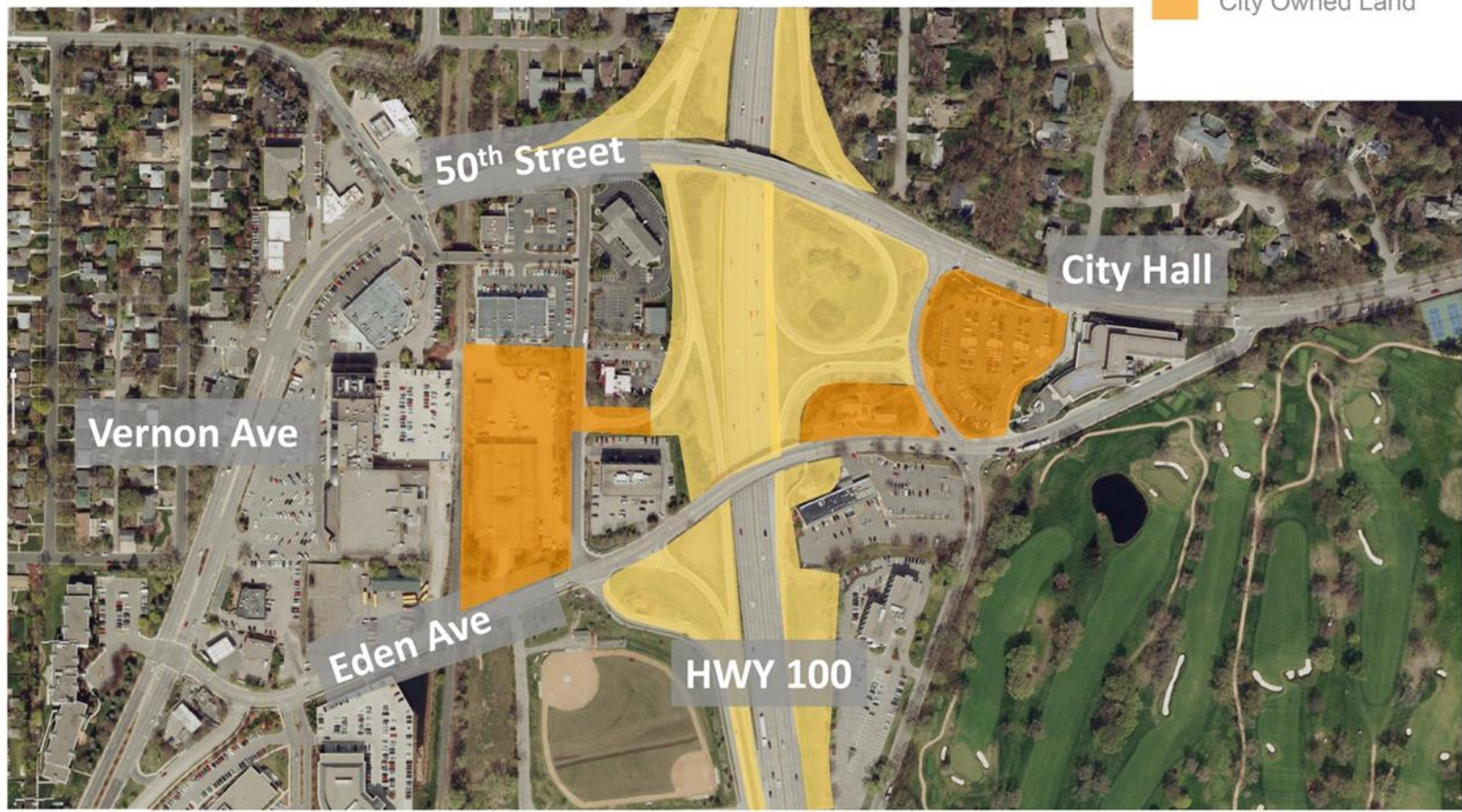
# Grandview Green Feasibility Study



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- ▶ In summary, the May 2017 feasibility study found:
    - **No major fatal flaws** in the development of a green lid over limited portions of Highway 100.
    - This concept has the potential to create approximately **13 acres of new buildable land** on 16 parcels.
    - The area has the potential to support **2,525 new parking spaces** and an additional **2.4 million square feet in private development**.
    - After completion, property tax revenue is projected to increase from approx. **\$2 million to \$100 million**.
    - There is a dramatic range in the level of public investment that could be needed for this project:
      - **\$6.7 million** for the construction of one lid segment (another est. \$2.3 million for design, landscaping, etc.)
      - **\$70–90 million** if both lid segments, new roads and off-ramps and public parking ramps are constructed
    - Several public entities could potentially be involved in this project – MnDOT, the Metropolitan Council, Hennepin County, the City of Edina and possibly others.
    - The initial economic analysis predicts the public investment will realize a **348% return on investment** over a fifteen year period (assumes a public investment of \$37 million).
-

# Grandview Green Land Ownership

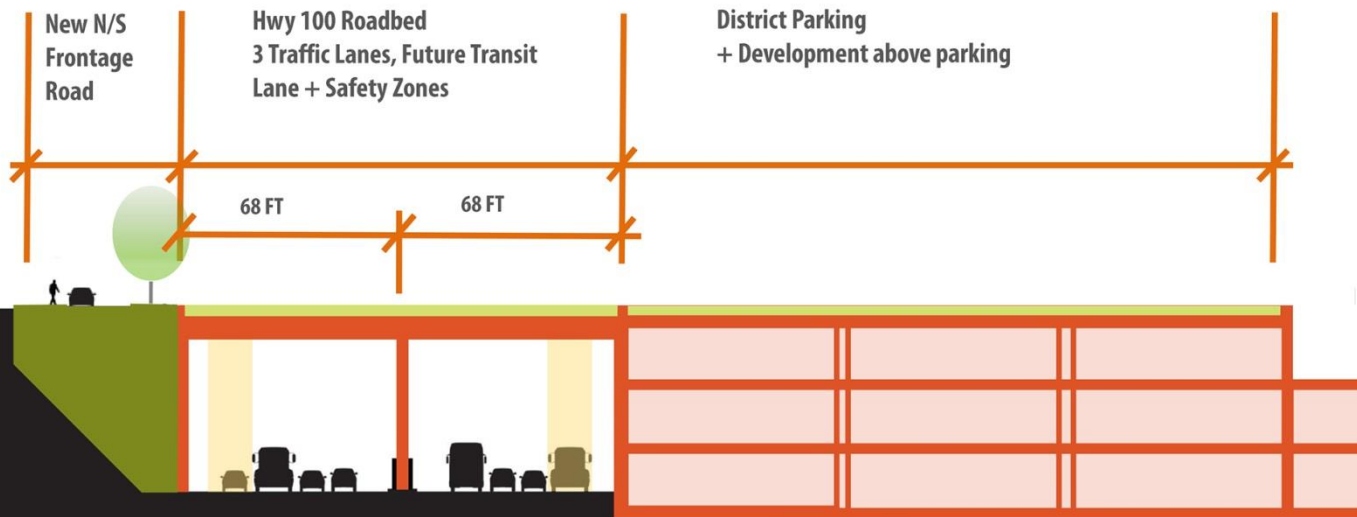


Grandview Green

# Proposed Highway 100 Lid Section

East West Site Section

Redevelopment Zone



# Grandview Green Concept Parcels

<b>Parcel 1</b>	Approx. 27,000 SF
<b>Parcel 2</b>	Approx. 27,000 SF
<b>Parcel 3</b>	Approx. 46,000 SF
<b>Parcel 4</b>	Approx. 57,000 SF
<b>Pavilion 5a</b>	Approx. 2,000 SF
<b>Parcel 5b</b>	Approx. 11,000 SF
<b>Parcel 6</b>	Approx. 21,000 SF
<b>Parcel 7a</b>	Approx. 26,000 SF
<b>Parcel 7b</b>	Approx. 20,000 SF
<b>Parcel 8</b>	Approx. 17,000 SF
<b>Parcel 9</b>	Approx. 31,000 SF
<b>Parcel 10</b>	Approx. 85,000 SF
<b>Parcel 11</b>	Approx. 50,000 SF
<b>Parcel 12</b>	Approx. 86,000 SF
<b>Parcel 13</b>	Approx. 150,000 SF
<b>Parcel 14</b>	Approx. 34,000 SF Redevelopment site with Parcel 7b
<b>Parcel 15</b>	Redevelopment
<b>Parcel 16</b>	Redevelopment

**Total Parcels    13 Acres**



# Grandview Green Public Infrastructure

## New Roads

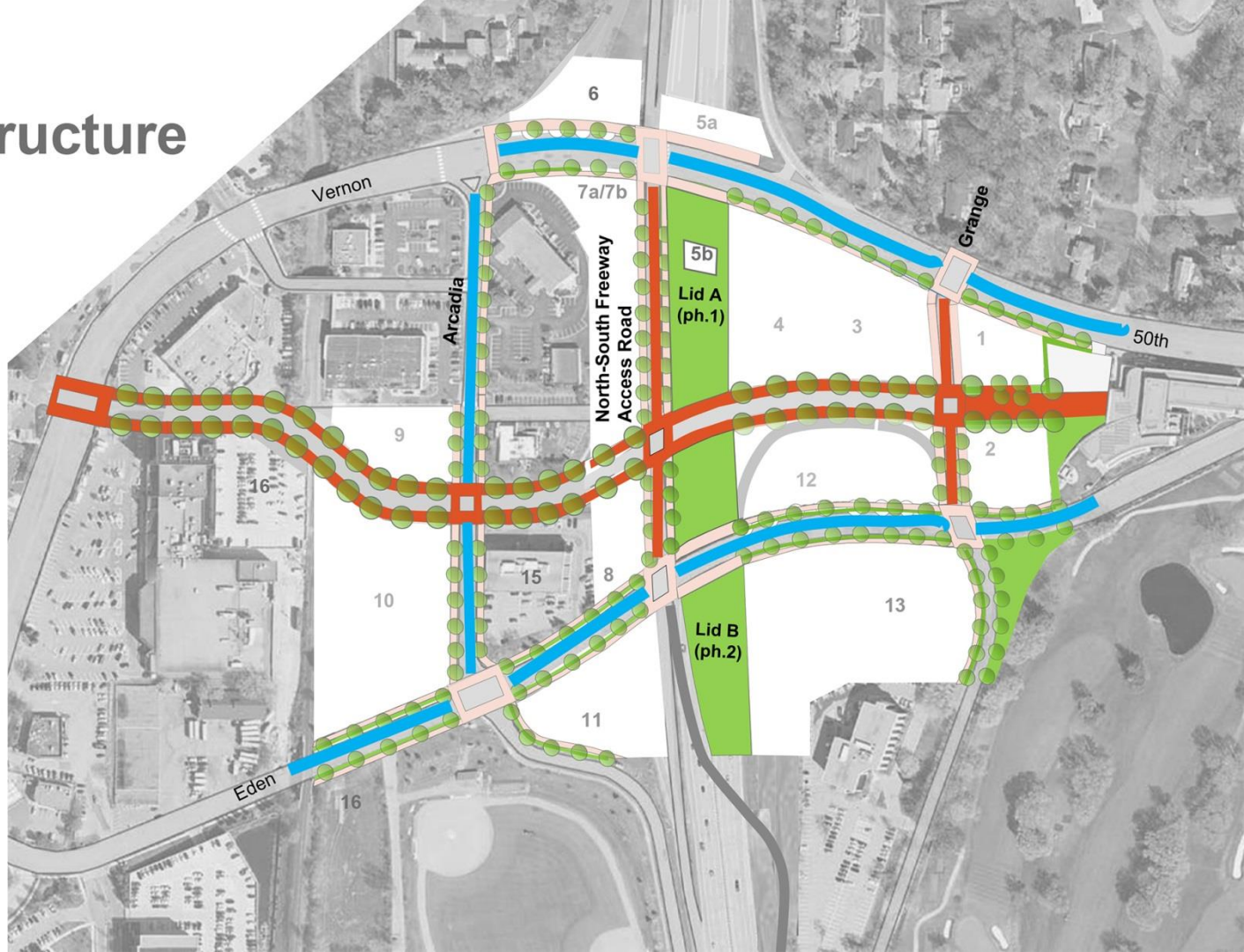
- Central Main Street (New)
- North South Freeway Access (New)
- Grange (New alignment)

## Public Realm Improvements

- Arcadia
- Eden
- 50<sup>th</sup>

## Lids + Green

- Lid A 42,000SF
- Lid B 36,000SF



# Grandview Green Road Alignments



New Intersections



Intersections Removed



Impact on Existing  
Properties

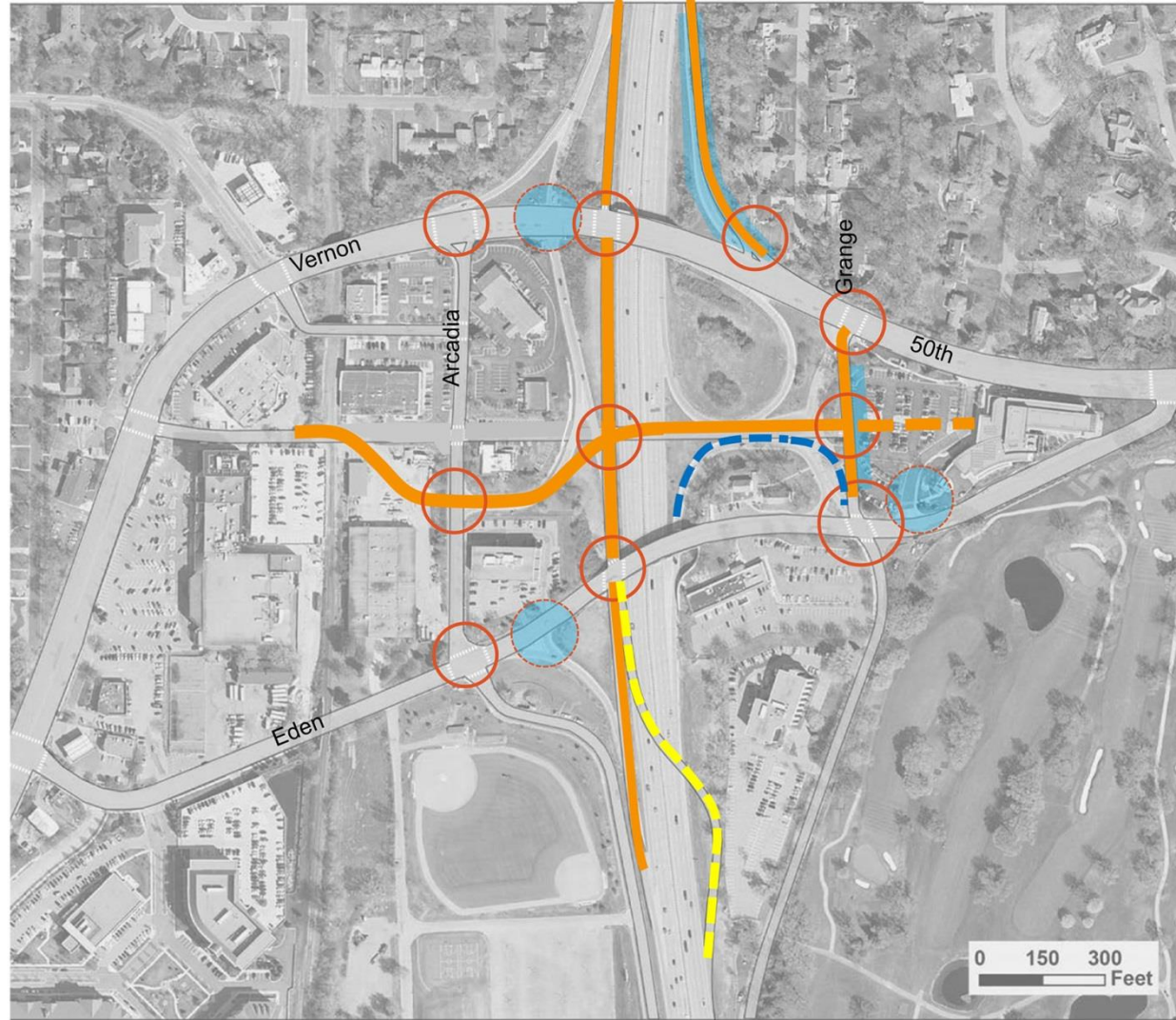


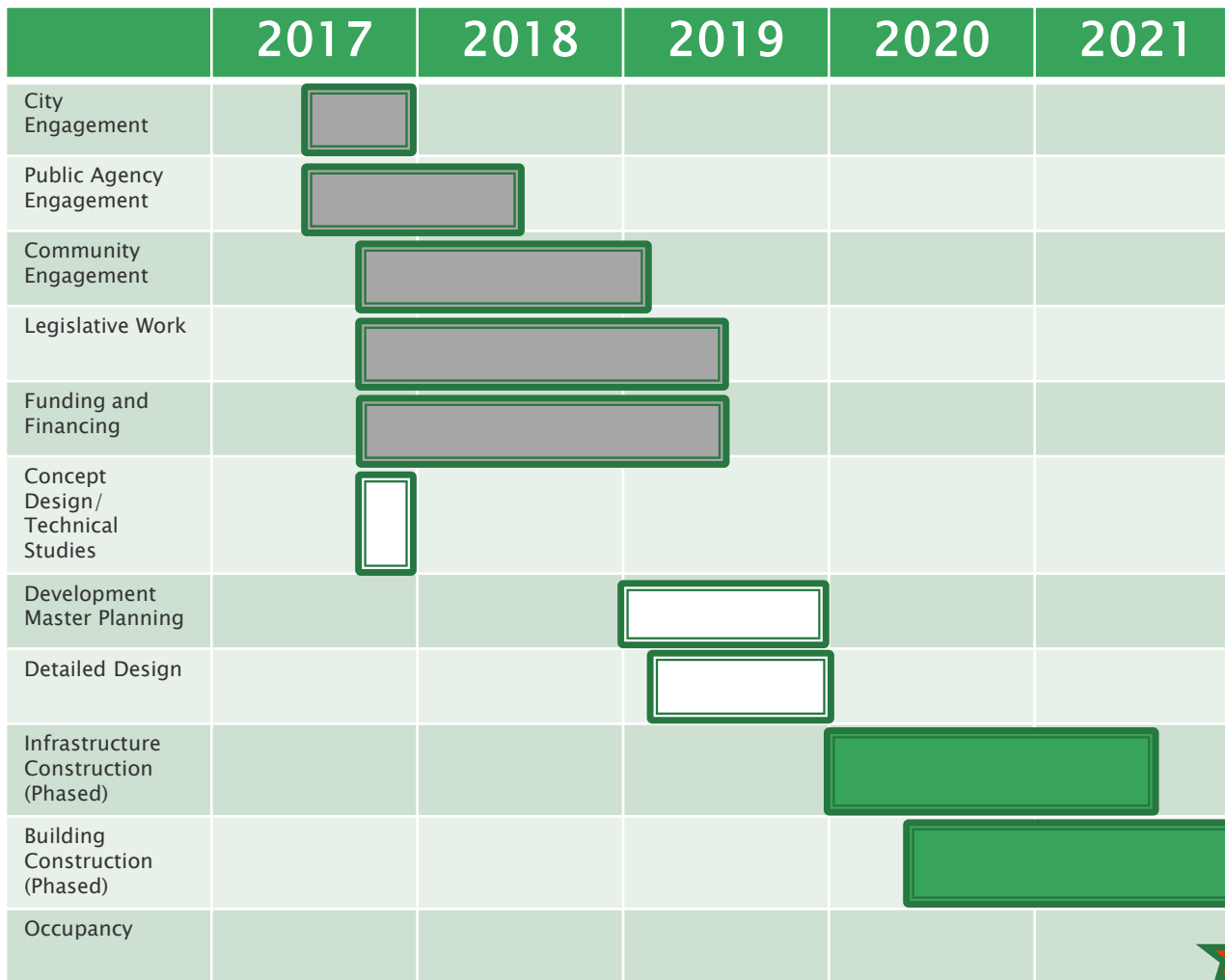
Phase 1 Access from  
Northbound Hwy 100



Phase 2 Access from  
Northbound Hwy 100

Architecture Field Office

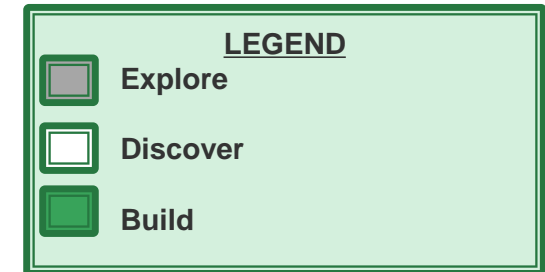




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## Grandview Green 5 Year Vision

- Infrastructure Construction Begins: 2020
- Building Construction Begins: Mid 2020
- Occupancy Begins: 2022



# The Grandview Green Partnership... will continue to grow!



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## Next Steps:

### ► Fall 2017:

- Roadshow Presentations for City Commissions
- Urban Land Institute Technical Assistance Panel
- Launch Four Exploratory Technical Studies:
  - Transportation
  - Utilities
  - Sustainability
  - Market Research
- Community Visioning Sessions with Businesses, Neighborhoods, Schools and Churches

### ► January 2018:

- Grandview Green Update to Edina HRA
-



**DRAFT**

September 2017



**DRAFT**  
September 2017

# Contact Information



The CITY of  
**EDINA**

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# **Grandview Green:**

## **A Case Study for Lid Development in MN**

September 2017

Katie Clark Sieben, Project Consultant

\*DRAFT for Preliminary Discussion Purposes



The CITY of  
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# Today's Agenda

- Edina's Grandview District
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  - Concept
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## Why Grandview Green?

- ▶ Reconnect neighborhoods and communities divided by Highway 100
    - Reestablishes street grids, safe pedestrian walkways and bicycle paths
    - Provides new green space for community programming and social events
  - ▶ Increases economic productivity:
    - Of airspace above Highway 100
    - Of land adjacent to Highway 100
  - ▶ Enhances sustainability practices through increased storm water collection, potential solar installations, etc.
  - ▶ Serves as a case study for lid development in Minnesota
-



# MN Green Lid Outcomes



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	Neighborhood Connectivity	Economic Development	Green Space	Transportation / Parking
Longfellow Gardens, Minneapolis			X	
ABC Ramps, Minneapolis				X
Fort Snelling, Saint Paul			X	
JW Marriott at MOA, Bloomington		X		
Leif Erickson Park, Duluth	X		X	
Grandview Green, Edina	X	X	X	X

...also serves as a case study to uncover how we leverage unused public land to spur private development!



# 2012 Grandview District Development Framework



The CITY of  
EDINA

- ▶ Create a place with a unique identity announced by signature elements like: an iconic ‘gateway’, a central commons, serves the neighborhood’s needs, innovative 21<sup>st</sup> century sustainability approach
- ▶ Completely rethink and reorganize the District’s transportation infrastructure to: make the district accessible to pedestrians and cyclists, provide automobile friendly access to convenience retail and preserve future transit opportunities consistent with the district’s envisioned character
- ▶ Leverage public resources to make incremental value-creating changes that enhance the public realm and encourage voluntary private redevelopment consistent with the vision that improves the quality of the neighborhood for residents, businesses, and property owners



# 2016 Grandview District Transportation Study



The CITY of  
**EDINA**

## ► Short Term Changes (0–5 Years)

- **Pedestrian crossing** and intersection improvements for Vernon and Eden Avenues
- Conversion of two **off-ramps from Highway 100**
- Reconfiguration of Arcadia Avenue along former Public Works site to **accommodate pedestrians and bikers**

## ► Mid Term Changes (5–15 Years)

- Vernon and Eden Avenues converted to **support bikes, pedestrians, greenspace and traffic management**
- Added infrastructure **to support bicycling** on Eden Avenue over Highway 100
- **Enhanced bus stops**
- New frontage road **providing southbound access to Highway 100 and development parcels** on west side of Highway 100
- **Improved parking**

## ► Long Term Changes (15–30 Years)

- **New pedestrian and cyclist connection** over Highway 100 to City Hall
  - New frontage road providing **northbound access to Highway 100 and development parcels** on east side of Highway 100
  - Direct connection for **high capacity transit line** and **new district parking** on the former public works site
-



The CITY of  
**EDINA**

# Grandview Green Feasibility Study

- ▶ In summary, the May 2017 feasibility study found:
    - **No major fatal flaws** in the development of a green lid over limited portions of Highway 100.
    - This concept has the potential to create approximately **13 acres of new buildable land** on 16 parcels.
    - The area has the potential to support **2,525 new parking spaces** and an additional **2.4 million square feet in private development**.
    - After completion, property tax revenue is projected to increase from approx. **\$2 million to \$100 million**.
    - There is a dramatic range in the level of public investment that could be needed for this project:
      - **\$6.7 million** for the construction of one lid segment (another est. \$2.3 million for design, landscaping, etc.)
      - **\$70–90 million** if both lid segments, new roads and off-ramps and public parking ramps are constructed
    - Several public entities could potentially be involved in this project – MnDOT, the Metropolitan Council, Hennepin County, the City of Edina and possibly others.
    - The initial economic analysis predicts the public investment will realize a **348% return on investment** over a fifteen year period (assumes a public investment of \$37 million).
-

# Grandview Green Land Ownership

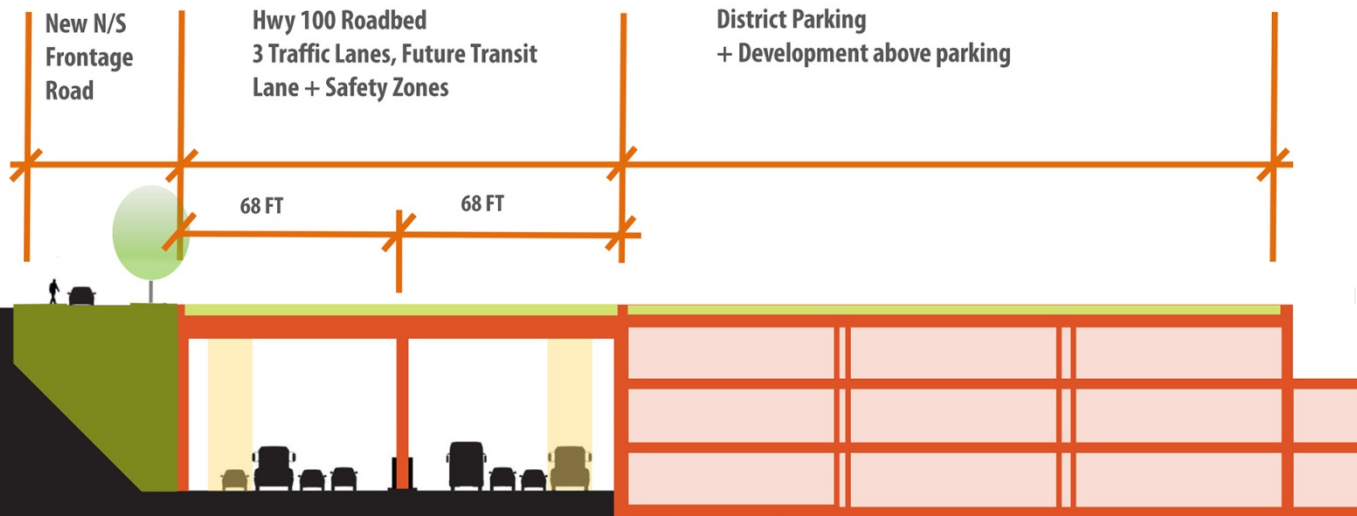


Grandview Green

# Proposed Highway 100 Lid Section

East West Site Section

Redevelopment Zone



# Grandview Green Concept Parcels

<b>Parcel 1</b>	Approx. 27,000 SF
<b>Parcel 2</b>	Approx. 27,000 SF
<b>Parcel 3</b>	Approx. 46,000 SF
<b>Parcel 4</b>	Approx. 57,000 SF
<b>Pavilion 5a</b>	Approx. 2,000 SF
<b>Parcel 5b</b>	Approx. 11,000 SF
<b>Parcel 6</b>	Approx. 21,000 SF
<b>Parcel 7a</b>	Approx. 26,000 SF
<b>Parcel 7b</b>	Approx. 20,000 SF
<b>Parcel 8</b>	Approx. 17,000 SF
<b>Parcel 9</b>	Approx. 31,000 SF
<b>Parcel 10</b>	Approx. 85,000 SF
<b>Parcel 11</b>	Approx. 50,000 SF
<b>Parcel 12</b>	Approx. 86,000 SF
<b>Parcel 13</b>	Approx. 150,000 SF
<b>Parcel 14</b>	Approx. 34,000 SF Redevelopment site with Parcel 7b
<b>Parcel 15</b>	Redevelopment
<b>Parcel 16</b>	Redevelopment

**Total Parcels    13 Acres**



# Grandview Green Public Infrastructure

## New Roads

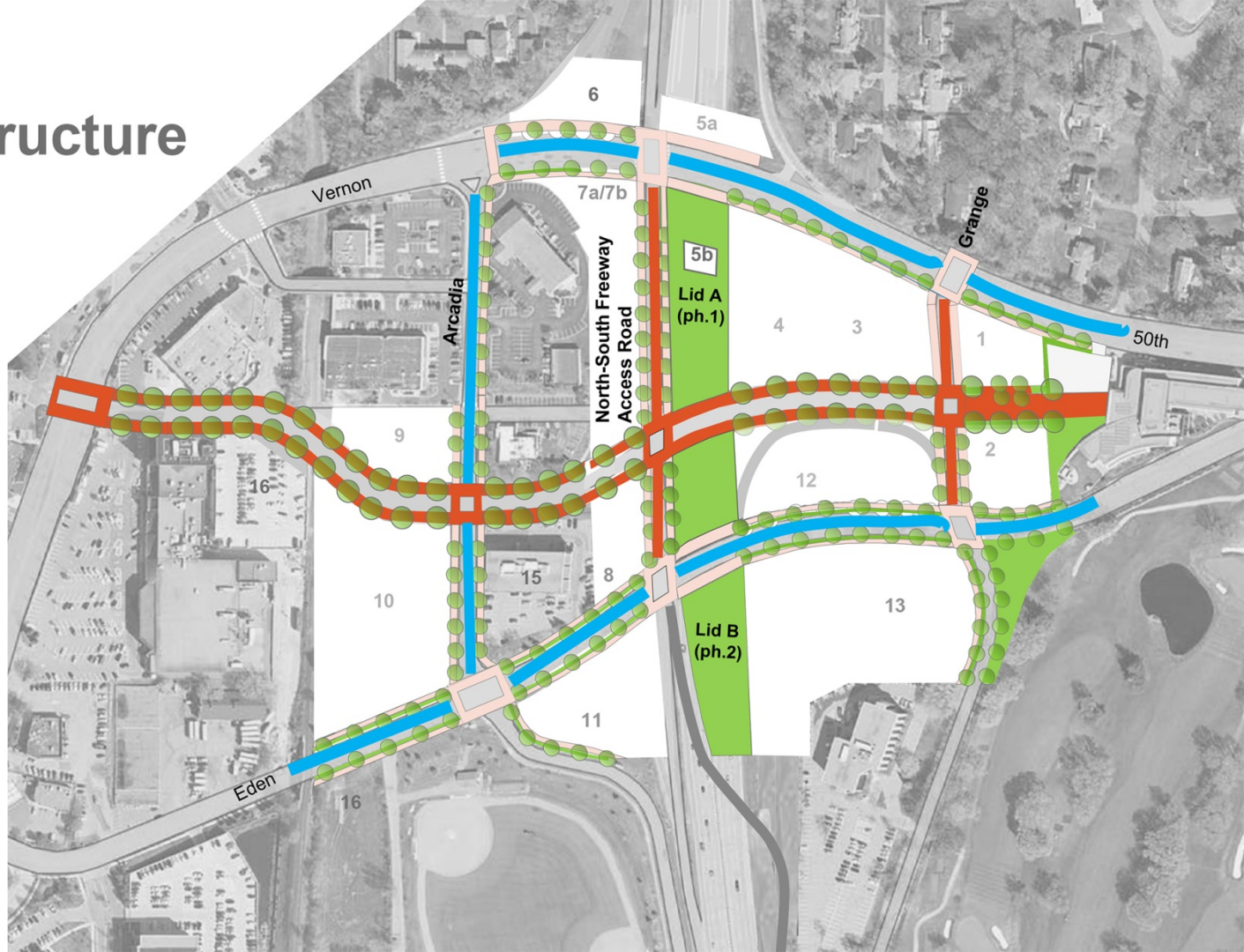
- Central Main Street (New)
- North South Freeway Access (New)
- Grange (New alignment)

## Public Realm Improvements






- Arcadia
- Eden
- 50<sup>th</sup>

## Lids + Green

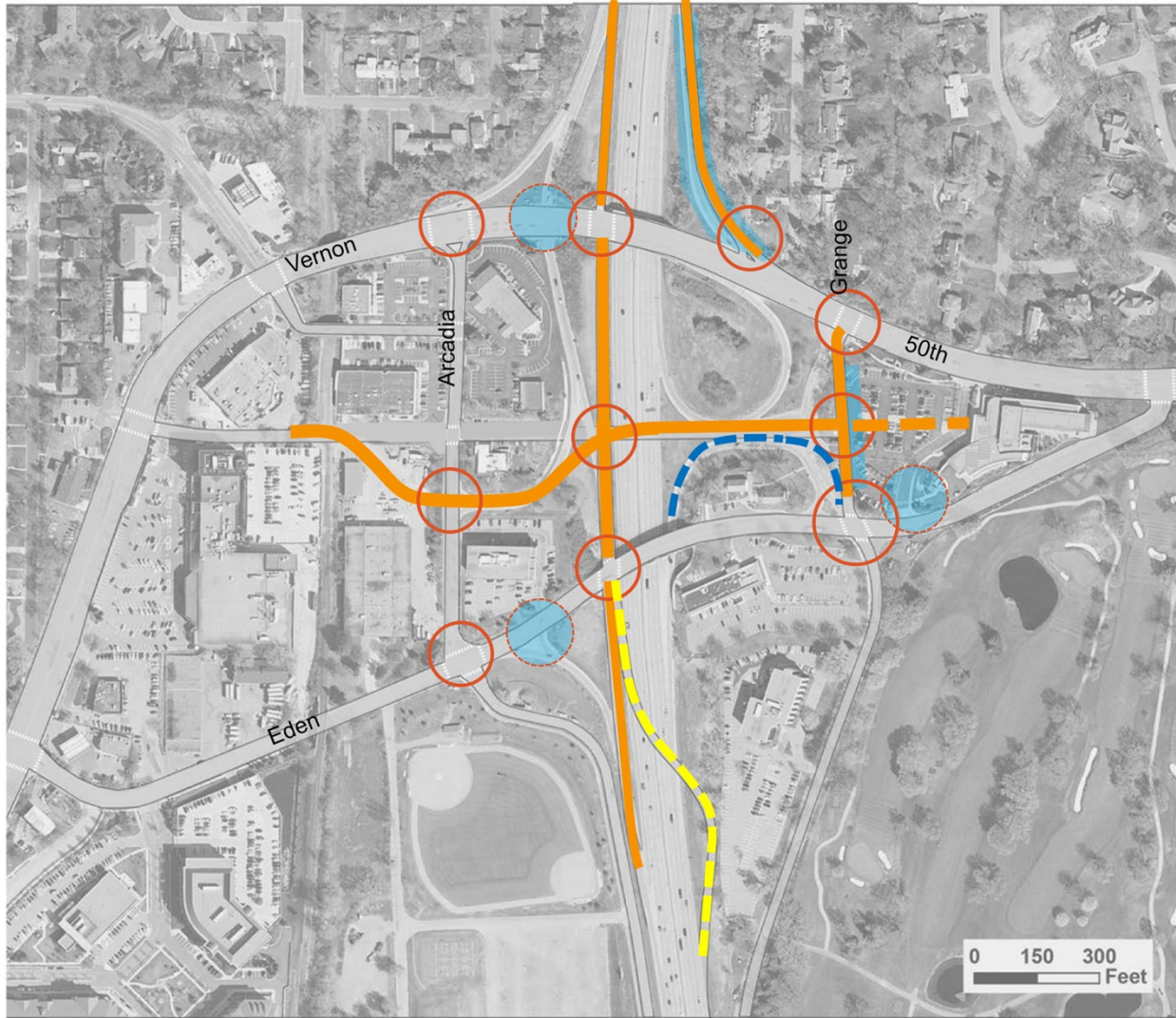
- Lid A 42,000SF
- Lid B 36,000SF

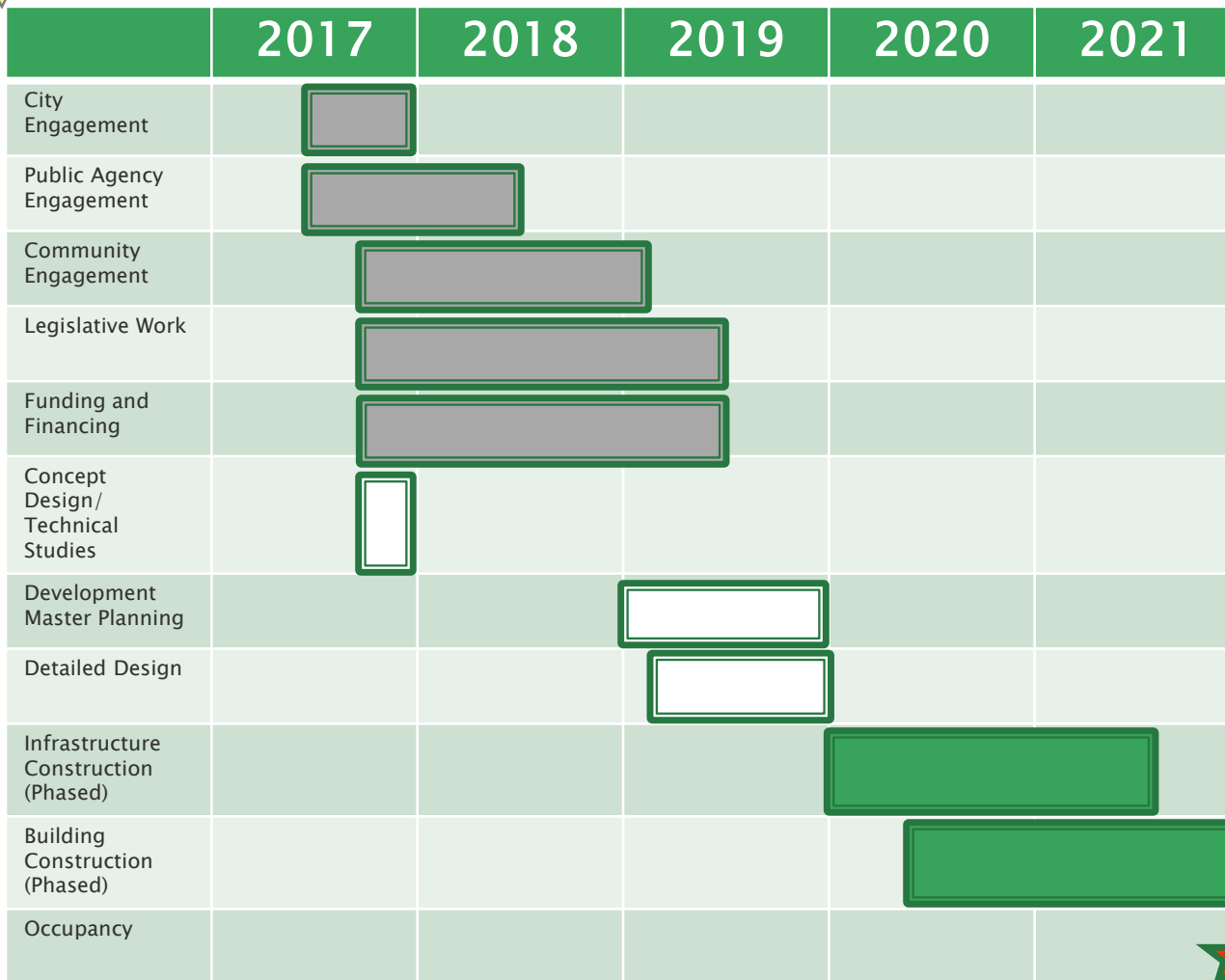


# Grandview Green Road Alignments

-  New Intersections
-  Intersections Removed
-  Impact on Existing Properties
-  Phase 1 Access from Northbound Hwy 100
-  Phase 2 Access from Northbound Hwy 100

Architecture Field Office

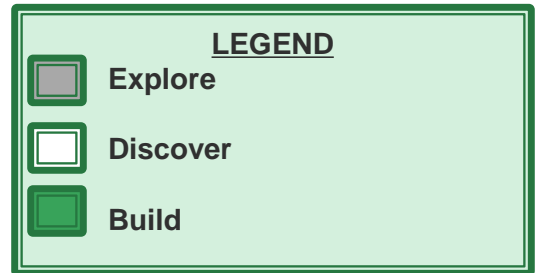




The CITY of  
**EDINA**

## Grandview Green 5 Year Vision

- Infrastructure Construction Begins: 2020
- Building Construction Begins: Mid 2020
- Occupancy Begins: 2022



# The Grandview Green Partnership... will continue to grow!



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**EDINA**

## Next Steps:

### ► Fall 2017:

- Roadshow Presentations for City Commissions
- Urban Land Institute Technical Assistance Panel
- Launch Four Exploratory Technical Studies:
  - Transportation
  - Utilities
  - Sustainability
  - Market Research
- Community Visioning Sessions with Businesses, Neighborhoods, Schools and Churches

### ► January 2018:

- Grandview Green Update to Edina HRA
-



**DRAFT**

September 2017



**DRAFT**  
September 2017

# Contact Information



The CITY of  
**EDINA**

## **Katie Clark Sieben**

Economic Development Project  
Consultant

[Ksieben@edinamn.gov](mailto:Ksieben@edinamn.gov)

612-655-5199

## **Bill Neuendorf**

Economic Development Manager

[Bneuendorf@edinamn.gov](mailto:Bneuendorf@edinamn.gov)

952-491-1143



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** September 13, 2017

**Agenda Item #:** VI.A.

**To:** Planning Commission

**Item Type:**

Report and Recommendation

**From:** Emily Bodeker, Assistant City Planner

**Item Activity:**

**Subject:** Public Hearing: Variance Request, 5401 Blake Road

---

### **ACTION REQUESTED:**

Approve the variance as requested.

### **INTRODUCTION:**

The property is located at 5401 Blake Road. The request is for a 3.1 foot first floor elevation variance at a new home located at 5401 Blake Road/6105 Pine Grove Road.

### **ATTACHMENTS:**

Staff Report and Applicant Submittal



August 7, 2017

Ms. Kris Aaker  
Assistant City planner  
City of Edina  
4801 W. 50<sup>th</sup> St.  
Edina, MN 55424

RE: Variance Request for 5401 Blake Road (future Address: 6100 Pine Grove Road)

Dear Ms. Aaker,

Please find attached the following information as part of the Variance Request package:

1. Executed Variance Application (6 pages).
2. Variance Check Fee in the amount of \$450.
3. Hennepin County Property Map – JMS Custom Homes, LLC (illustrating ownership).
4. Pine Grove Road Lot Pictures (15 pages).
5. 9 Mile Creek letter dated May 1, 2017, approving NMCWD Permit 2017-58 Home Construction (4 pages).
6. Existing Conditions Survey dated 9/12/12, illustrating the previous home location.
7. Proposed New Survey / Variance Exhibit dated 8/4/17, illustrating new proposed home location.
8. Proposed House Plans dated 7/31/17 last revision date (18 pages).
9. Perspective Drawings dated 8/4/17, illustrating the previous existing and proposed conditions, including the adjacent homes (3 pages).
10. Previous Existing and Proposed Stormwater Calculations dated 8/4/17 (2 pages).
11. Stormwater Management Plan (Construction) and Details dated 8/4/17 (2 pages).

**Project Description**

JMS Custom Homes, is proposing to construct a new single family home at 5401 Blake Road, Edina (Note: future address 6100 Pine Grove Road). Currently, the property is vacant with an existing curb cut off of Pine Grove Road. The previous home faced west and the main driveway access was off of Blake Road and a secondary driveway access from Pine Grove Road. The proposed new home will face north and the main access will be off of Pine Grove Road. This allows a safer driveway egress and ingress vs the previous driveway access location from Blake Road. The proposed home is guided to be one of our 2018 Spring Preview Parade Homes. The new home is a 2 level with a total of 5,475 square feet (including the basement square footage).

As illustrated the lot area is 18,221 square feet. All the proposed building setbacks are met per the R1 Zoning District. This includes the driveway access distance from the corner of Pine Grove and Blake Roads, per discussions with Charlie Gerk, Engineering Department. The proposed survey reflects his requested change to flip the neck of the driveway.

JMS Custom Homes is requesting a variance from Section 36-439 – Special Requirements, Item (8) a. b. c. d., which states: Additions to, or replacement of, single dwelling unit buildings with a first floor elevation of more than one foot above the existing first floor elevation of the existing dwelling unit building require a variance...

As to the specific items referenced in Section (8), a. b. c. and d., below are the reasonableness and unique circumstances of this variance request.

- a. Not Applicable. Property is not a flood plain.
- b. Yes. The street elevation at the old driveway from Blake Road (940.1) is about 3.5 feet lower than the new driveway off of Pine Grove Road (943.6). As such, the proposed house will sit higher than 1' above the existing floor elevation due to the existing grade elevations / constraints on this lot. The existing grade elevations are lower in the proposed location of the home / garage than the existing grade elevations along Pine Grove Road. The storm water must drain away from the proposed house / garage (floor elevation 945) to the existing street of Pine Grove Road (street elevation of 943.6). Due to the surrounding setback requirements the proposed driveway length is +/- 70' with minimal slope elevation to the Pine Grove Road of 2.6%. As further illustrated by the proposed survey, the property characteristics are unique due to the topography changes from east to west and slopes downward to the south. Along Pine Grove Road the curb line elevation is fairly the same drops 1'. However, the elevation along Blake Road from north to south drops 4.2'. The attached pictures illustrate the existing topography constraints on this property. Finally, having the proposed access off of Pine Grove Road provides an ingress and egress that is much safer to the public vs the old access off of Blake Road. Note: the City eliminated the old direct access from Blake Road when it was reconstructed.
- c. Yes. Please see the attached proposed house plans. The required and construction methods have changed over time, since this section of ordinance has been adopted, such as: 2' joist construction vs 1' from curb.
- d. Yes. The proposed home will fit in the character of the neighborhood. The existing surrounding neighborhood contains one and two level homes. The uniqueness of this neighborhood is that it offers a wide range of home styles and choices that consumers can choose from. In the market place the 2 story home is most desired to raise a family. The proposed home will not exceed the height requirement of 35', the proposed height

Ms. Kris Aaker  
August 7, 2017  
Page 3

is 32'. The proposed home will provide a neighborhood sense of entry into the immediate area with existing one and two level homes that are decades in age to new homes that have been recently built within the last 2 years. In addition, to the home styles in this neighborhood area, the maturity of the trees that surround this corner lot will provide a natural look that would be complimentary to the proposed two level home.

Therefore, the reasonableness and unique circumstance of our Variance request is in a reasonable manner that will not alter the character in the immediate area / neighborhood.

Thank you for this opportunity to illustrate to the City that our Variance request will be in character of the neighborhood and is in harmony with the general purposes and intent of the City Ordinances. JMS Custom Homes has built many homes in the Edina over the years that have provided great benefits to the community.

Warm Regards,



Tom Bakritges  
Director of Land Development

CC: Mike Swanson, VP of Construction and Operations  
Tim Brown, VP and Director of Finance  
Gary Eidson, Attorney at Law - Fabyanske, Westra, Hart & Thomson





# Hennepin County Property Map

Date: 7/26/2017



PARCEL ID: 3211721220037

OWNER NAME: Jms Custom Homes Llc

PARCEL ADDRESS: 5401 Blake Rd S, Edina MN 55436

PARCEL AREA: 0.42 acres, 18,267 sq ft

A-T-B: Abstract

SALE PRICE: \$362,167

SALE DATA: 09/2012

SALE CODE: Excluded From Ratio Studies

ASSESSED 2016, PAYABLE 2017

PROPERTY TYPE: Vacant Land-Residential

HOMESTEAD: Non-Homestead

MARKET VALUE: \$327,700

TAX TOTAL: \$5,656.48

ASSESSED 2017, PAYABLE 2018

PROPERTY TYPE: Vacant Land-residential

HOMESTEAD: Non-homestead

MARKET VALUE: \$344,000

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN  
COUNTY 2017



Facing south, located on Pine Grove Road, existing driveway to be used for construction purposes only. Also in the picture is the adjacent house to the south addressed 5405 Blake Road.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing SW on the corner of Blake Road and Pine Grove Road.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing NE from Blake Road, looking at Pine Grove Road and the adjacent home to the east.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing east from the existing sidewalk along Blake Road. This photo also illustrates the challenging topography on this lot.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing east from Blake Road, illustrating the topography adjacent to the existing home towards the south.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing east from Blake Road near the south rear property line, illustrating the topography slope from north to south.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing SE from Blake Road along the rear lot line. This photo also illustrates the topography from Pine Grove Road and Blake Road.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing NE towards Pine Grove Road at the SW corner of the lot. This photo illustrates the grade elevation from Pine Grove Road which is higher than the Blake Road elevation.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing north at the SW corner of the lot. The new sidewalk section with curb, illustrates the previous driveway access from Blake Road.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing south along Blake Road, illustrating the new section of concrete sidewalk / curb. This photo also illustrates the topography sloping downward to the SW corner of the lot.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing NE from the corner of Pine Grove Road and Blake Road, illustrating the adjacent home / mature trees to the north.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing south along the east property line off of Pine Grove Road. This photo also illustrates the existing home directly to the south, at the highest elevation point on the Pine Grove Road lot.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing SW from Pine Grove Road. This photo also illustrates the topography from north to south to the existing home along the south property line.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing west along Pine Grove Road.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



Facing SE from the east property line along Pine Grove Road. This photo illustrates the adjacent home to the east with many mature trees along the east boundary line from the Pine Grove Road lot.



A. Nine Mile Creek Discovery Point  
12800 Gerard Dr.  
Eden Prairie, MN 55346  
P. (952) 204-9690  
W. [www.ninemilecreek.org](http://www.ninemilecreek.org)

**BOARD OF MANAGERS**

Steve Kloiber  
Corrine Lynch  
Louise Segreto  
Jodi Peterson  
Maressia Twele

May 1, 2017

Lucas Dose  
JMS Custom Homes, LLC  
525 15<sup>th</sup> Ave S  
Hopkins, MN 55343

**RE: NMCWD Permit 2017-58 Home Construction, 6100 Pine Grove Rd; Edina**

Dear Mr. Dose:

Attached is the Nine Mile Creek Watershed District permit for the above referenced project. Also attached is a copy of the District's General Permit Conditions that are applicable for the project.

If you have any questions, please contact me at (952) 835-2078 or Bob Obermeyer, District Engineer at (952) 832-2857.

Sincerely,

Randy Anhorn  
District Administrator

C: Charlie Gerk, City of Edina

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA

Permit #: 2017-5  
Project Name: Home Construction, 6100 Pine Grove Rd; Edina  
Approval Date: May 1, 2017

General Provisions

1. All temporary erosion control measures shown on the erosion and sedimentation control plans must be installed prior to commencement of surface or vegetation alteration and be maintained until completion of construction and vegetation is established as determined by NMCWD.  
  
If silt fence is used, the bottom flap must be buried and the maximum allowable spacing between posts is 4-foot on center. All posts must be either 2-inch x 2-inch pine, hardwood, or steel fence posts. If hay bales are used, all bales must be staked in place and reinforced on the downstream side with snow fence.
2. All areas altered because of construction must be restored with seed and disced mulch, sod, wood fiber blanket, or be hard surfaced within two weeks after completion of land alteration and no later than the end of the permit period.
3. Upon final stabilization, the permit applicant is responsible for the removal of all erosion control measures installed throughout the project site.
4. At the entryway onto the site, a rock filter dike being a minimum of two feet in height and having maximum side slopes of 4:1 must be constructed. This rock filter dike will enable construction traffic to enter the site and also provide an erosion control facility.
5. If dewatering is required and sump pumps are used, all pumped water must be discharged through an erosion control facility prior to leaving the construction site. Proper energy dissipation must be provided at the outlet of the pump system.
6. The NMCWD must be notified a minimum of 48 hours prior to commencement of construction.
7. The NMCWD, its officers, employees and agents review, comment upon, and approve plans and specifications prepared by permit applicants and their consultants for the limited administrative purpose of determining whether there is reasonable assurance that the proposed project will comply with the regulations and criteria of the NMCWD. The determination of the NMCWD that issuance of this permit is appropriate was made in reliance on the information provided by the applicant.
8. The grant of this permit shall not in any way relieve the permittee, its engineer, or other professional consultants of responsibility, nor shall it make the NMCWD responsible for the technical adequacy of the engineer's or consultant's work. The grant of this permit shall not relieve the permittee from complying with all conditions and requirements of the permit which shall be retained by the permittee with the permit.
9. The issue of this permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
10. This permit is permissive only. No liability shall be imposed upon the NMCWD or any of its officers, agents or employees, officially or personally, on account of the granting of this permit or on account of any damage to any person or property resulting from any act or omission of the permittee or any of its agents, employees, or contractors.

11. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly-owned lands or improvements or interests, the permittee, before proceeding therewith, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property, rights, and interest.
12. The permit is transferable only with the approval of the NMCWD (see NMCWD Rule 1.0). The permittee shall make no changes, without written permission previously obtained from the NMCWD, in the dimensions, capacity, or location of any items of work authorized by this permit.
13. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the NMCWD for inspection of the work authorized by this permit.
14. This permit may be terminated by the NMCWD at any time deemed necessary in the interest of public health and welfare, or for violation of any of the provisions of this permit.
15. Construction work authorized under this permit shall be completed on or before date specified above. The permittee may, in writing, request that the NMCWD extend the time to complete the project in accordance with NMCWD Rule 1.0.

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



### Permit No. 2017-58

Is hereby issued to the Lucas Dose, JMS Custom Homes, LLC, subject to the conditions specified in the attached form.

For NMCWD Permit 2017-5 Home Construction, 6100 Pine Grove Road; Edina

A handwritten signature in blue ink, appearing to read 'Randy Anhorn', is written over a horizontal line.

Randy Anhorn, Administrator














This permit expires on: May 1, 2018

Located in the NW 1/4 of  
Sec. 32, Twp. 117, Rge. 21

# Existing Conditions Survey for: JMS CUSTOM HOMES, LLC

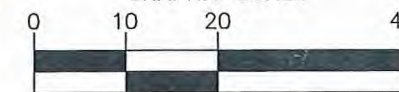
House Address:  
5401 Blake Road, Edina, MN

## LEGEND

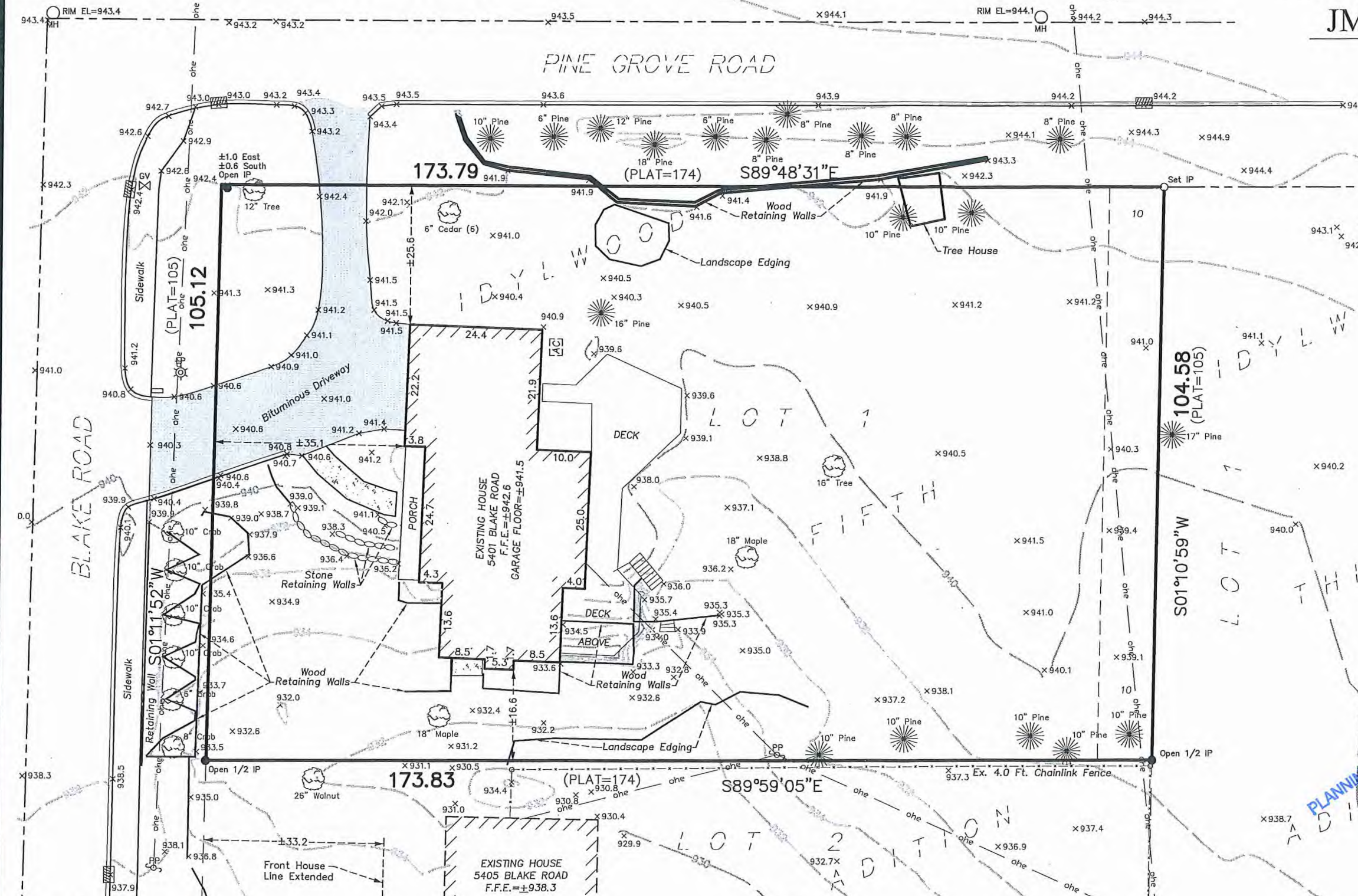
-  Denotes Existing Manhole
-  Denotes Existing Power Pole
-  Denotes Existing Overhead Utility Line(s)
-  Denotes Existing Fence
-  Denotes Existing Bituminous Surface
-  Denotes Existing Concrete Surface
-  Denotes Existing Elevation
-  Denotes Utility Easement, per Final Plat
-  Denotes Found Iron Monument
-  Denotes Set Iron Monument Marked with R.L.S. 40361
-  Denotes Existing Contour
-  Denotes Existing Elevation
-  Denotes Existing Gate Valve



Bearings shown are assumed  
GRAPHIC SCALE



(IN FEET)




## NOTES:

- Only VISIBLE improvements were located as part of this survey.
- Surveyed property contains ±18,221 sq. ft.
- Surveyed property is zoned R-1, per the City of Edina Zoning Map.
- Existing First Floor Elevation = ±942.6.
- BENCHMARK: Top Nut of Hydrant located at the northwest corner of Blake Road and Parkwood Road. Elevation=940.45 (NGVD 29) - per the City of Edina.

I hereby certify to JMS Custom Homes, LLC, that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.  
Dated this 12th day of September, 2012.

Signed: Carlson McCain, Inc.

By:   
Thomas R. Balluff, L.S. Reg. No. 40361

**Carlson  
McCain**

ENVIRONMENTAL • ENGINEERING • SURVEYING

248 Apollo Dr, Suite 100, Lino Lakes, MN 55014  
Phone: 763-489-7900 Fax: 763-489-7959

## PARCEL DESCRIPTION (PER HENNEPIN COUNTY TAX RECORDS):

Lot 1, Block 1, IDYLLWOOD FIFTH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Subject to all easements of record, if any.

(Abstract Property)

Located in the NW 1/4 of  
Sec. 32, Twp. 117, Rge. 21

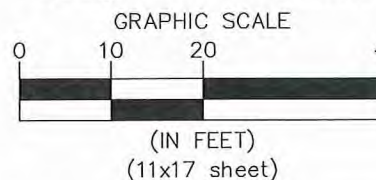
# Variance Exhibit JMS CUSTOM HOMES, LLC

House Address:  
6100 Pine Grove Road, Edina, MN

## LEGEND

- MH Denotes Existing Manhole
- ⊕ PP Denotes Existing Power Pole
- ohe — Denotes Existing Overhead Utility Line(s)
- - - - - Denotes Existing Fence
- x 000.0 Denotes Existing Elevation
- Denotes Utility Easement, per Final Plat
- Denotes Found Iron Monument
- Denotes Set Iron Monument Marked with R.L.S. 40361
- 919- Denotes Existing Contour
- 919- Denotes Proposed Contour
- ⊗ Denotes Existing Gate Valve

Bearings shown are assumed



Total Lot Area.....±18,221 sq. ft.  
Gross Building Area.....±3,542 sq. ft.  
House Foundation.....±2,981 sq. ft.  
Front Porch Entry (without stairs).....±171 sq. ft.  
Front Porch at Garage.....±24 sq. ft.  
Rear Porch.....±144 sq. ft.  
Deck.....±222 sq. ft.  
Building Coverage.....±19.4%

## PROPOSED BUILDING ELEVATIONS

Lowest Floor Elevation: 936.29  
Lookout Elevation: 939.49  
Top of Foundation Elevation: 946.25  
Garage Slab Elevation (at door): 945.0  
First Floor Elevation: 946.7  
(Previous FFE=942.6)



ENVIRONMENTAL • ENGINEERING • SURVEYING

248 Apollo Dr, Suite 100, Lino Lakes, MN 55014  
Phone: 763-489-7900 Fax: 763-489-7959

## PARCEL DESCRIPTION (PER HENNEPIN COUNTY TAX RECORDS):

Lot 1, Block 1, IDYLWOOD FIFTH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Subject to all easements of record, if any.

(Abstract Property)

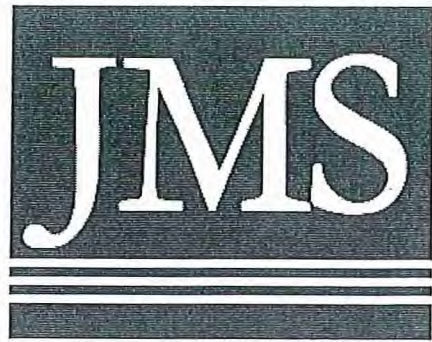
## NOTES:

1. Only VISIBLE improvements were located as part of this survey.
2. Surveyed property is zoned R-1, per the City of Edina Zoning Map.
3. BENCHMARK: Top Nut of Hydrant located at the northwest corner of Blake Road and Parkwood Road. Elevation=940.45 (NGVD 29) - per the City of Edina.
4. Owner to verify sewer depth.

I hereby certify to JMS Custom Homes, LLC. that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Dated this 4th day of August, 2017. Signed: Carlson McCain, Inc.

By: DRAFT  
Thomas R. Balluff, L.S. Reg. No. 40361  
Peter J. Blomquist, L.S. Reg. No. 51676



JMS Custom Homes

DEVELOPMENT:  
PLAN:

6100 PINE GROVE  
EDINA, MN.

LOT:  
BLOCK:

VISION STATEMENT

JMS aspires to be recognized and respected as the builder-of-choice for discerning families seeking to invest in a home that best fits their lifestyle and reflects who they are as individuals; creating healthy and low maintenance homes that enrich, enhance and simplify their lives.

Our clients choose JMS because we offer the most sensible way to build through a value rich, streamlined process:

Exceptional craftsmanship, thoughtful current design elements featuring leading edge amenities and the newest technology to meet and exceed client's expectations.

Smart functional design that facilitates ease in everyday living with comfort and style.

Respect for and understanding of a client's budget with a concierge level of service that ensures a fun, exciting, efficient, on-budget and on-time construction process.

Environmentally sensitive green and energy-efficient features that reduce household operating expenses and increase safety for years to come.

Design standards that focus on a safe and healthy indoor environment with quality construction to protect the client and their long-term investment (greatest value for dollar invested).

KEY:

- \*ALL DIMENSIONS FROM OUTSIDE OF FRAMING TO CENTER OF FRAMING OR EDGE OF STUD TO EDGE OF STUD. (SHEATHING IS NOT FACTORED IN) NOTED DIMENSIONS TAKE PRECEDENT OVER SCALED NOTES.
1. DOUBLE STUDS MIN. UNDER ALL BEAMS, ONE STUD MORE THAN THE NUMBER OF PLYS MAKING UP THE BEAM OR GIRDER.
  2. ALL EXTERIOR WALLS AND GARAGE WALLS 2x6. ALL INTERIOR WALLS 2x4 UNLESS OTHERWISE NOTED.
  3. ALL WINDOW & DOOR HEADERS TO BE FRAMED ON TOP OF EACH UNIT UNLESS OTHERWISE NOTED.
  4. ALL BEAMS TO BE CALLED OUT DROPPED OR FLUSH PER LOCATION.
  5. NON BEARING WALL STUDS SHALL BE 2"x4" SPF STUD GRADE
  6. PROVIDE BACKING FOR STAIR SKIRT BOARDS AT LANDING. PROVIDE BACKING FOR HANDRAILS AND HANDRAIL BRACKETS. PROVIDE BLOCKING AT NEWEL POST UNDER FLOOR BETWEEN JOISTS. PROVIDE 2x10 OR 2x12 BLOCKING FOR ALL PED. SINKS 28"-32" OFF FLOOR.
  7. PROVIDE BLOCKING TO WALLS PERPENDICULAR TO ROOF TRUSSES FOR SHEETROCK APPLICATION.
  8. DOOR BETWEEN GARAGE AND RESIDENCE TO BE APPROVED 20-MIN. FIRE-RATED DOOR.
  9. FIRE RATED SEPARATION BETWEEN GARAGE AND HABITABLE SPACE 5/8" TYPE "X" GYP. BOARD WALLS AND CEILING.
  10. ALL INTERIOR PREHUNG DOORS TO BE OFFSET 4" FROM INSIDE OF CORNERS OF A ROOM TO START OF DOOR OPENING UNLESS OTHERWISE NOTED BY DIMENSIONS.
  11. ALL INTERIOR PREHUNG DOORS TO HAVE A TYPICAL R.O. HEADER HEIGHT OF 6'-10 1/2". ADD 2" R.O. ON WIDTH FOR ALL DOORS. UNLESS OTHERWISE NOTED.
  12. ALL INTERIOR BI-PASS DOORS TO HAVE A TYPICAL R.O. HEADER HEIGHT OF 6'-10 1/2". DOOR SIZE ON WIDTH FOR ALL DOORS. UNLESS OTHERWISE NOTED.
  13. PROVIDE CONTINUOUS HANDRAIL 34"-38" HIGH AT STAIRWAY. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 6'-8" AT STAIRWAY. PROVIDE TREATED PLATES UNDER ALL STAIR STRINGERS.
  14. STAIRS: 7 3/4" MAXIMUM RISE, 10" MINIMUM RUN. GUARD RAILS TO BE SPACED SUCH THAT A 4" SPHERE MAY NOT PASS THROUGH AT ANY POINT.
  15. HOUSEWRAP TO BE USED AS EXTERIOR WIND WASH BARRIER. ALL SEAMS MUST BE SEALED. ALL EXTERIOR WALL SHEATHING PENETRATIONS MUST BE SEALED.
  16. CAULK AND FLASH AT ALL EXTERIOR OPENINGS.
  17. INSTALL DRIP CAP ON TOP OF ALL EXTERIOR OPENINGS.
  18. BRG. STUDS: SPF STUD GRADE OR ENGINEERED FINGER JOINTED (NOT FOR HORIZONTAL BEARING APPL.) NON BRG. STUDS: SPF STUD GRADE OR ENGINEERED FINGER JOINTED (NOT FOR HORIZONTAL BEARING APPL.) PLATES: SPF #3
  19. ALL EXTERIOR PENETRATIONS TO HAVE BLOCKING AROUND FIXTURE FOR INSTALLATION OF EXTERIOR TRIM APPLICATION.
  20. DRAFTSTOPPING IS REQUIRED WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED DOES NOT EXCEED 1,000 SQ. FT. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROX. EQUAL AREAS. (IRC-R502.12)
  21. PROVIDE A GUARDRAIL AT A HEIGHT OF NOT LESS THAN 36" & HAVE INTERMEDIATE RAILS SUCH THAT A 4" SPHERE WILL NOT PASS THROUGH.
  22. 8'-2" CEILING HEIGHT AT BASEMENT UNLESS OTHERWISE NOTED.
  23. GARAGE PLATE HEIGHT TO MATCH HOUSE UNLESS NOTED.
  24. 9'-1 1/8" CEILING HEIGHT AT FIRST FLOOR UNLESS OTHERWISE NOTED.
  25. 8'-1 1/8" CEILING HEIGHT AT SECOND FLOOR UNLESS OTHERWISE NOTED.
  26. FINGER JOINTED STUDS AT KITCHEN WALLS.

SHEET INDEX

CS	COVER SHEET
A1.1	EXTERIOR ELEVATIONS
A1.2	EXTERIOR ELEVATIONS
A2.0	LOWER LEVEL PLAN
A2.1	MAIN LEVEL FLOOR PLANS
A.SD	MAIN LEVEL SIDEWALK/DRIVEWAY LAYOUT
A2.2	UPPER LEVEL FLOOR PLANS
A3.1	ROOF PLAN
A3.2	BUILDING SECTIONS
A3.3	BUILDING SECTIONS
A3.4	BUILDING SECTIONS
S1.1	FOUNDATION DETAILS
S1.2	FOUNDATION DETAILS
A4.1	DETAILS
A4.2	DETAILS
A5.0	LL ELECTRICAL FLOOR PLAN
A5.1	ML ELECTRICAL FLOOR PLAN
A5.2	UL ELECTRICAL FLOOR PLAN

AREA SCHEDULE

LOWER LEVEL FLOOR	1715
MAIN LEVEL FLOOR	1945
UPPER LEVEL FLOOR	1815
TOTAL SQ. FT.	5475
SCREEN PORCH SQ. FT.	144
GARAGE	1032
HOUSE WIDTH	90'
HOUSE DEPTH	59'



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Builder Lic. BC392462

6100 PINE GROVE  
EDINA, MN

SITE ADDRESS

LOT	BLOCK
1	1
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	IBD SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.31.2017	IBD SET #1
06.28.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

PLANS PREPARED  
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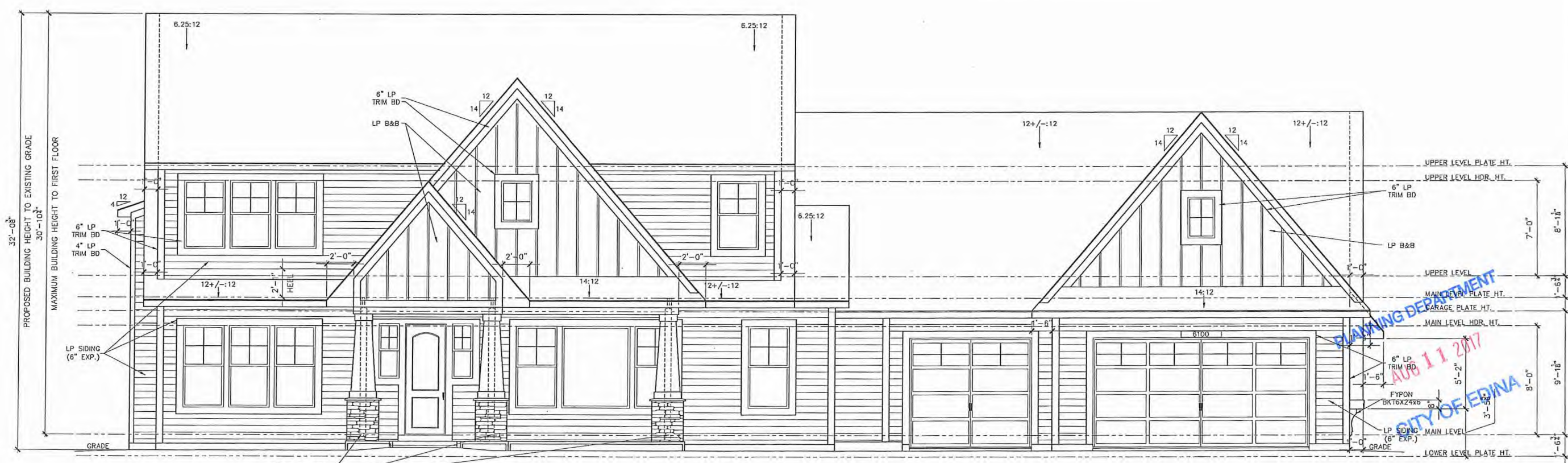
DATE 04.05.2017

PAGE CS



REAR ELEVATION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)

- ELEVATION NOTES:**
- \*-SOFFIT: CUT-TO WIDTH ON RAKES, CUT-TO WIDTH ON EAVES 3/8" VENTED
  - \*-FASCIA: STEEL CUT-TO WIDTH, SIDERS EDGE
  - \*-SHINGLES: 30 YEAR CERTAINTED ARCHITECTURAL SHINGLES
  - \*-ROOF AND PLUMBING VENTS TO BACK OF ELEVATION
- PENETRATION BLOCKS: LP FABRICATED ON SITE (PROPORTIONAL TO FIXTURE) PROVIDE ALL NECESSARY FLASHING



FRONT ELEVATION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



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# 6100 PINE GROVE EDINA, MN

## SITE ADDRESS

LOT	BLOCK
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
04/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
05/02/2017	CAD PLAN #1
05/11/2017	CAD PLAN #1
05/31/2017	BID SET #1
06/26/2017	CONST SET #1
07/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

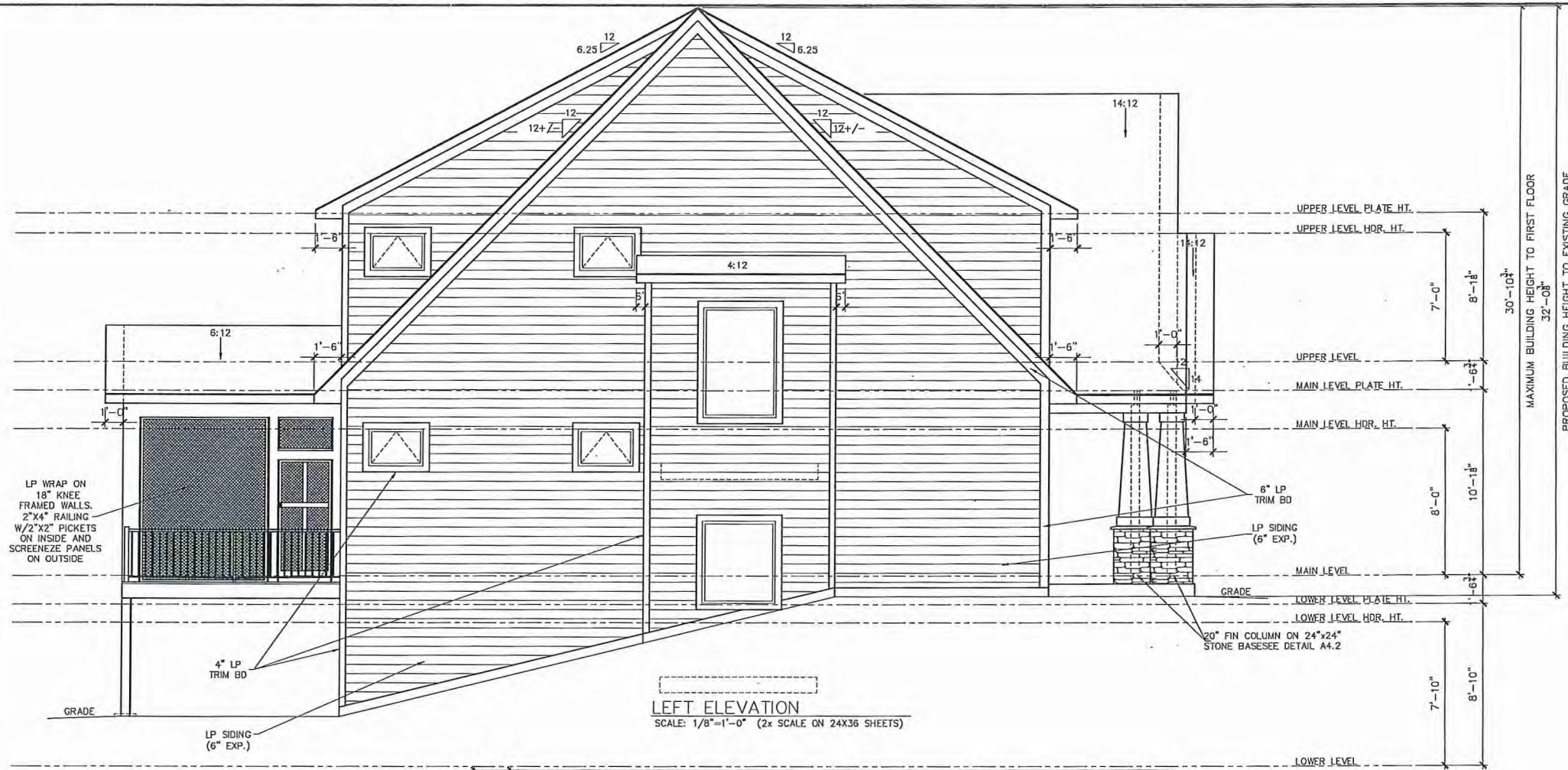
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LEFT ELEVATION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



RIGHT ELEVATION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)

#### ELEVATION NOTES:

- \*-SOFFIT: CUT-TO WIDTH ON RAKES, CUT-TO WIDTH ON EAVES 3/8" VENTED
  - \*-FASCIA: STEEL CUT-TO WIDTH, SIDERS EDGE
  - \*-SHINGLES: 30 YEAR CERTAINTED ARCHITECTURAL SHINGLES
  - \*-ROOF AND PLUMBING VENTS TO BACK OF ELEVATION
- PENETRATION BLOCKS: LP FABRICATED ON SITE (PROPORTIONAL TO FIXTURE) PROVIDE ALL NECESSARY FLASHING



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## 6100 PINE GROVE EDINA, MN

#### SITE ADDRESS

LOT	BLOCK
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.31.2017	BID SET #1
06.26.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	

#### APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

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# 6100 PINE GROVE EDINA, MN

## SITE ADDRESS

LOT	BLOCK
1	1
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
04/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/28/2017	BID SET #1
05/07/2017	CAD PLAN #1
05/11/2017	CAD PLAN #1
05/31/2017	BID SET #1
08/26/2017	CONST SET #1
09/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

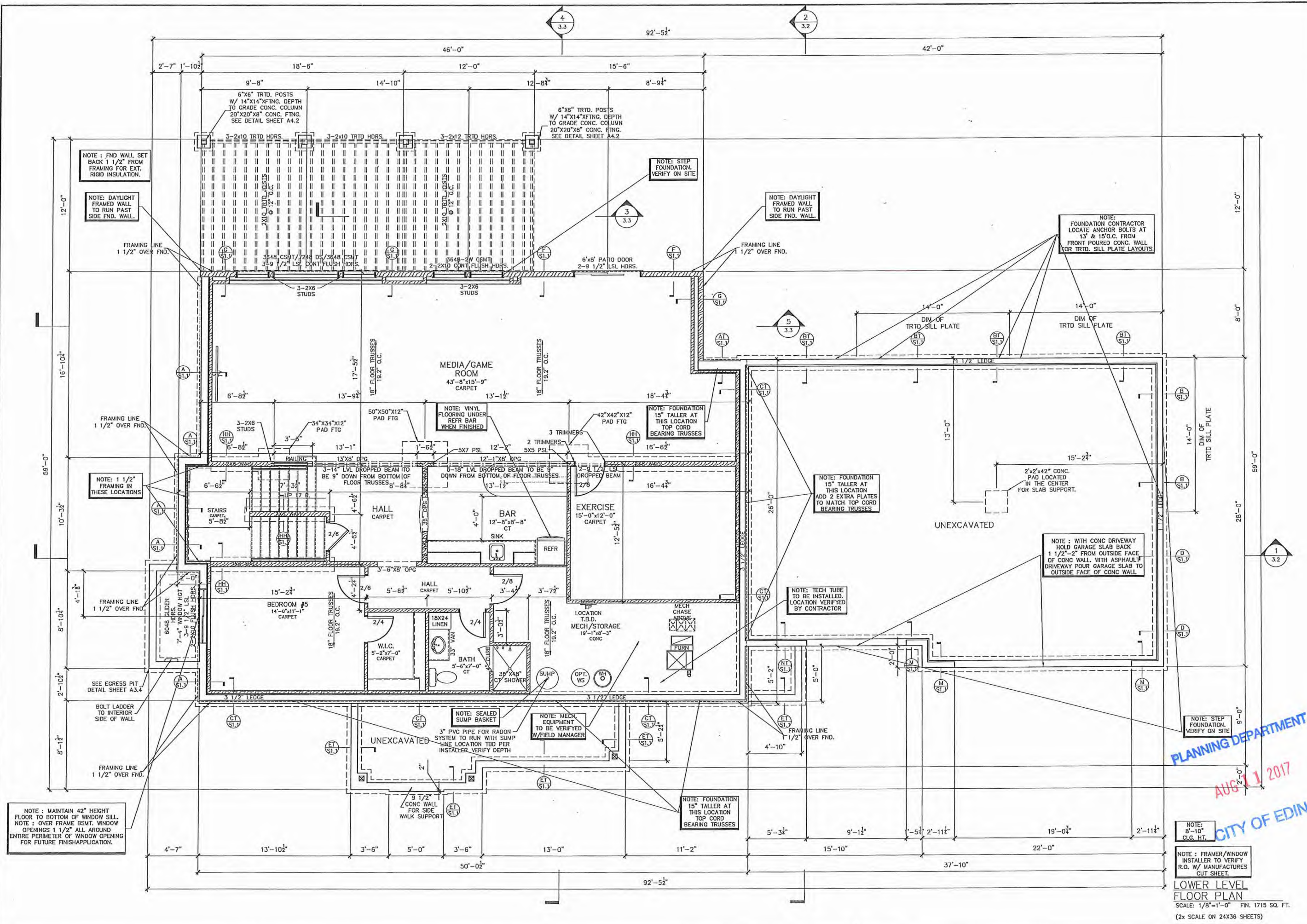
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PLANNING DEPARTMENT  
AUG 1 2017  
CITY OF EDINA

LOWER LEVEL  
FLOOR PLAN  
SCALE: 1/8"=1'-0" FIN. 1715 SQ. FT.  
(2x SCALE ON 24X36 SHEETS)



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# 6100 PINE GROVE EDINA, MN

## SITE ADDRESS

LOT	BLOCK
1	3.2
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
04/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
05/02/2017	CAD PLAN #1
05/21/2017	BID SET #1
05/21/2017	CAD PLAN #1
05/21/2017	BID SET #1
05/26/2017	CONST SET #1
07/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

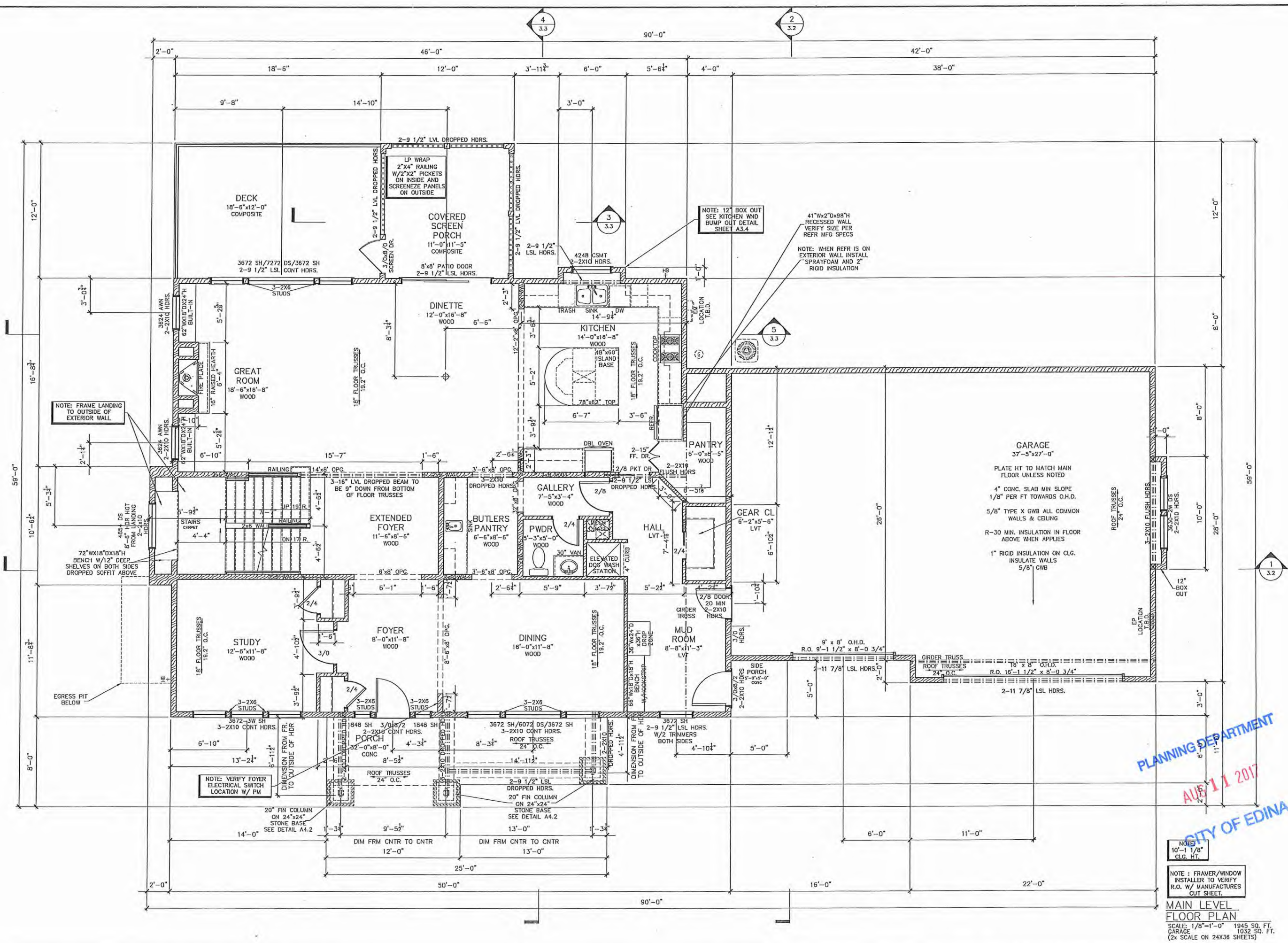
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PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA

NOTE: 10'-1 1/8\"/>  
CLG. HT.  
NOTE: FRAMER/WINDOW  
INSTALLER TO VERIFY  
R.O. W/ MANUFACTURERS  
CUT SHEET.

MAIN LEVEL  
FLOOR PLAN  
SCALE: 1/8\"=1'-0\" 1945 SQ. FT.  
GARAGE 1032 SQ. FT.  
(2x SCALE ON 24X36 SHEETS)



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6100 PINE GROVE  
EDINA, MN

SITE ADDRESS

LOT	BLOCK
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
05/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
05/02/2017	CAD PLAN #1
05/11/2017	CAD PLAN #1
05/31/2017	BID SET #1
06/28/2017	CONST SET #1
07/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

APPROX SQ FT

1716 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

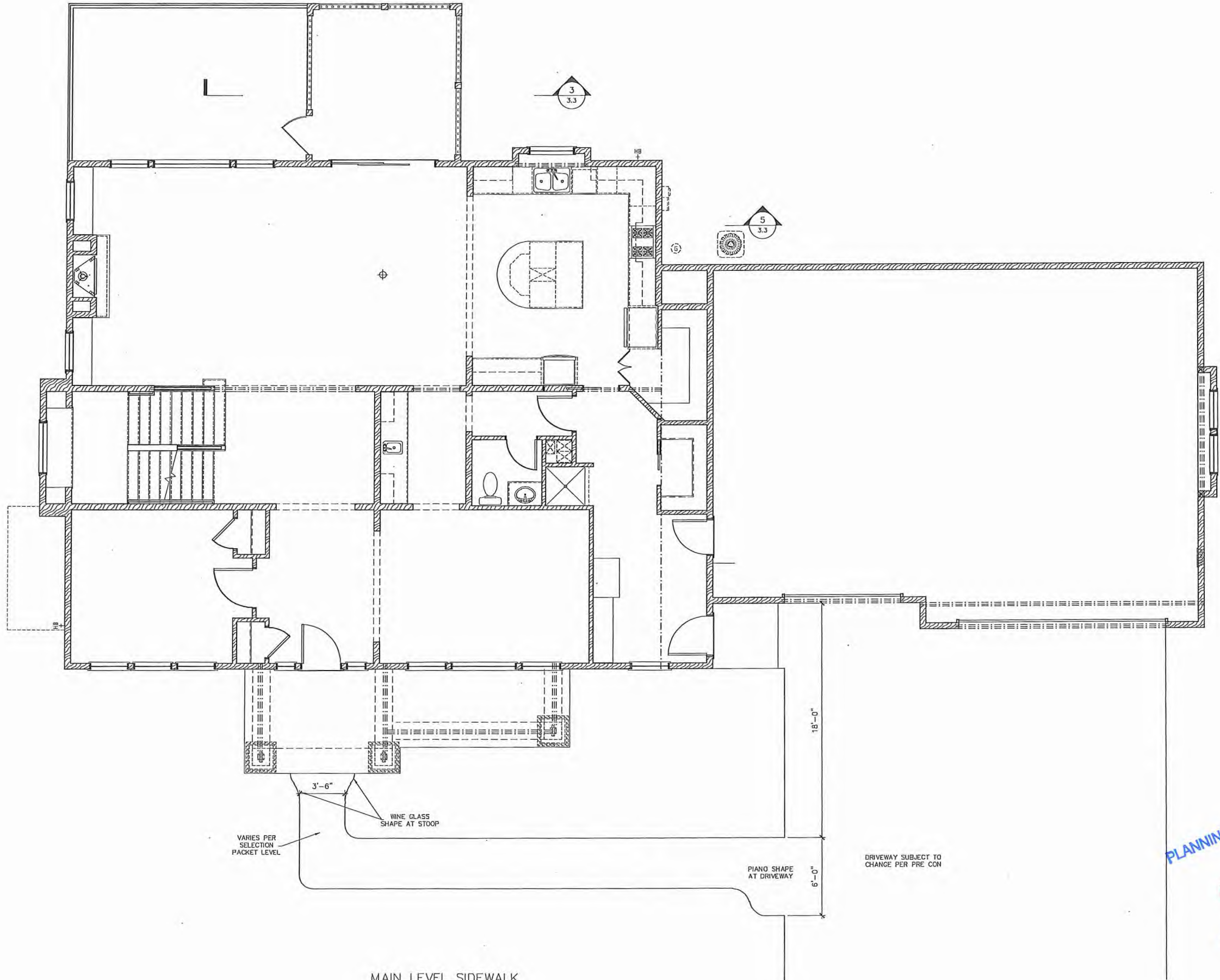
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PAGE A.SD



MAIN LEVEL SIDEWALK  
DRIVEWAY LAYOUT  
SCALE: 1/8"=1'-0"

PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



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# 6100 PINE GROVE EDINA, MN

## SITE ADDRESS

LOT	BLOCK
1	3.2
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
05.04.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.31.2017	BID SET #1
06.26.2017	CONST SET #1
07.09.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

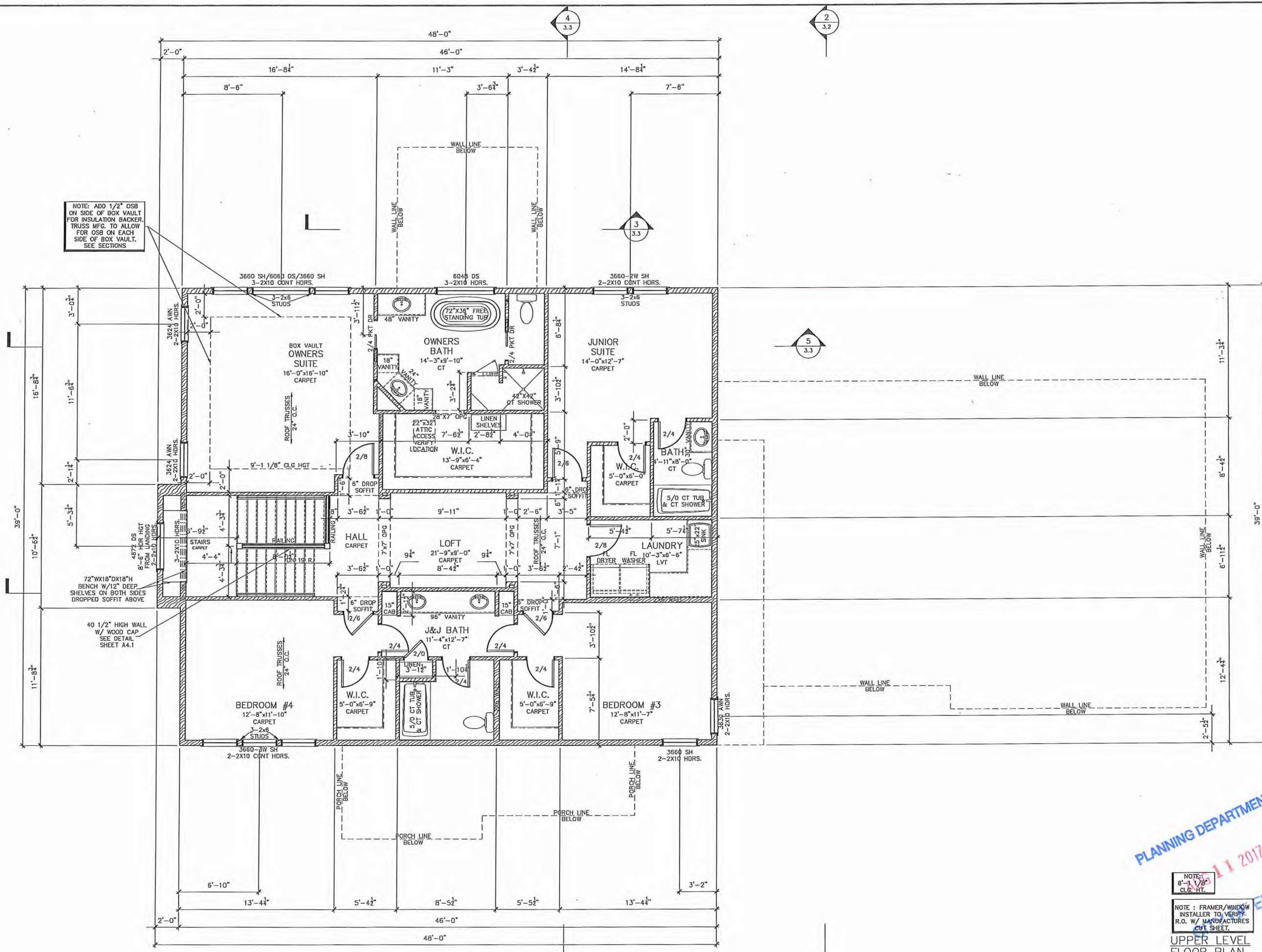
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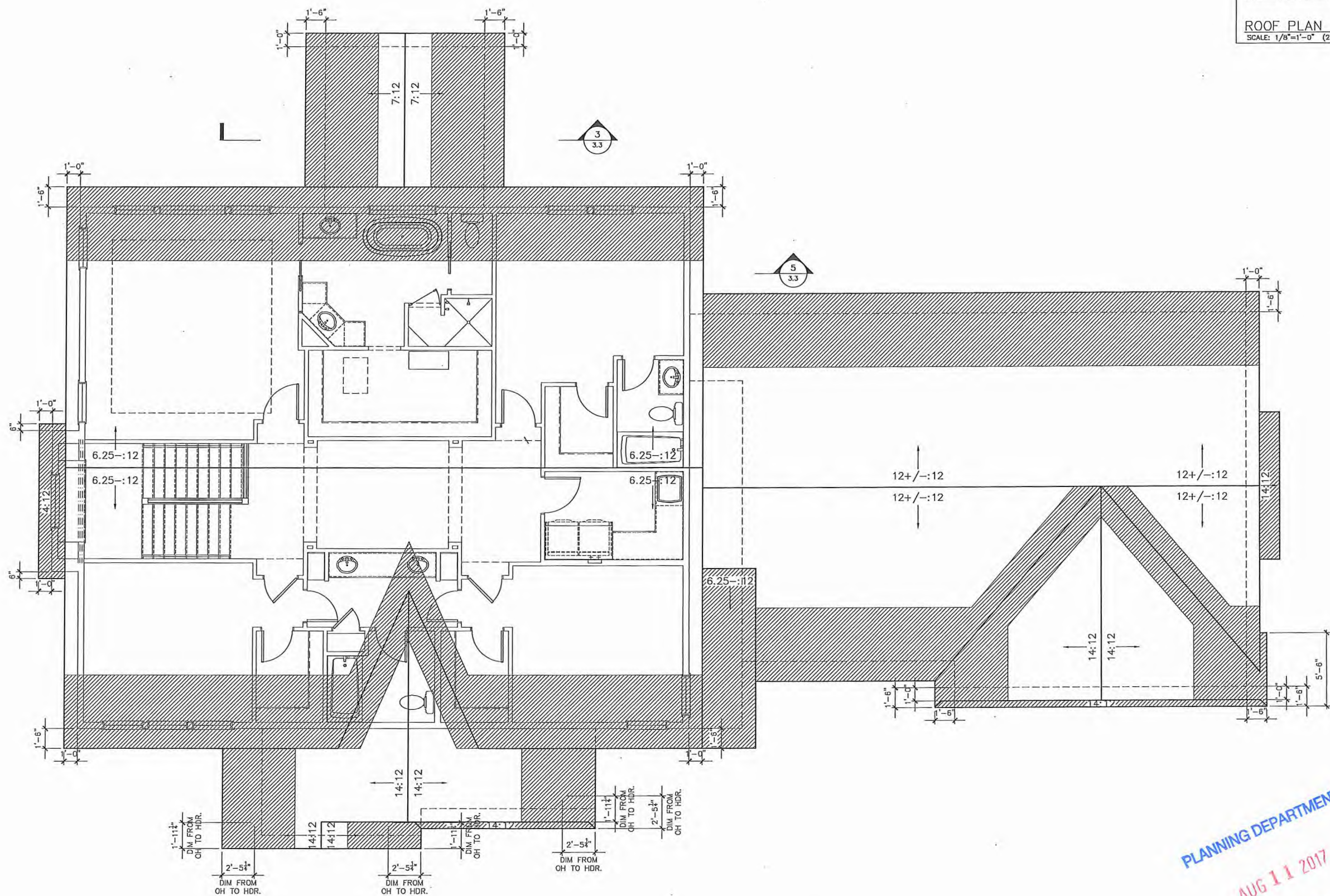
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PLANNING DEPARTMENT  
11 2017  
EJMSA  
NOTE: FRAMER/WINDOW  
INSTALLER TO VERIFY  
R.O. W/ MANUFACTURER'S  
CUT SHEET.  
UPPER LEVEL  
FLOOR PLAN  
SCALE: 1/8"=1'-0" 1815 SQ. FT.  
TOTAL 5475 SQ. FT.  
(2x SCALE ON 24X36 SHEETS)



KEY:  
 ICE & WATER SHIELD LOCATION  
 VERIFY LOCATION  
 TYPICAL HAT VENT  
 VERIFY LOCATION WITH - VENTS  
 FIELD MANAGER  
 NOTE: GUTTERS AND DOWN SPOUTS DO NOT APPLY

11 ROOF VENTS

ROOF PLAN  
 SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)

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**6100 PINE GROVE  
 EDINA, MN**

**SITE ADDRESS**

LOT	BLOCK
1	3.2

**REVISIONS**

DATE	DESCRIPTION
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.23.2017	BID SET #1
06.26.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

**APPROX SQ FT**  
 1715 SQ FT LL  
 1945 SQ FT ML  
 1815 SQ FT UL  
 5475 T SQ FT

1032 SQ FT GARAGE  
 144 SQ FT SCR PRCH

PLANS PREPARED  
 BY BRANDON S

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 PAGE A3.1

PLANNING DEPARTMENT  
 AUG 11 2017  
 CITY OF EDINA



JMS Custom Homes

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Minnetonka, MN 55345  
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Builder Lic. BC392462

# 6100 PINE GROVE EDINA, MN

## SINGLE FAMILY EXTERIOR HOUSE WALL THERMAL RESISTANCE

EXTERIOR AIR FILM	R=.17
SIDING	R=1.0
SEALED HOUSEWRAP	R=.01
1/2" OSB EXT. SHEATHING	R=1.22
2x6 STUDS @16" O.C.	R=21
5 1/2" BATT INSULATION	R=.56
SEALED POLY VAPOR BARRIER	R=.01
4 MIL MIN.	R=.01
1 LAYER 1/2" GWB.	R=.45
INTERIOR AIR FILM	R=.68
TOTAL R-VALUE	R=24.53

## SINGLE FAMILY ROOF THERMAL RESISTANCE

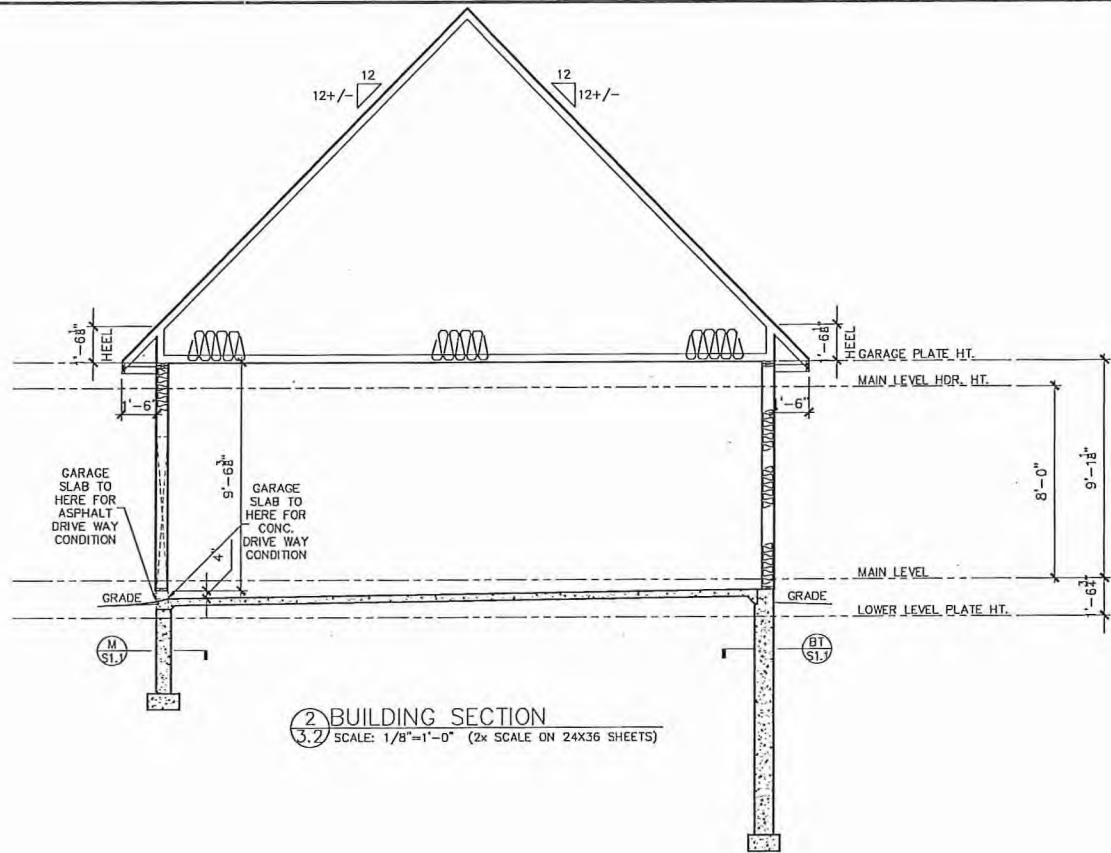
SHINGLES	R=.44
15# ROOFING FELT	R=.04
1/2" SHEATHING W/ "H" CLIPS	R=.04
TRUSSES @24" O.C.	R=.17
EXTERIOR AIR FILM	R=.49
BLOWN INSULATION	R=.56
SEALED POLY VAPOR BARRIER	R=.01
1 LAYER 5/8" GWB.	R=.61
INTERIOR AIR FILM	R=.61
TOTAL R-VALUE	R=50.82

## SINGLE FAMILY GARAGE LID THERMAL RESISTANCE

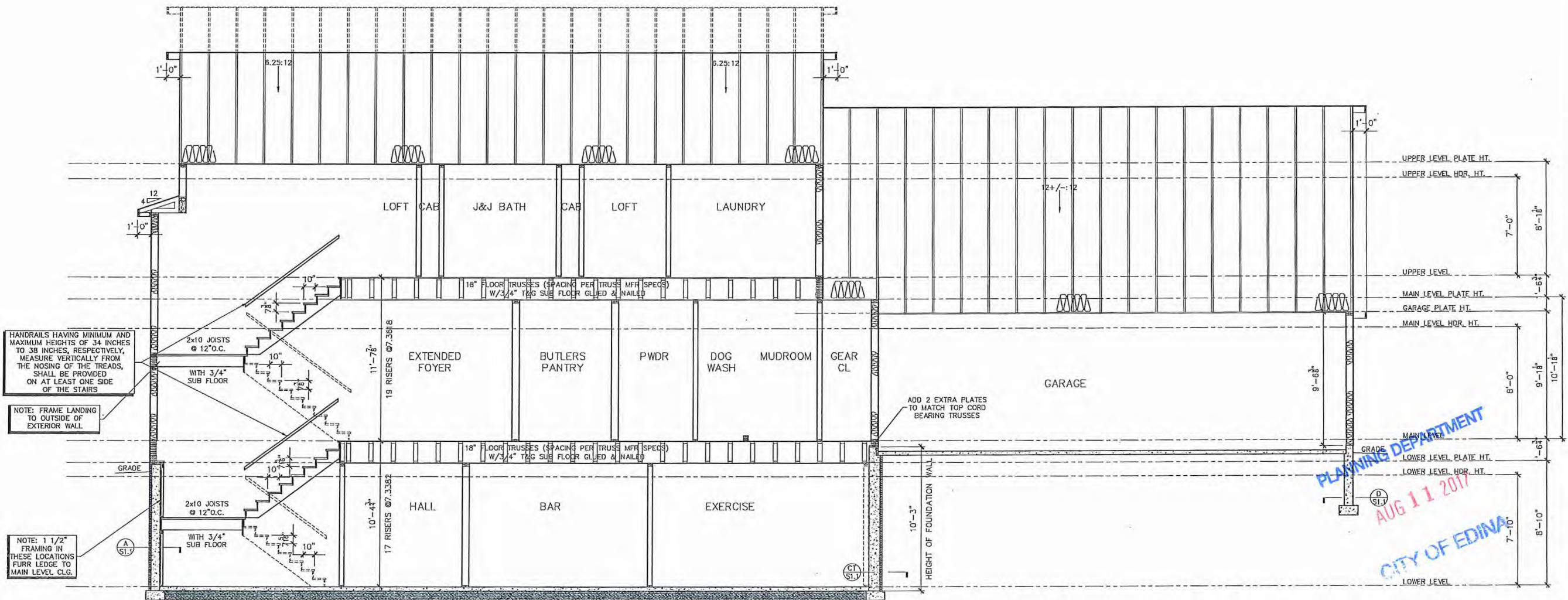
BLOWN INSULATION	R=.38
SEALED HOUSEWRAP	R=.01
1 LAYER 5/8" GWB.	R=.36
TOTAL R-VALUE	R=38.57

## SINGLE FAMILY CANTILEVER THERMAL RESISTANCE

BLOWN INSULATION	R=.38
1/2" OSB EXT. SHEATHING	R=1.22
SEALED HOUSEWRAP	R=.01
TOTAL R-VALUE	R=39.57



2 BUILDING SECTION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



1 BUILDING SECTION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)

## SITE ADDRESS

LOT	BLOCK
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
05.01.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.31.2017	BID SET #1
06.01.2017	CONST SET #1
07.02.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

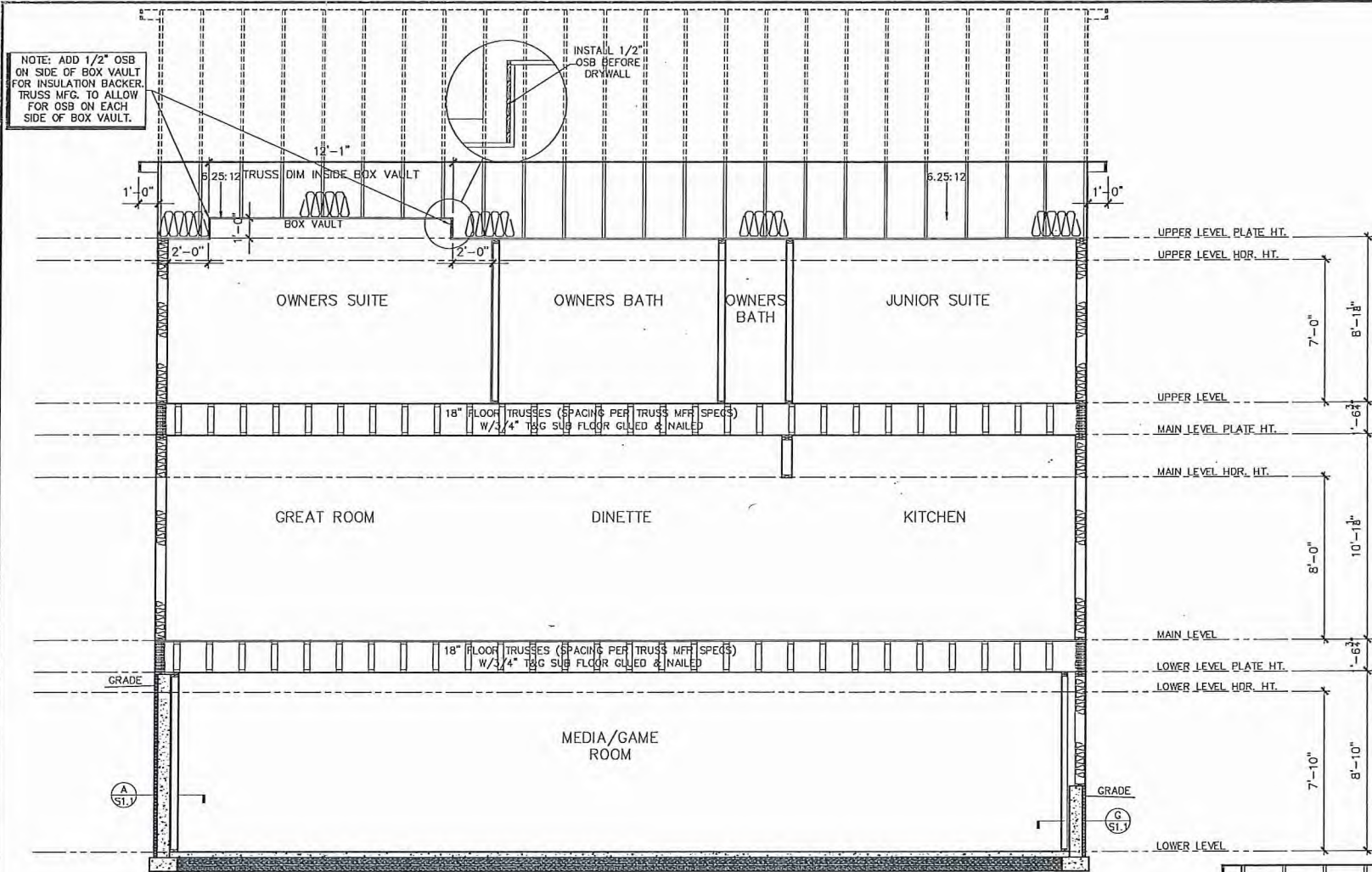
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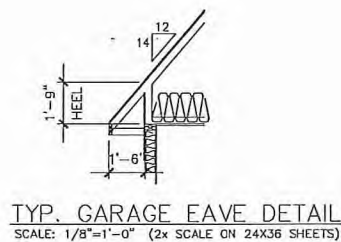
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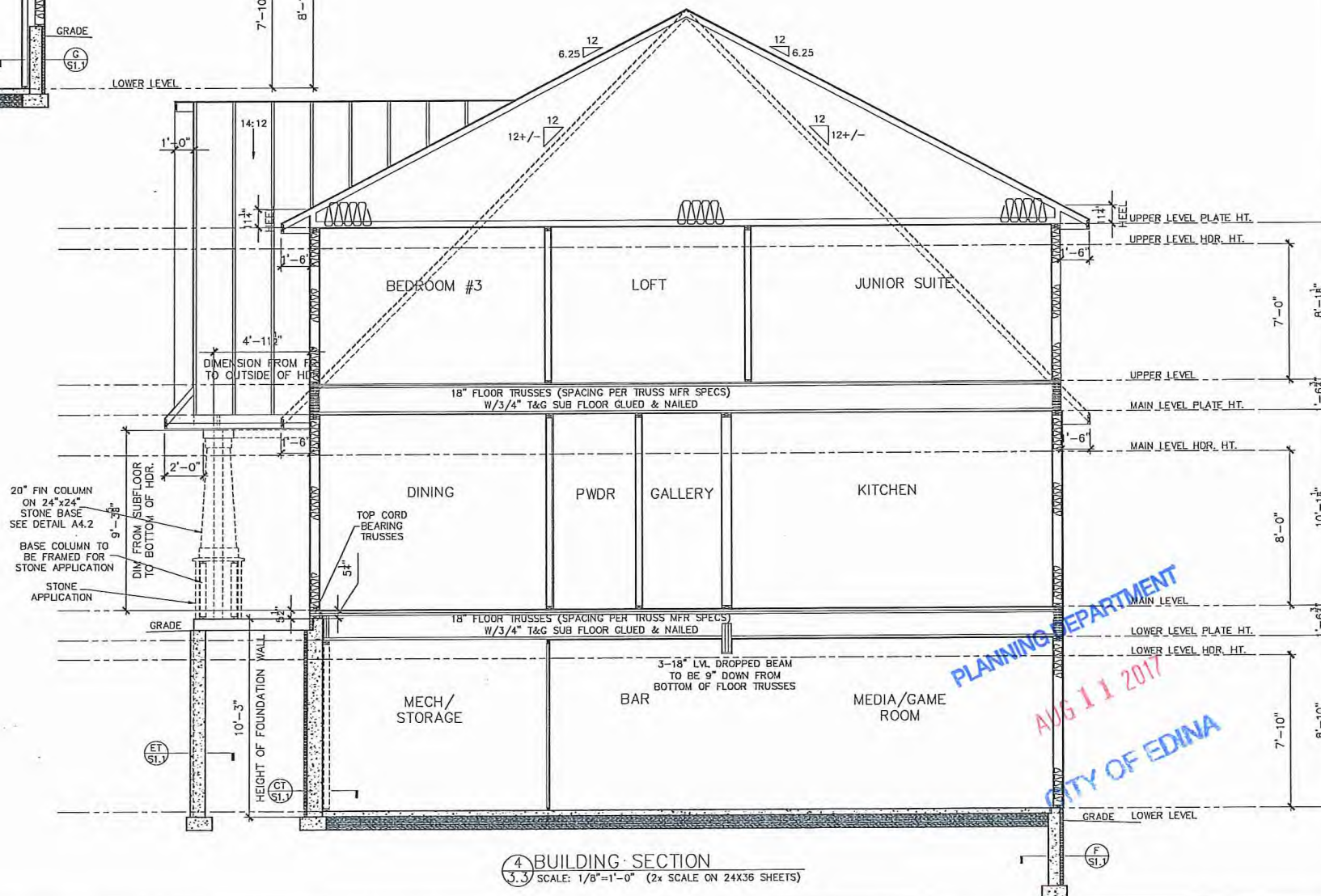
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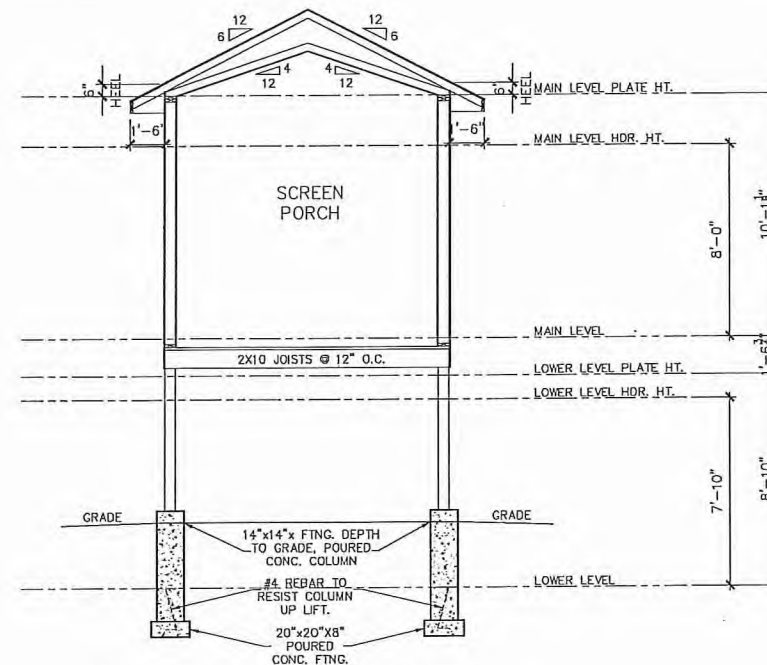
3 BUILDING SECTION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



TYP. GARAGE EAVE DETAIL  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



4 BUILDING SECTION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)



5 BUILDING SECTION  
SCALE: 1/8"=1'-0" (2x SCALE ON 24X36 SHEETS)

SINGLE FAMILY EXTERIOR HOUSE WALL THERMAL RESISTANCE	
EXTERIOR AIR FILM	R=1.7
SIDING	R=1.0
SEALED HOUSEWRAP	R=0.1
1/2" OSB EXT. SHEATHING	R=1.22
2x6 STUDS @16" O.C.	R=21
5 1/2" BATT INSULATION	R=21
SEALED POLY VAPOR BARRIER	R=0.1
4 MIL MIN.	R=0.05
1 LAYER 1/2" GWB.	R=0.05
INTERIOR AIR FILM	R=0.68
TOTAL R= VALUE	R=24.53

SINGLE FAMILY ROOF THERMAL RESISTANCE	
SHINGLES	R=0.44
15# ROOFING FELT	R=0.04
1/2" SHEATHING W/ "H" CLIPS	R=0.04
TRUSSES @24" O.C.	R=1.7
EXTERIOR AIR FILM	R=0.17
BLOWN INSULATION	R=49
SEALED POLY VAPOR BARRIER	R=0.1
1 LAYER 5/8" GWB.	R=0.05
INTERIOR AIR FILM	R=0.61
TOTAL R= VALUE	R=50.82

SINGLE FAMILY GARAGE LID THERMAL RESISTANCE	
BLOWN INSULATION	R=38
SEALED HOUSEWRAP	R=0.1
1 LAYER 5/8" GWB.	R=0.05
TOTAL R= VALUE	R=38.57

SINGLE FAMILY CANTILEVER THERMAL RESISTANCE	
BLOWN INSULATION	R=38
1/2" OSB EXT. SHEATHING	R=1.22
SEALED HOUSEWRAP	R=0.1
TOTAL R= VALUE	R=38.57



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EDINA, MN

#### SITE ADDRESS

LOT	BLOCK
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.21.2017	BID SET #1
06.28.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

#### APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

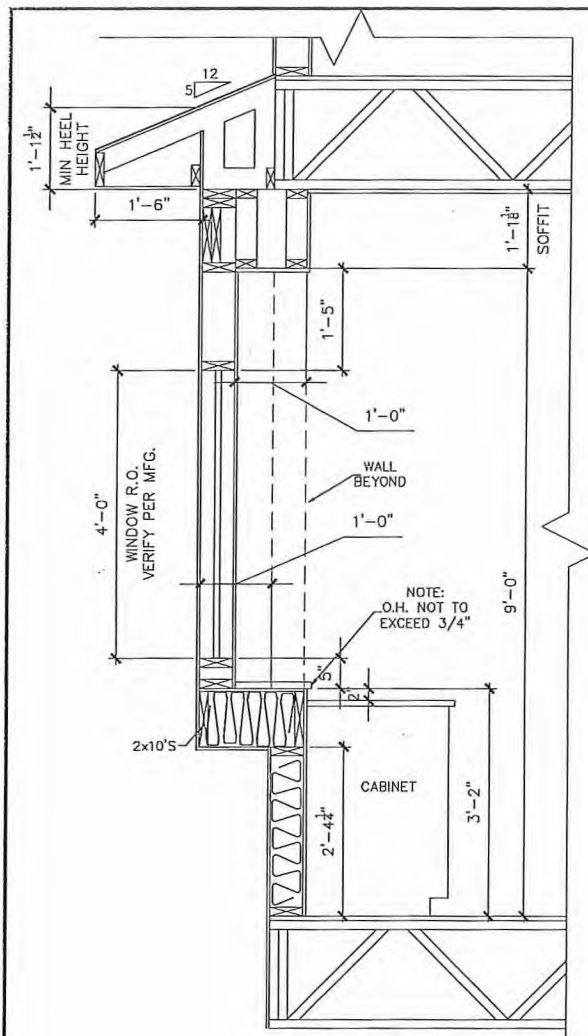
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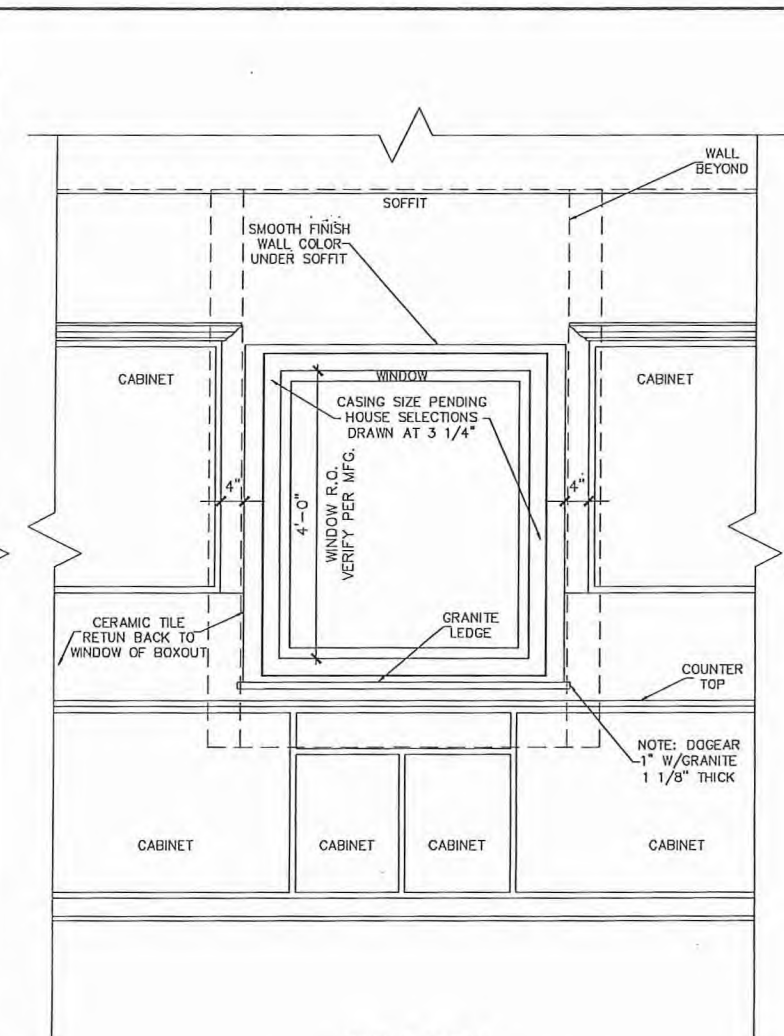
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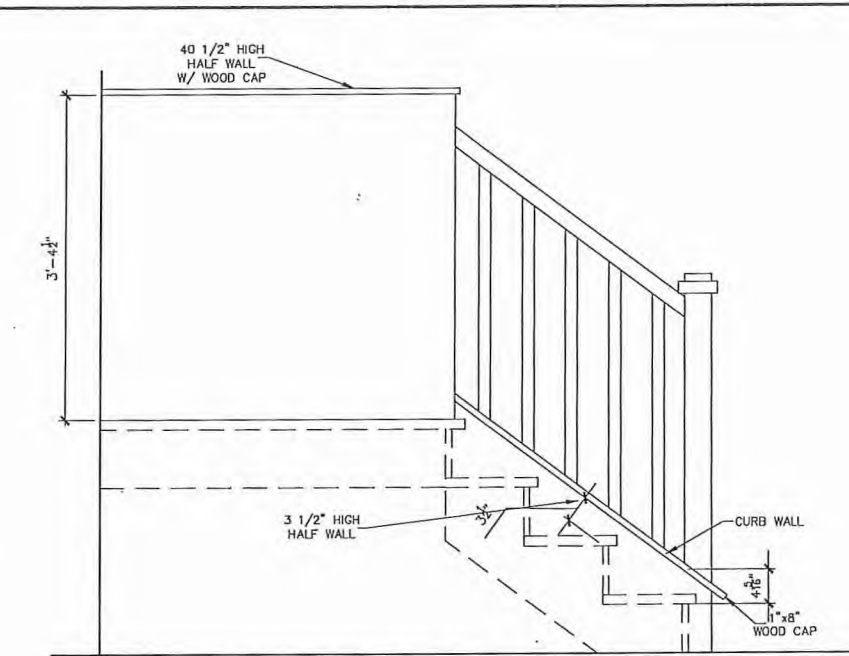
PAGE A3.3



SIDE VIEW  
KITCHEN WND BUMP OUT DETAIL  
SCALE: 3/8"=1'-0" (2x SCALE ON 24x36 SHEETS)



FRONT VIEW  
KITCHEN WND BUMP OUT DETAIL  
SCALE: 3/8"=1'-0" (2x SCALE ON 24x36 SHEETS)



ELEVATION VIEW  
CURB WALL ELEVATION DETAIL  
SCALE: 1/2"=1'-0" (2x SCALE ON 24x36 SHEETS)

SINGLE FAMILY EXTERIOR HOUSE WALL THERMAL RESISTANCE	
EXTERIOR AIR FILM	R=.17
SIDING	R=1.0
SEALED HOUSEWRAP	R=.01
1/2" OSB EXT. SHEATHING	R=1.22
2x6 STUDS @16" O.C.	
5 1/2" BATT INSULATION	R=21
SEALED POLY VAPOR BARRIER	
4 MIL MIN.	
1 LAYER 1/2" CWB.	R=.45
INTERIOR AIR FILM	R=.68
TOTAL R= VALUE	R=24.53

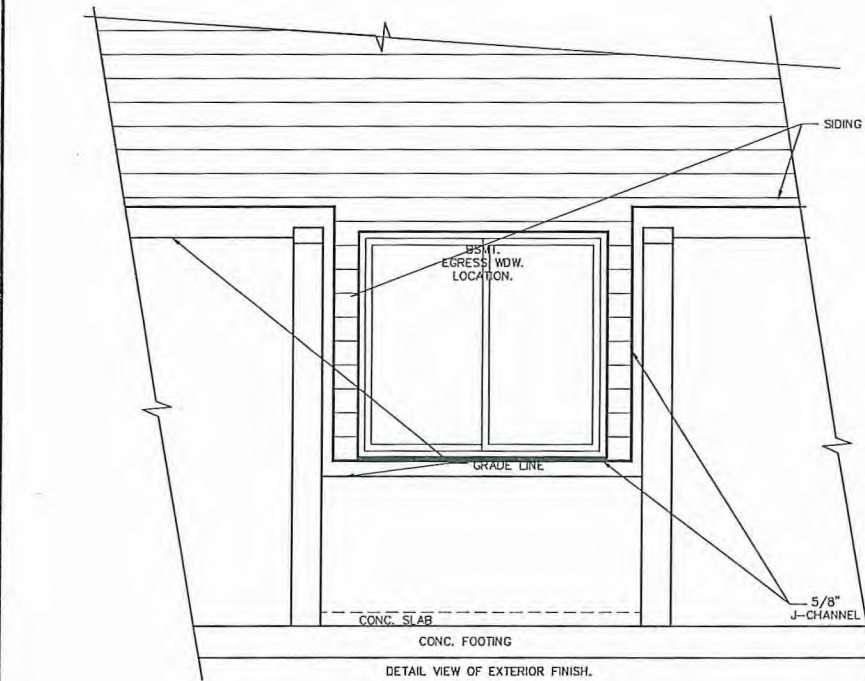
SINGLE FAMILY ROOF THERMAL RESISTANCE	
SHINGLES	R=.44
15# ROOFING FELT	
1/2" SHEATHING W/ "H" CLIPS	R=.04
TRUSSES @24" O.C.	
EXTERIOR AIR FILM	R=.17
BLOWN INSULATION	R=49
SEALED POLY VAPOR BARRIER	
1 LAYER 5/8" CWB.	R=.56
INTERIOR AIR FILM	R=.61
TOTAL R= VALUE	R=50.82

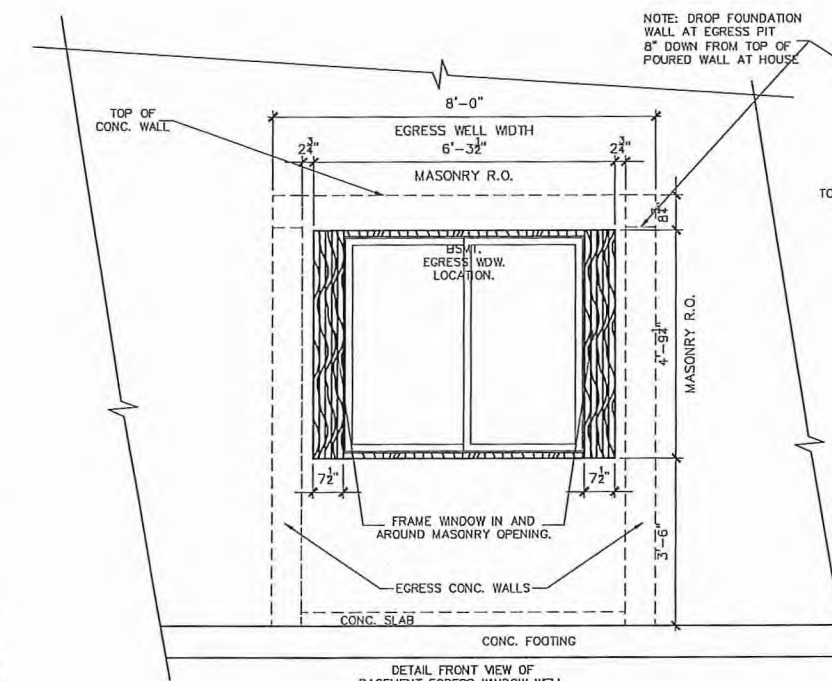
SINGLE FAMILY GARAGE LID THERMAL RESISTANCE	
BLOWN INSULATION	R=38
SEALED HOUSEWRAP	R=.01
1 LAYER 5/8" CWB.	R=.56
TOTAL R= VALUE	R=38.57

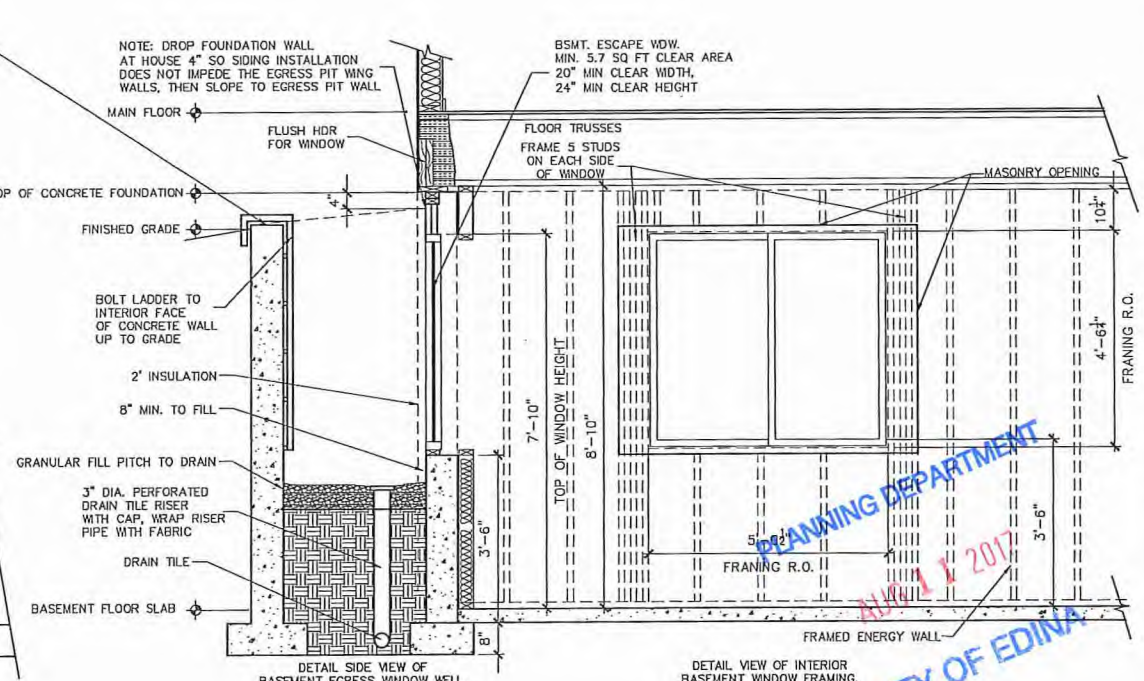
SINGLE FAMILY CANTILEVER THERMAL RESISTANCE	
BLOWN INSULATION	R=38
1/2" OSB EXT. SHEATHING	R=1.22
SEALED HOUSEWRAP	R=.01
TOTAL R= VALUE	R=38.57



DETAIL VIEW OF EXTERIOR FINISH



DETAIL FRONT VIEW OF BASEMENT EGRESS WINDOW WELL



DETAIL SIDE VIEW OF BASEMENT EGRESS WINDOW WELL

DETAIL VIEW OF INTERIOR BASEMENT WINDOW FRAMING

BASEMENT EGRESS PIT WINDOW DETAIL  
SCALE: 1/4"=1'-0" (2x SCALE ON 24x36 SHEETS)

**6100 PINE GROVE EDINA, MN**

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Fax: 952-949-3730  
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SITE ADDRESS	
LOT	BLOCK

REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.28.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.23.2017	BID SET #1
06.16.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #2
07.31.2017	CONST SET #3

APPROX SQ FT	
1715 SQ FT LL	
1945 SQ FT ML	
1815 SQ FT UL	
5475 T SQ FT	

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

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## SITE ADDRESS

LOT	BLOCK
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
04/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
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05/11/2017	CAD PLAN #1
05/31/2017	BID SET #1
06/26/2017	CONST SET #1
07/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

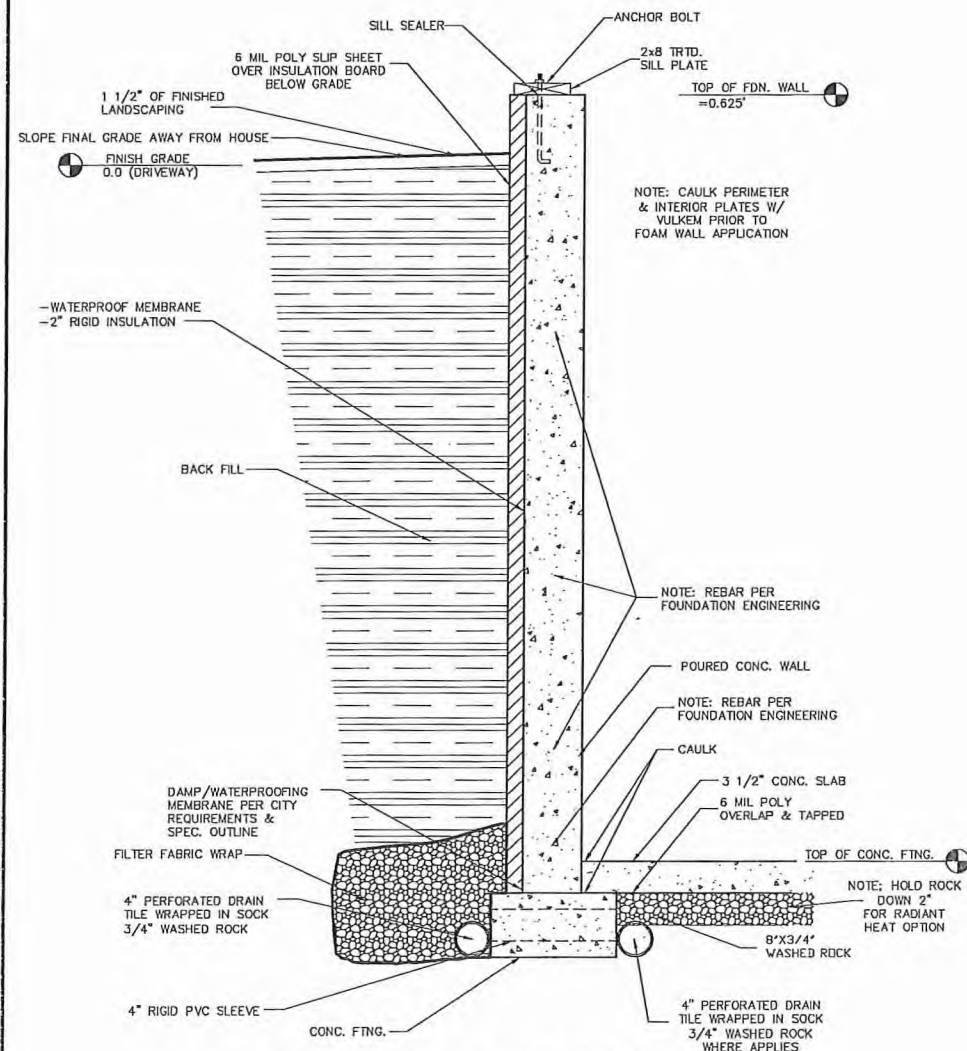
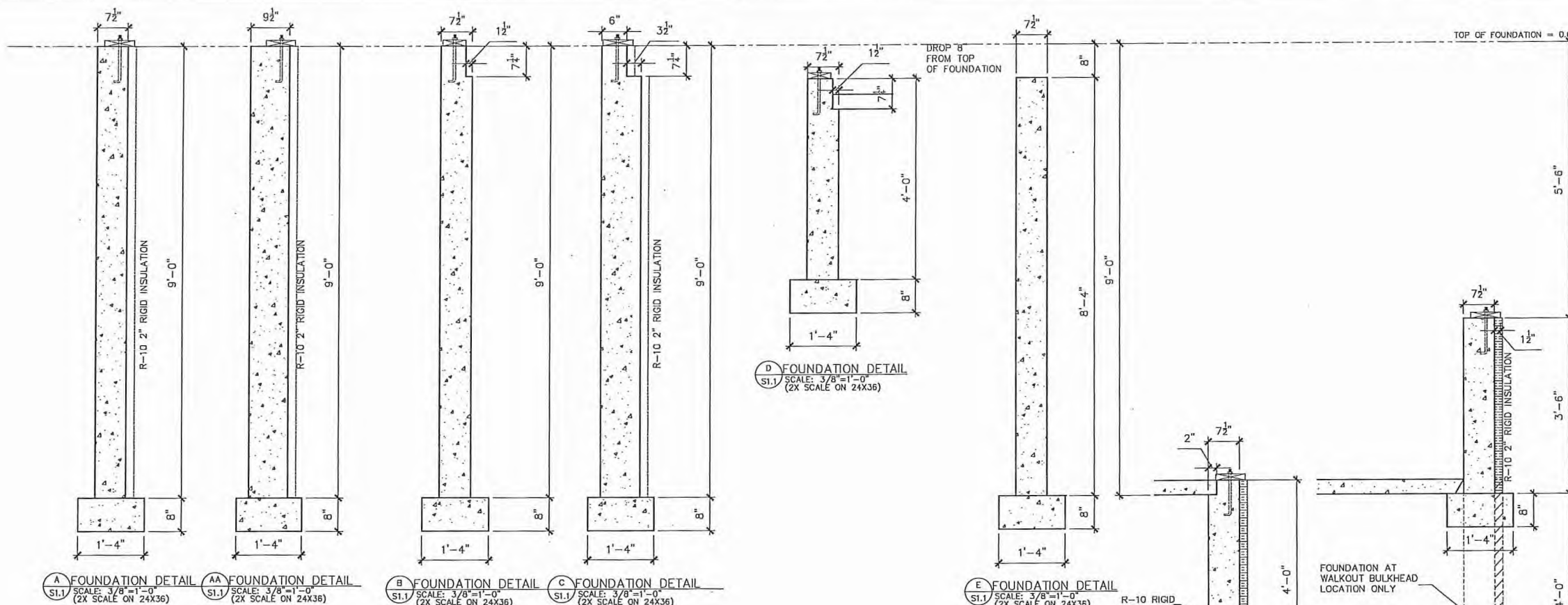
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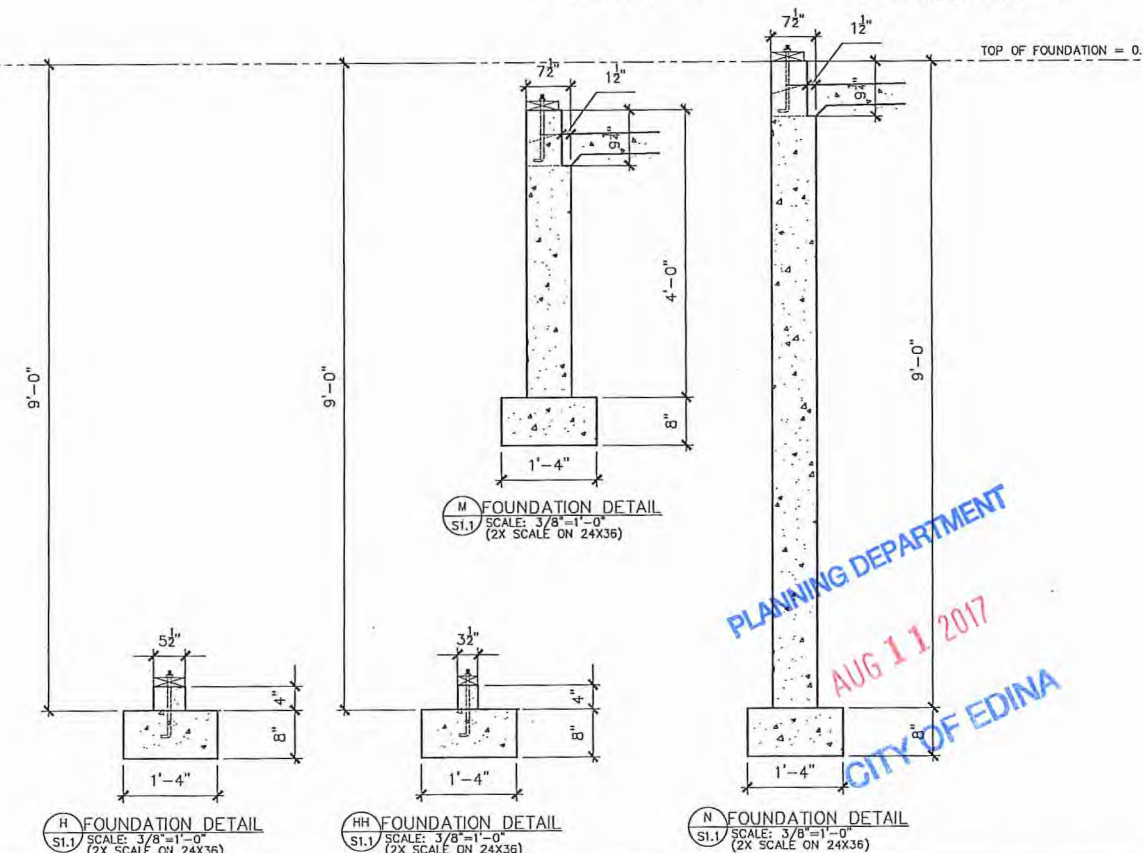
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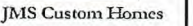
PAGE S1.1



NOTE  
TYPICAL FOUNDATION DETAILS.  
NOT ALL APPLY TO EVERY CONDITION.  
VERIFY PER FOUNDATION PLAN.  
SEE STRUCTURAL DETAIL NOTES



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**6100 PINE GROVE  
EDINA, MN**

## SITE ADDRESS

LOT		BLOCK	
REVISIONS			
04.10.2017		PRELIM SET #1	
04/11/2017		CAD PLAN #1	
04/12/2017		CAD PLAN #1	
04.24.2017		CAD PLAN #2	
04.26.2017		BID SET #1	
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05/31/2017		BID SET	
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07/24/2017		CONST SET #3	
07/31/2017		CONST SET #3	
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		"	
		"	
		"	
		"	

## APPROX SQ FT

715 SQ FT LL  
945 SQ FT ML  
815 SQ FT UL  
475 T SQ FT

032 SQ FT GARAGE  
44 SQ FT SCR PRCH

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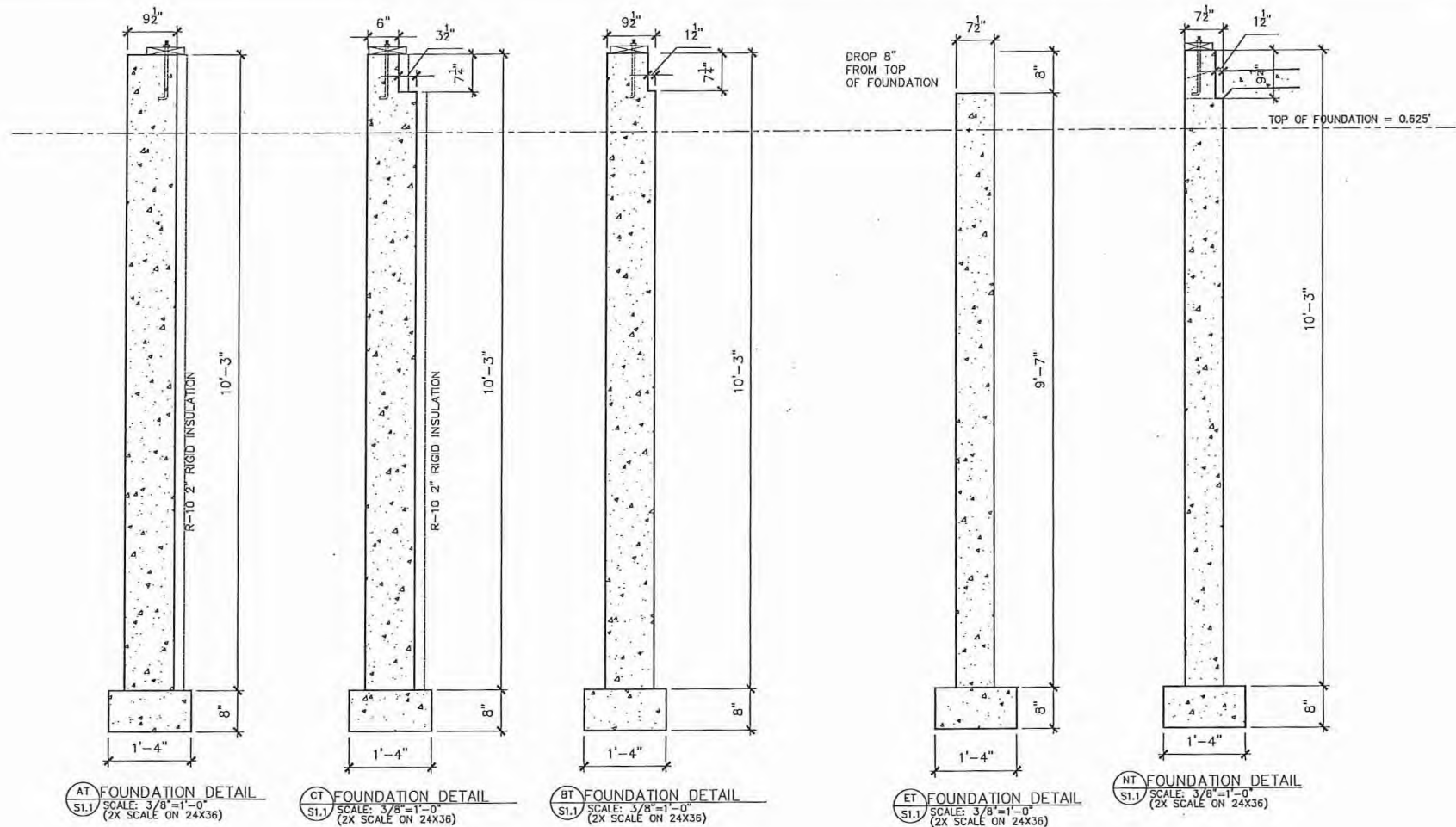
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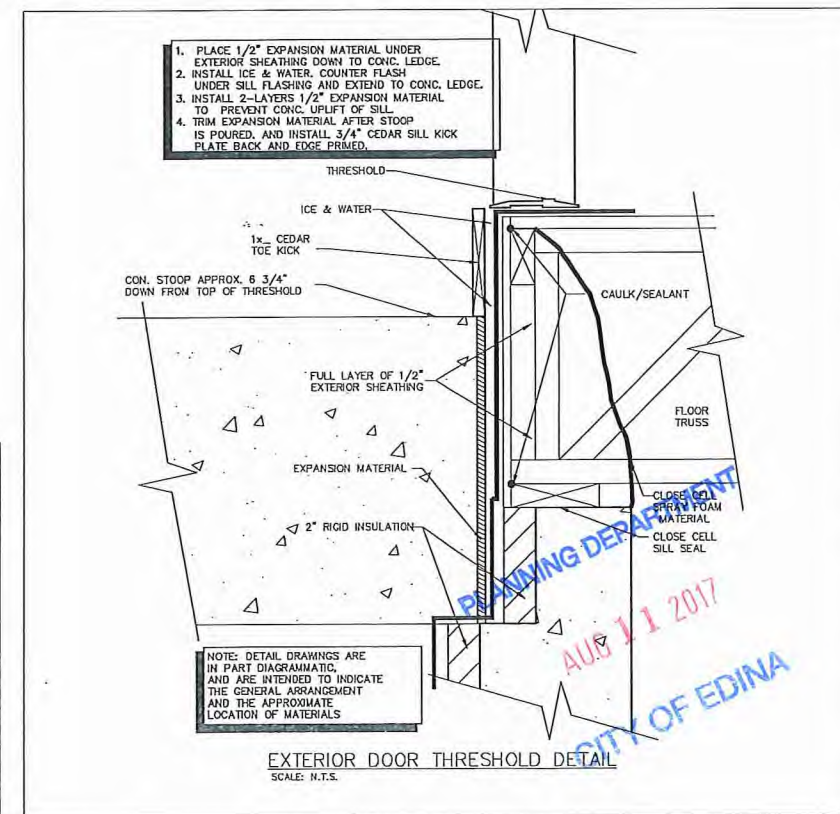
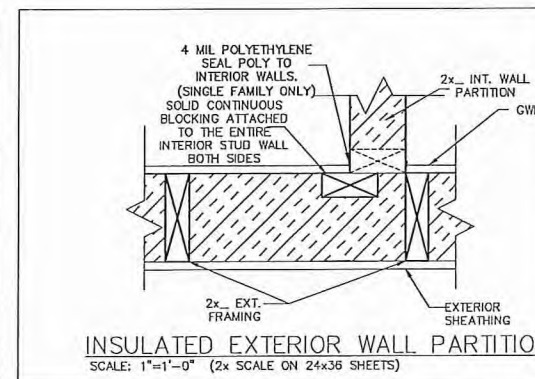
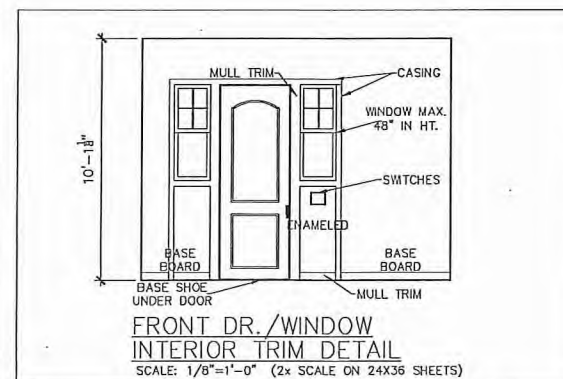
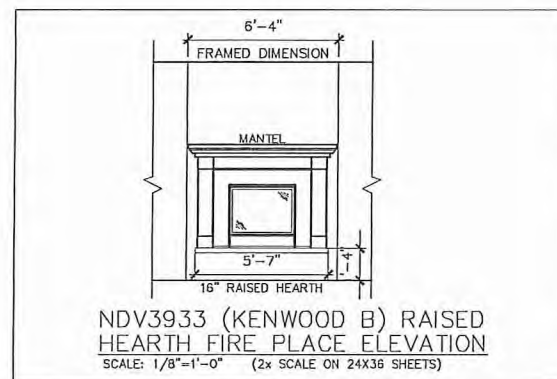
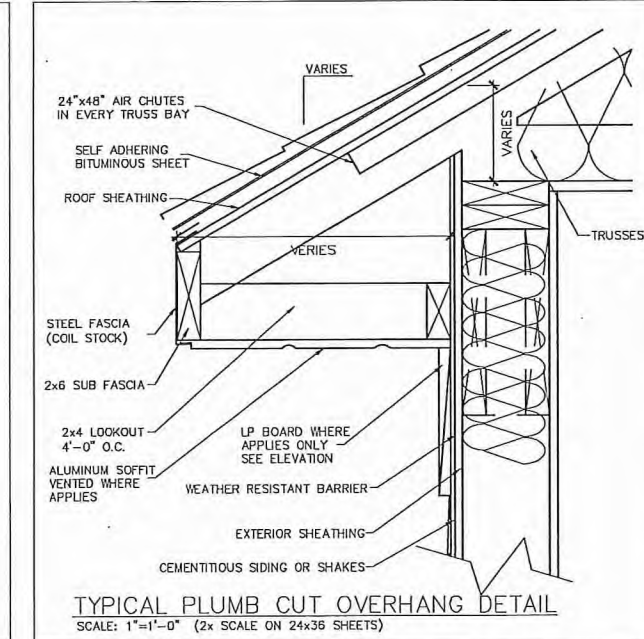
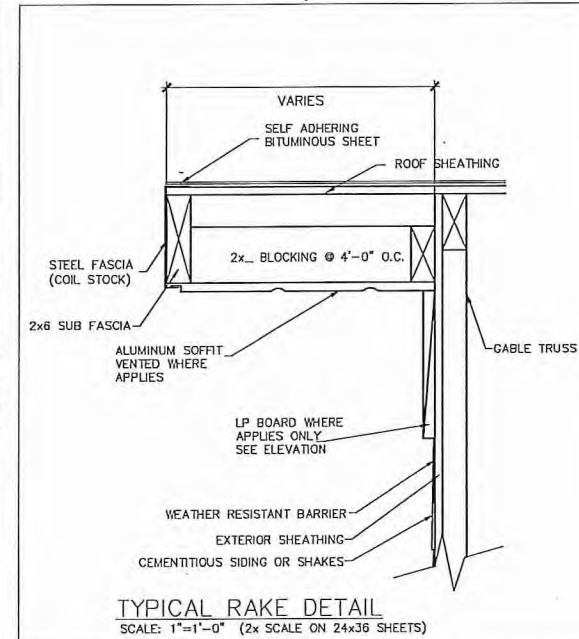
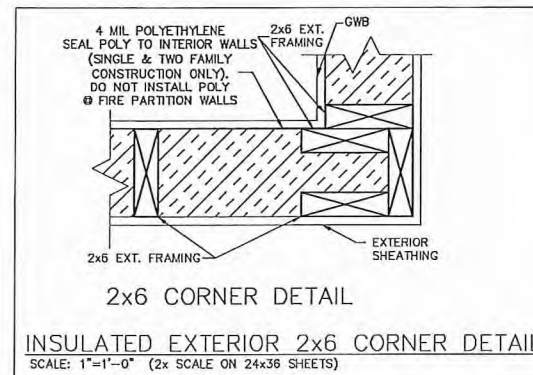
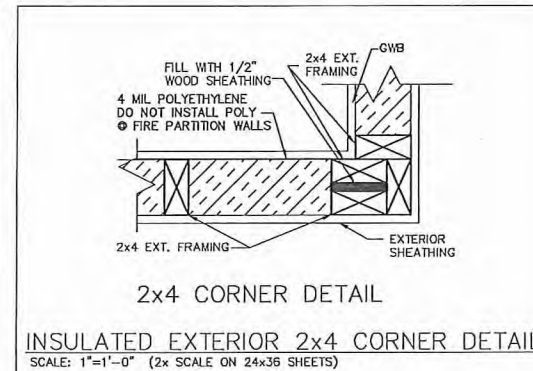
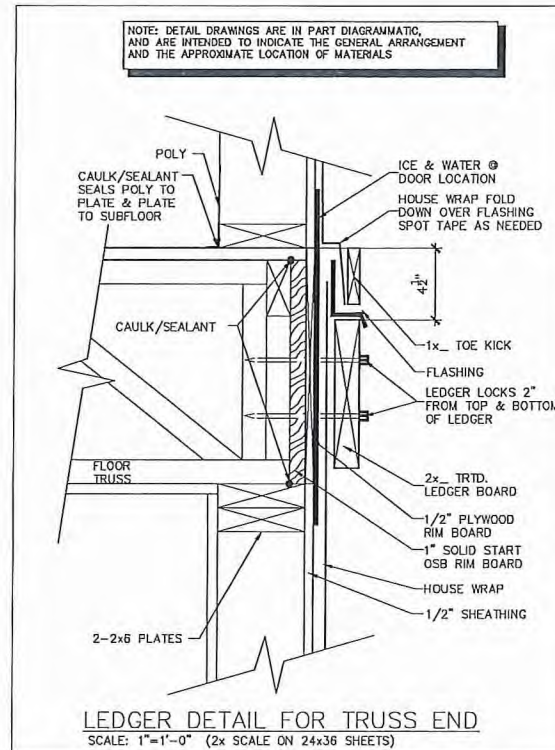
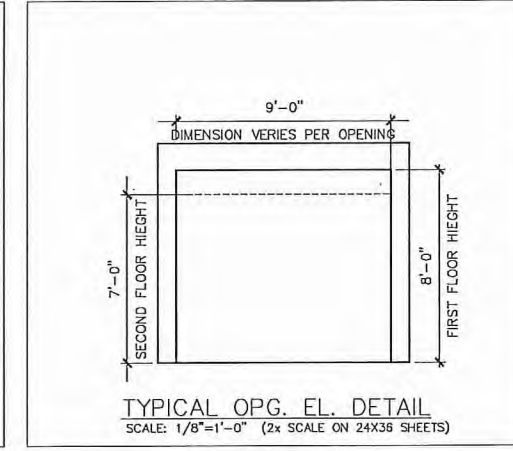
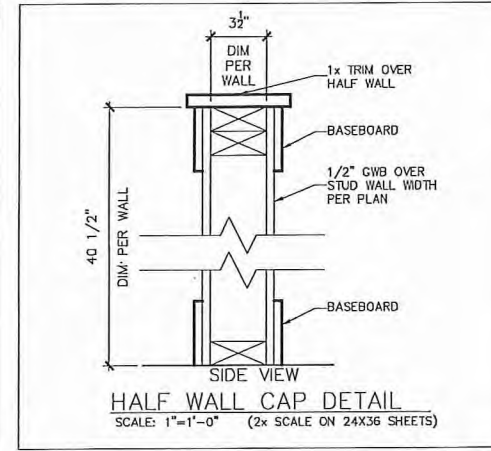
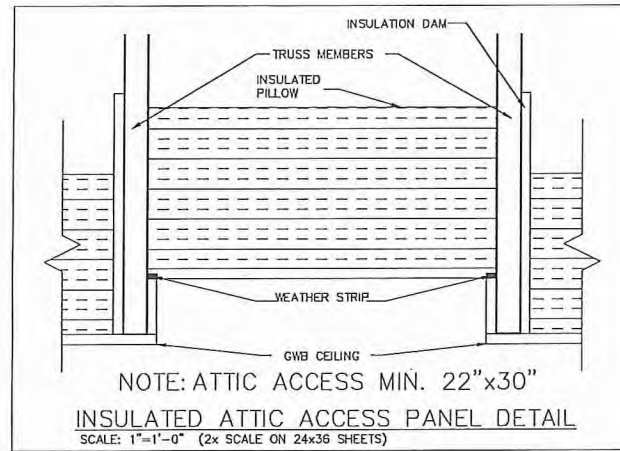
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11 2017

AUG 11 2017

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SITE ADDRESS	
LOT	BLOCK
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
04/12/2017	CAD PLAN #1
04/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
05/02/2017	CAD PLAN #1
05/11/2017	CAD PLAN #1
05/31/2017	BID SET #1
06/26/2017	CONST. SET #1
07/07/2017	CONST. SET #2
07/24/2017	CONST. SET #3
07/31/2017	CONST. SET #3

APPROX SQ FT	
1715 SQ FT LL	
1945 SQ FT ML	
1815 SQ FT UL	
5475 T SQ FT	
1032 SQ FT GARAGE	
144 SQ FT SCR PRCH	

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Fax: 952-849-3750  
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# 6100 PINE GROVE EDINA, MN

## SITE ADDRESS

LOT	BLOCK
REVISIONS	
04/10/2017	PRELIM SET #1
04/11/2017	CAD PLAN #1
05/12/2017	CAD PLAN #1
05/24/2017	CAD PLAN #2
04/26/2017	BID SET #1
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07/07/2017	CONST SET #2
07/24/2017	CONST SET #3
07/31/2017	CONST SET #3

## APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
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1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

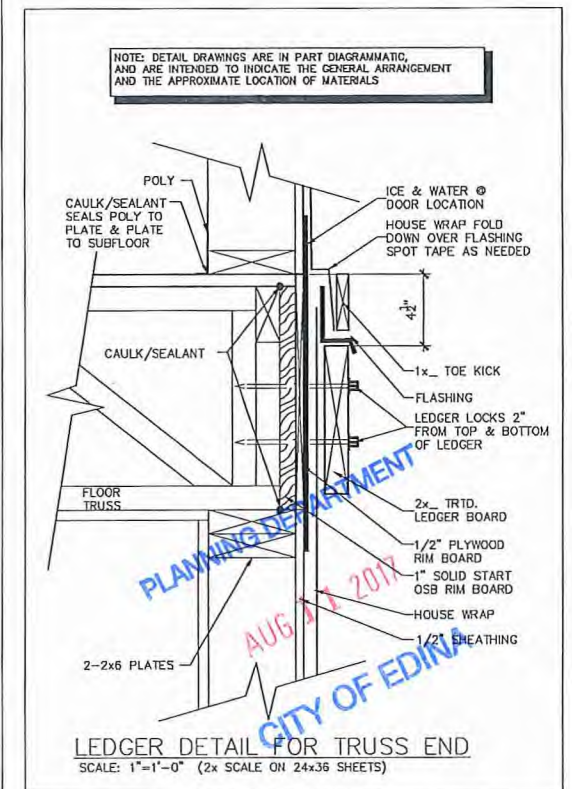
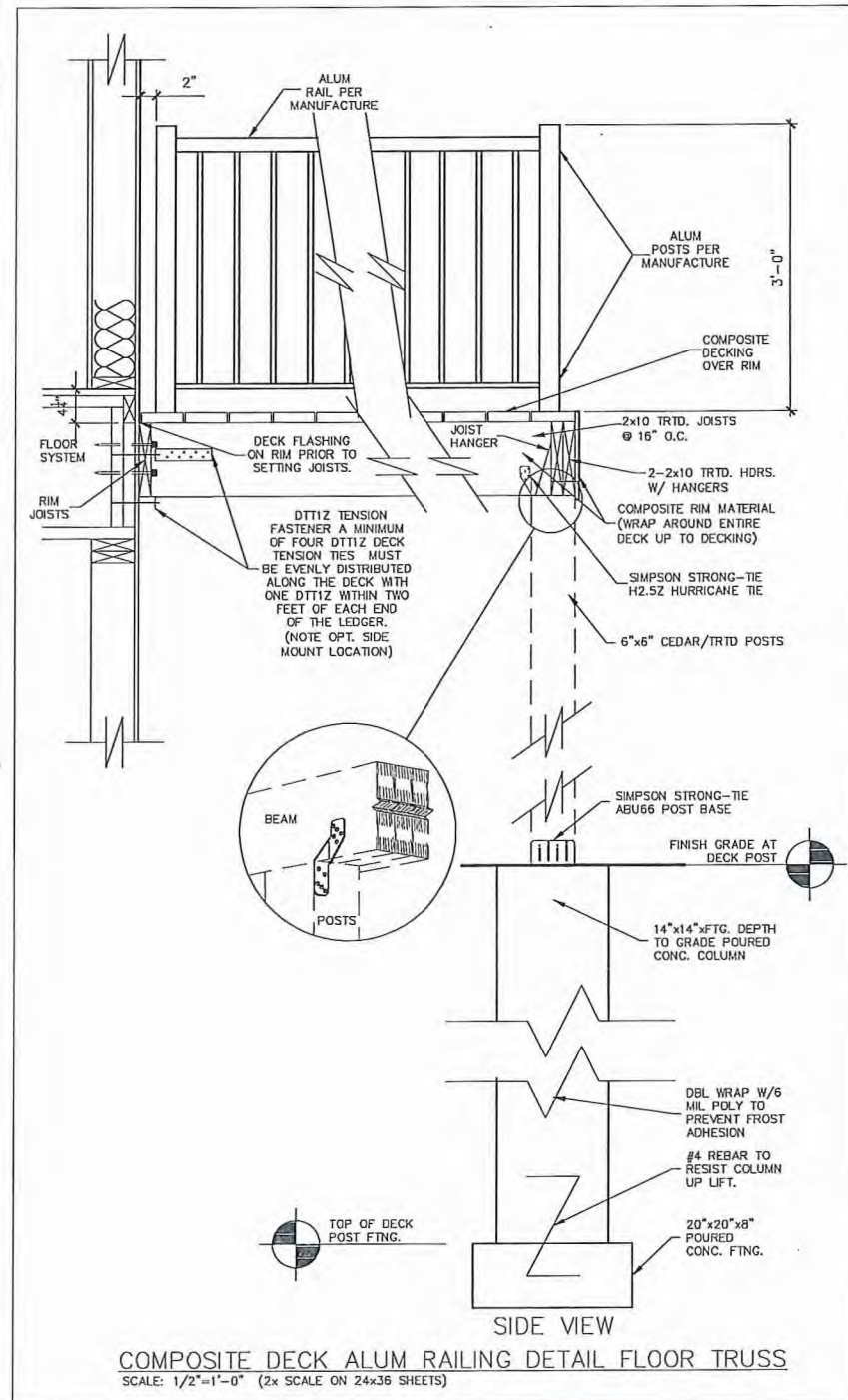
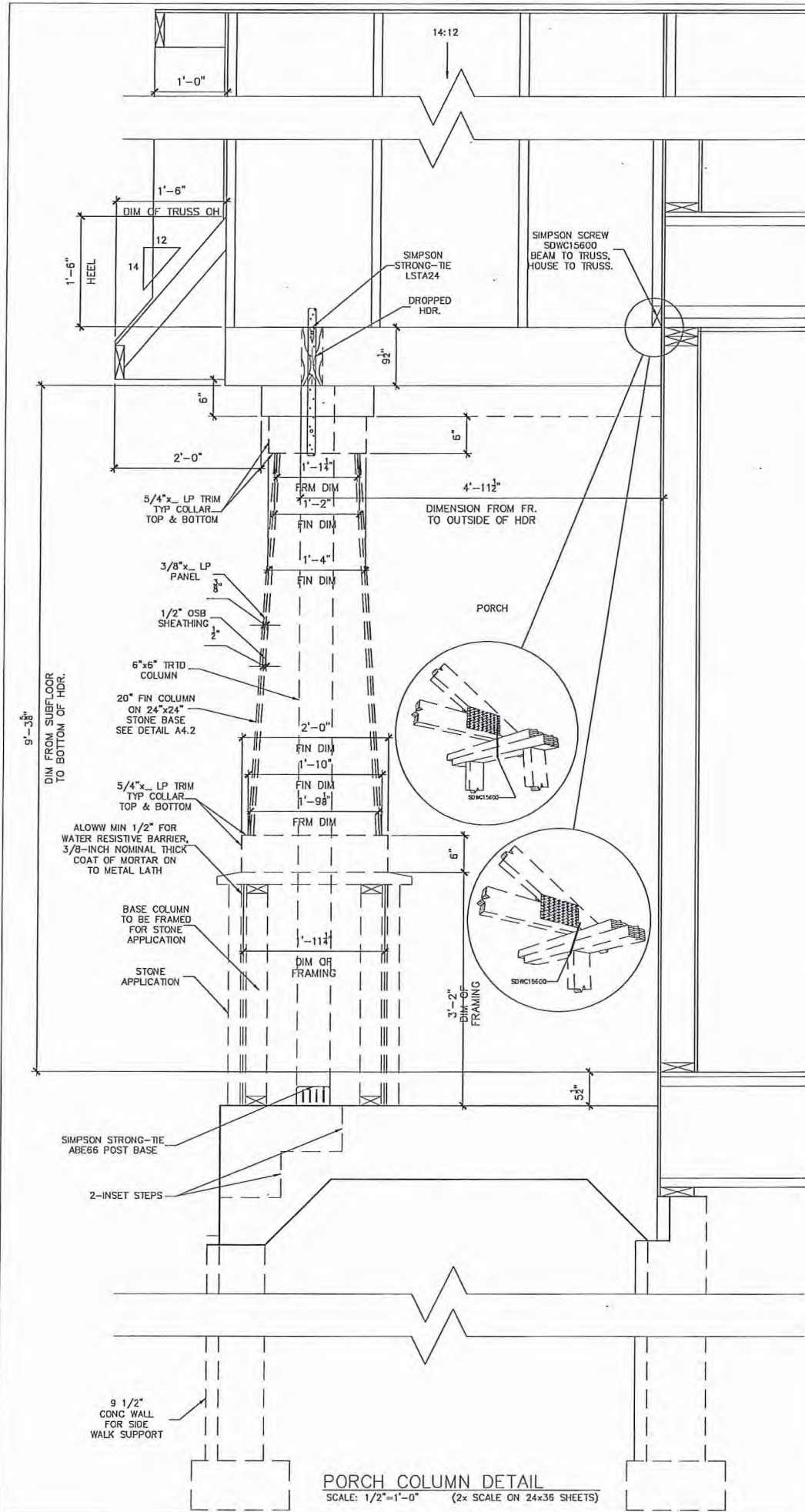
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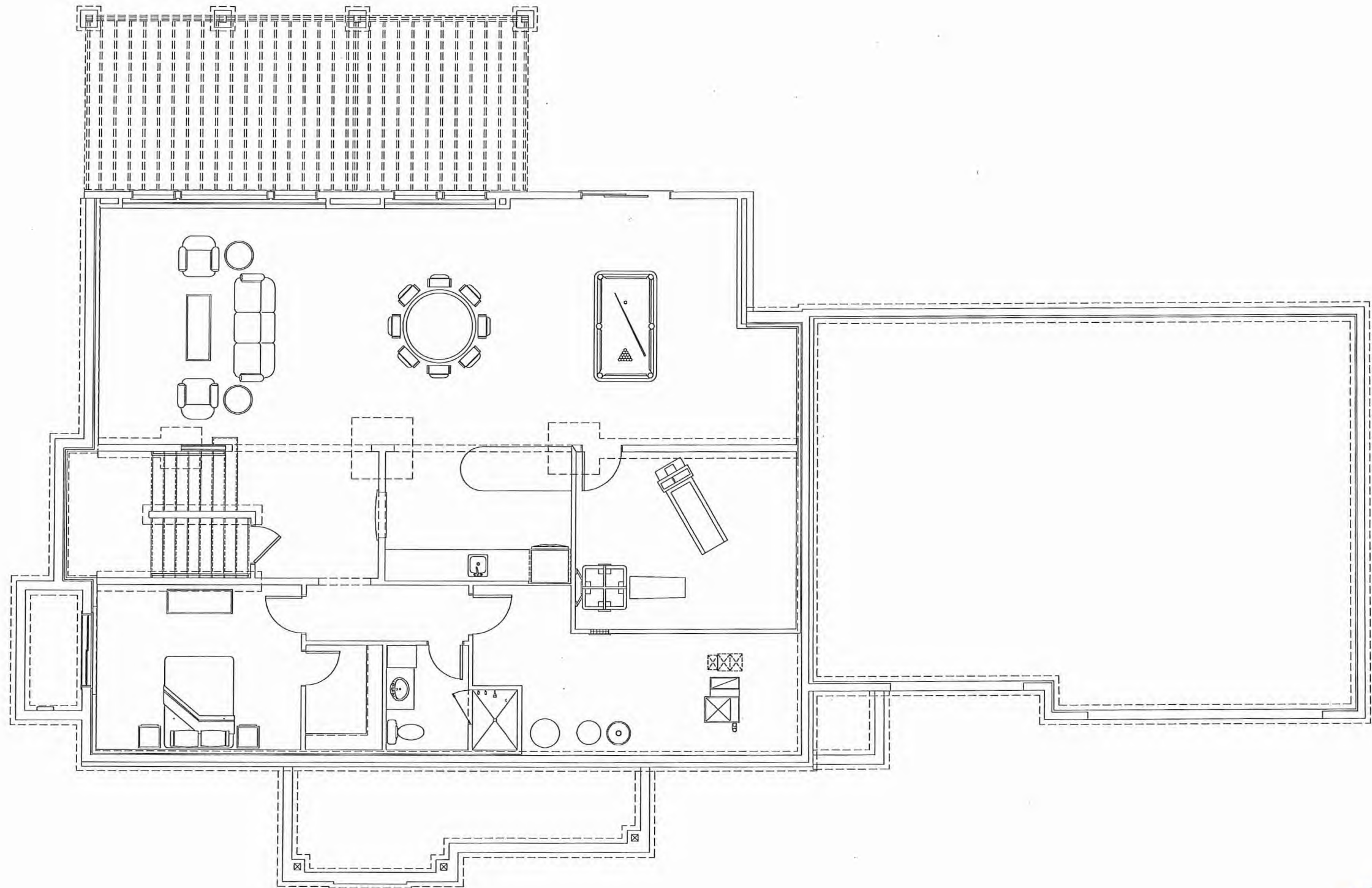




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6100 PINE GROVE  
EDINA, MN



LOWER LEVEL ELECTRICAL PLAN  
SCALE: 1/8"=1'-0"

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AUG 11 2017  
CITY OF EDINA

SITE ADDRESS

LOT	BLOCK
1	1
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.28.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.31.2017	BID SET #1
06.26.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

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6100 PINE GROVE  
EDINA, MN

SITE ADDRESS

LOT	BLOCK
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.26.2017	BID SET #1
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05.11.2017	CAD PLAN #1
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06.26.2017	CONST SET #1
07.02.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

APPROX SQ FT

1715 SQ FT LL  
1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

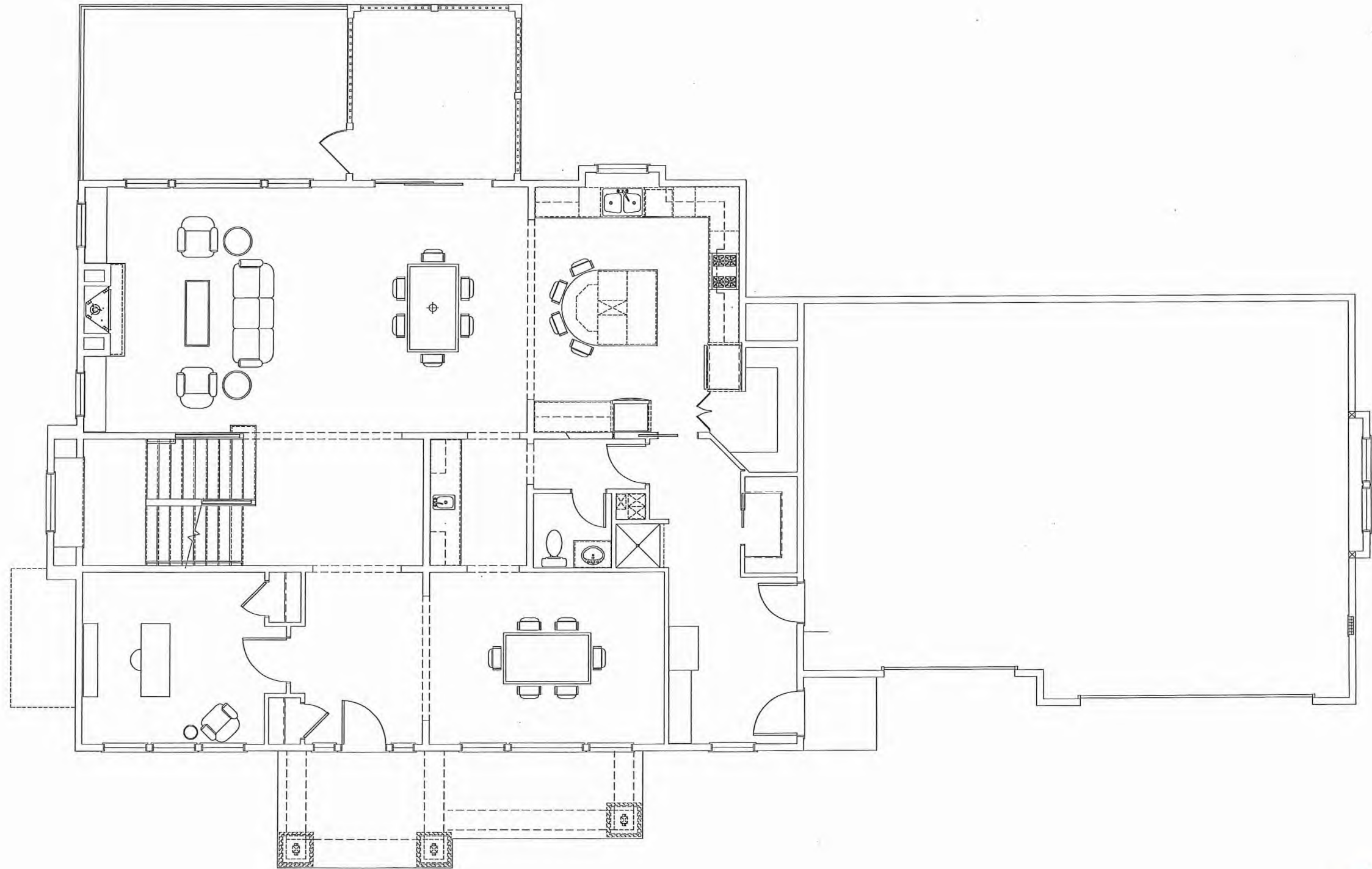
PLANS PREPARED  
BY BRANDON S

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DATE 04.06.2017

PAGE A5.1



MAIN LEVEL ELECTRICAL PLAN  
SCALE: 1/8"=1'-0"

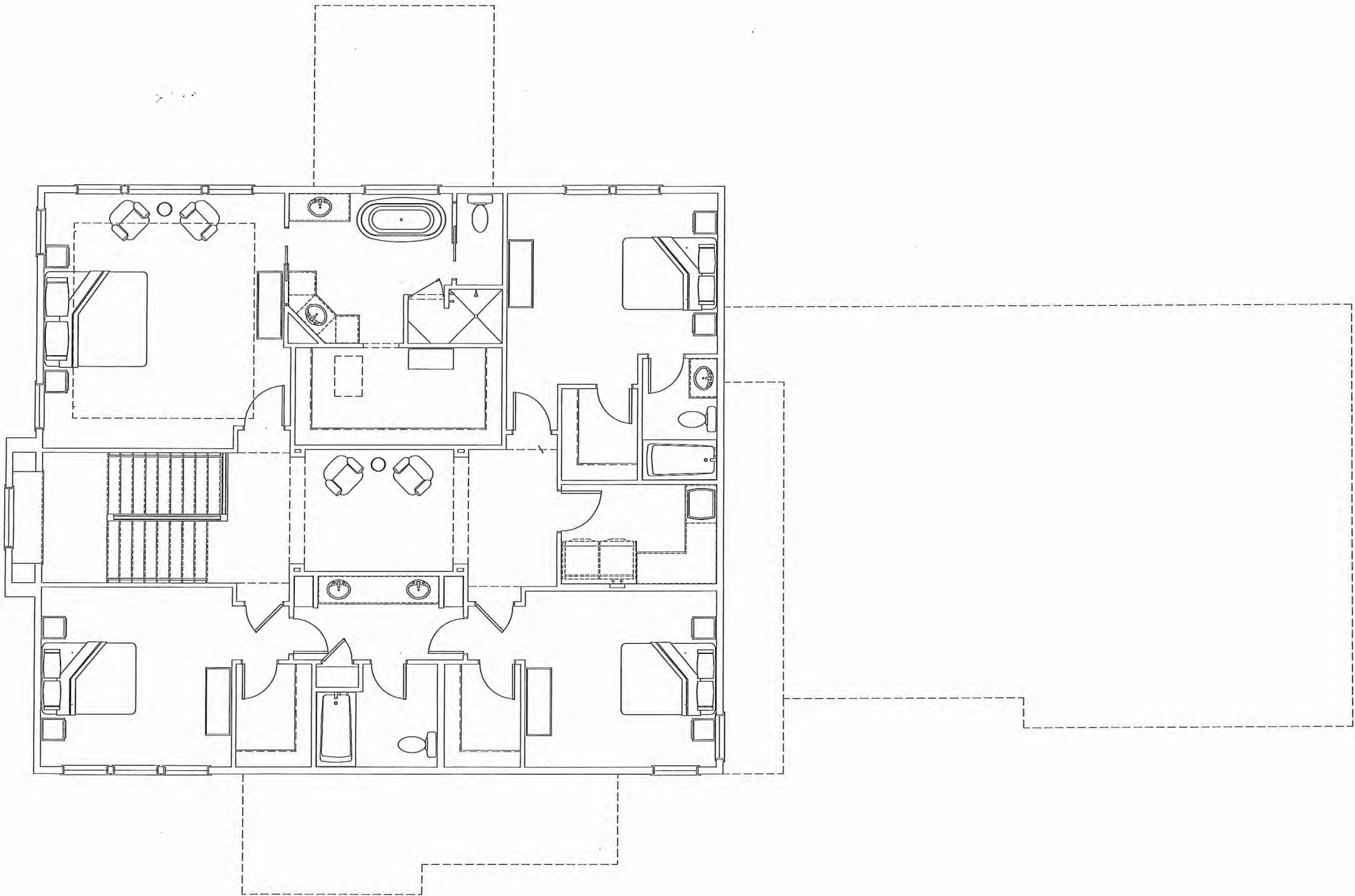
PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA



JMS Custom Homes

6035 Culligan Way  
Minnetonka, MN 55345  
Phone: 952-948-3630  
Fax: 952-948-3730  
Builder Lic. BC392462

6100 PINE GROVE  
EDINA, MN



PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA

UPPER LEVEL ELECTRICAL PLAN  
SCALE: 1/8"=1'-0"

SITE ADDRESS

LOT	BLOCK
REVISIONS	
04.10.2017	PRELIM SET #1
04.11.2017	CAD PLAN #1
04.12.2017	CAD PLAN #1
04.24.2017	CAD PLAN #2
04.28.2017	BID SET #1
05.02.2017	CAD PLAN #1
05.11.2017	CAD PLAN #1
05.21.2017	BID SET #1
06.26.2017	CONST SET #1
07.07.2017	CONST SET #2
07.24.2017	CONST SET #3
07.31.2017	CONST SET #3

APPROX SQ FT

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1945 SQ FT ML  
1815 SQ FT UL  
5475 T SQ FT

1032 SQ FT GARAGE  
144 SQ FT SCR PRCH

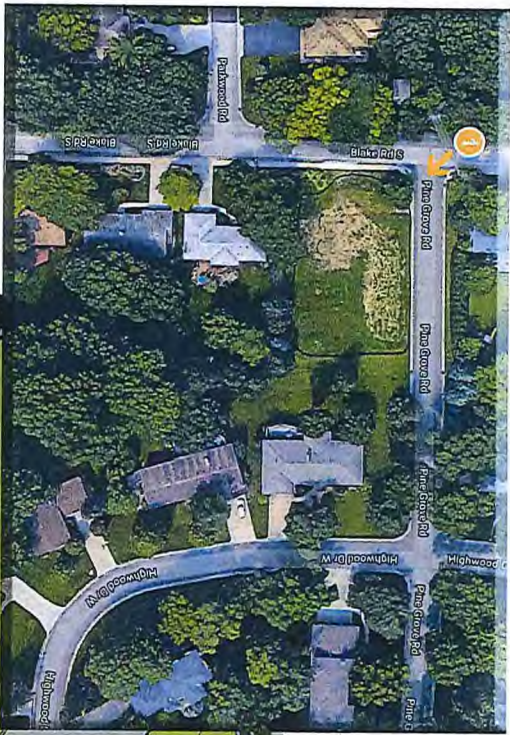
PLANS PREPARED  
BY BRANDON S

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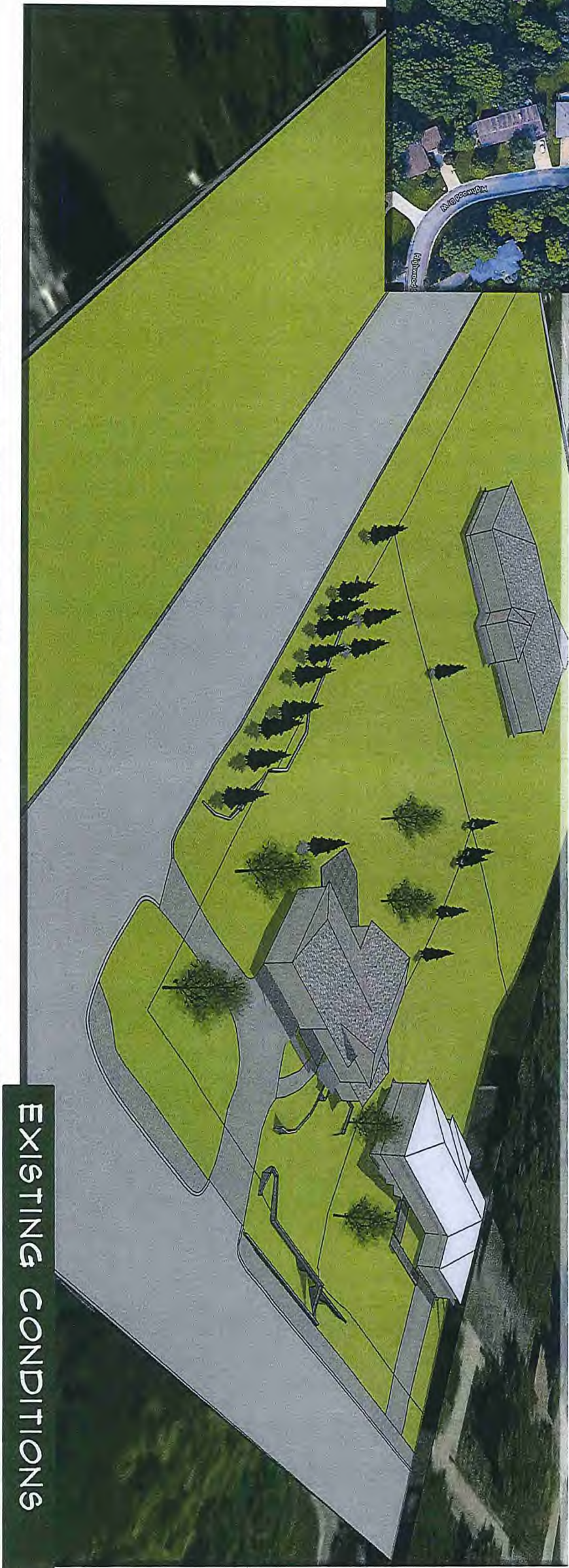
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DATE 04.06.2017

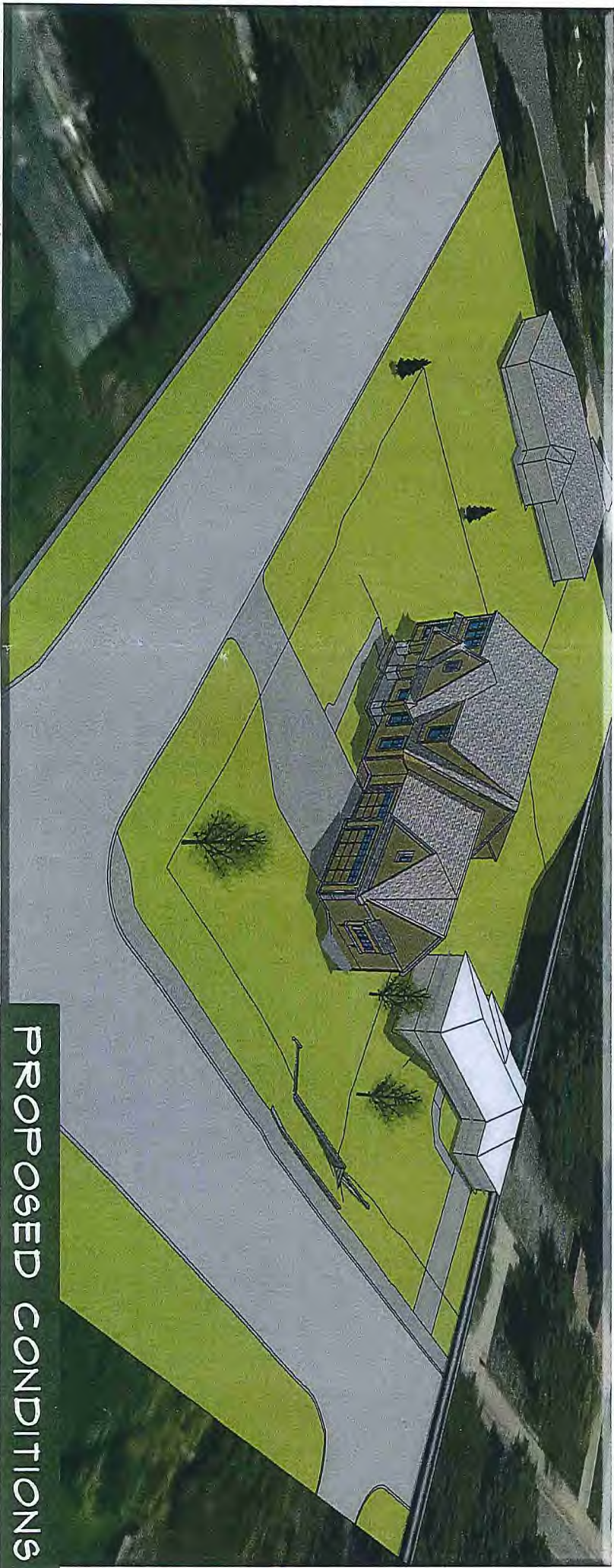
PAGE A5.2



NORTHWEST BIRDSEYE VIEW



EXISTING CONDITIONS



PROPOSED CONDITIONS



ENVIRONMENTAL • ENGINEERING • SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

6100 Pine Grove Road, Edina, MN



The CITY of  
EDINA

City of Edina

JMS CUSTOM HOMES, LLC  
6035 Culligan Way  
Minnetonka, MN 55345

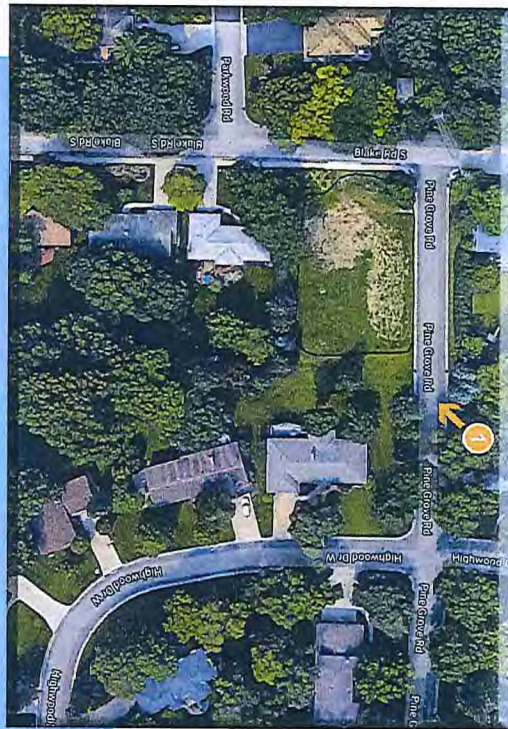


PLANNING DEPARTMENT  
CITY OF EDINA  
2017

REVISIONS

DRAWN BY: JMK  
DESIGNED BY: BPC  
ISSUE DATE: 08/29/2017

Exhibit





PROLIFERATION

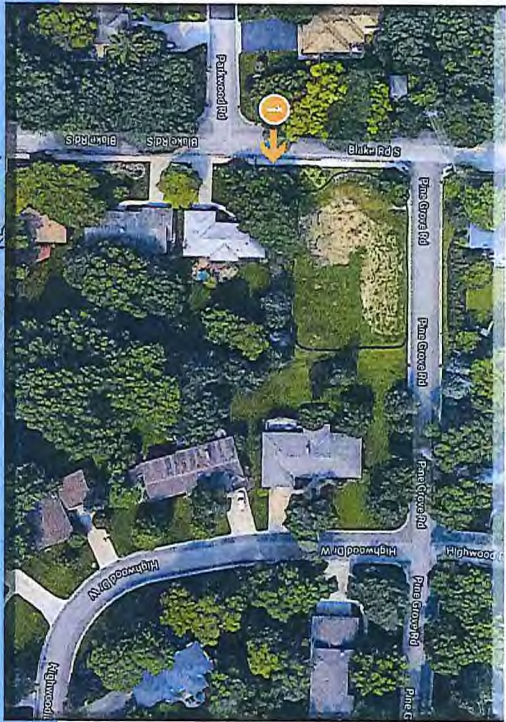


## EXISTING CONDITIONS

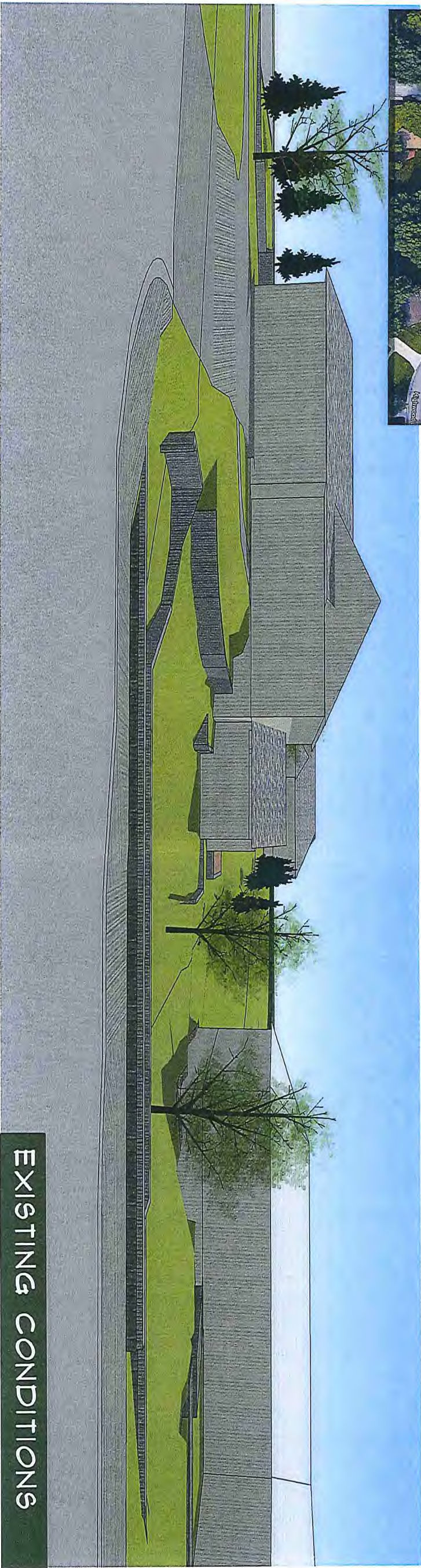


## PROPOSED CONDITIONS

<p><b>JMS</b></p> <p>JMS Custom Homes</p> <p>REVISIONS:</p> <p>DATE: 10/11/2011</p> <p>DRAWN BY: JAK</p> <p>DESIGNED BY: DRK</p> <p>ISSUE DATE: 08/04/2010</p>	<p><b>JMS CUSTOM HOMES, LLC</b></p> <p>6035 Culligan Way Minnetonka, MN 55345</p>	<p><b>6100 Pine Grove Road, Edina, MN</b></p> <hr/> <div style="display: flex; align-items: center;">  <div style="margin-left: 10px;"> <p>The CITY of <b>EDINA</b></p> </div> <div style="margin-left: 20px;"> <p><b>City of Edina</b></p> </div> </div>	<div style="text-align: right;">  <p><b>Carlson McCain</b></p> </div> <p>ENVIRONMENTAL • ENGINEERING • SURVEYING</p> <p>3890 Pheasant Ridge Dr. NE #100, Blaine, MN Phone: 763-489-7900 Fax: 763-489-7959</p>
--	---	---	--



FROM BLAKE ROAD



EXISTING CONDITIONS



PROPOSED CONDITIONS



ENVIRONMENTAL • ENGINEERING • SURVEYING  
3890 Pheasant Ridge Dr. NE #100, Blaine, MN  
Phone: 763-489-7900 Fax: 763-489-7959

6100 Pine Grove Road, Edina, MN



The CITY of  
EDINA

City of Edina

JMS CUSTOM HOMES, LLC  
6035 Culligan Way  
Minnetonka, MN 55345



JMS Custom Homes

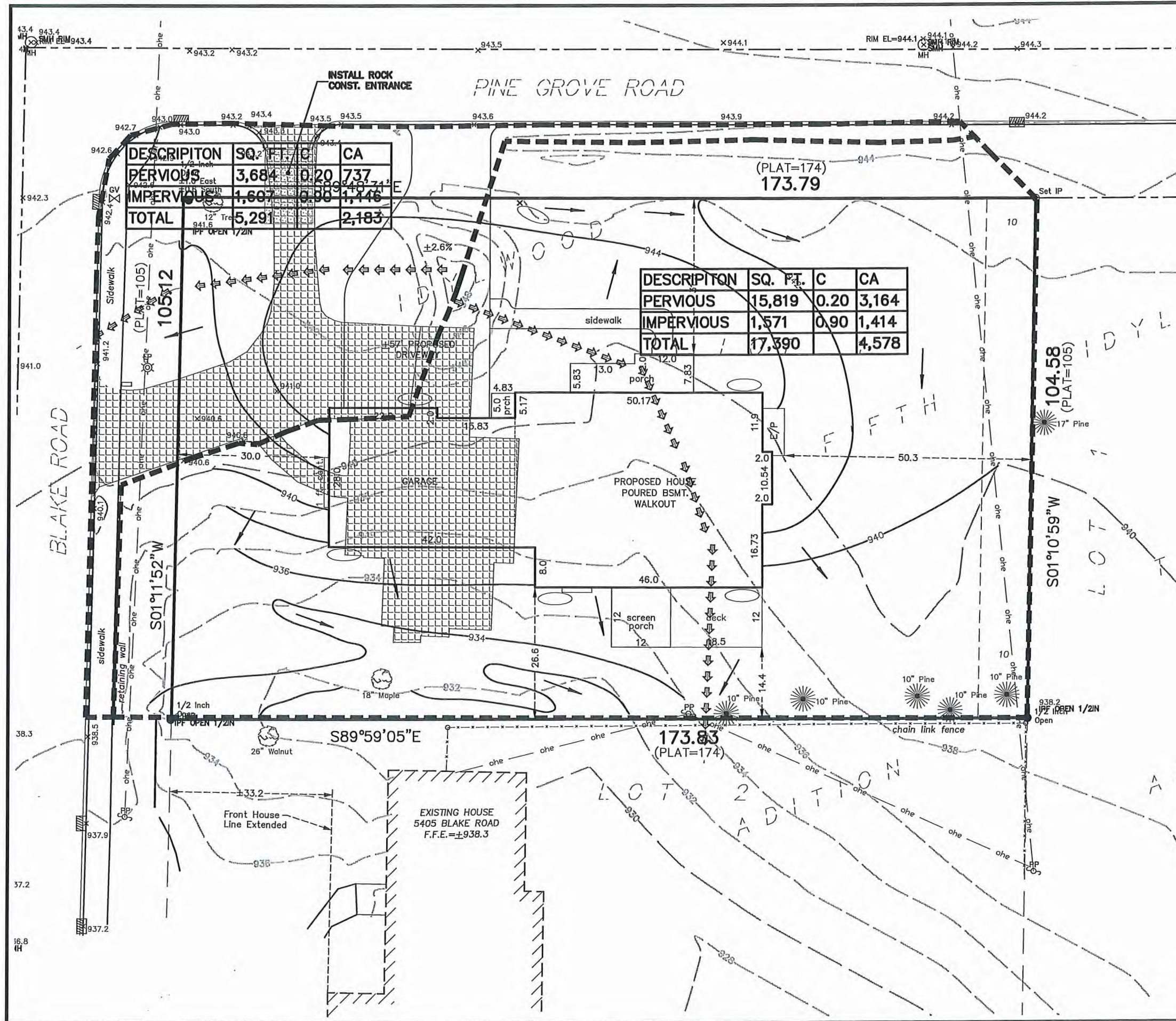
REVISIONS

01/11/2017

DESIGNED BY: JAK

ISSUE DATE: 06/04/2017

Exhibit



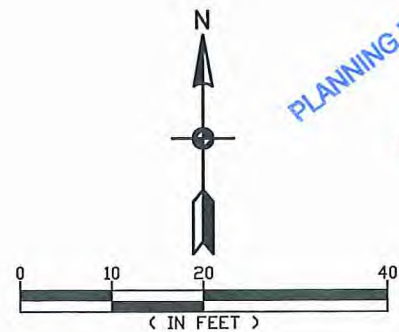
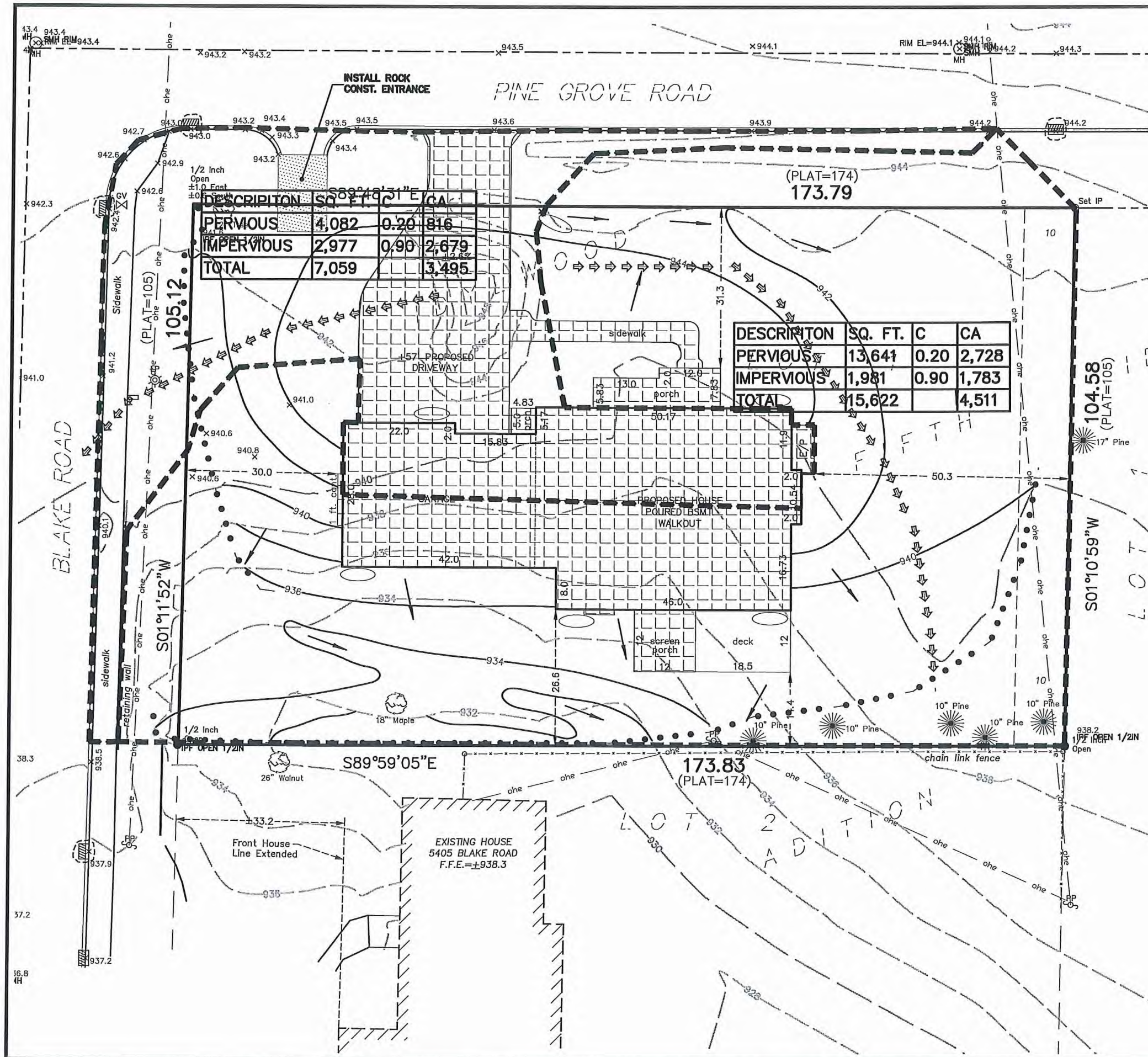
**Carlson McCain**  
ENVIRONMENTAL • ENGINEERING • SURVEYING  
248 Apollo Dr. Suite 100, Lino Lakes, MN 55014  
Phone: 763-489-7900 Fax: 763-489-7959

**EXISTING STORMWATER CALCULATIONS**  
**6100 PINE GROVE ROAD**  
Edina, Minnesota

**JMS CUSTOM HOMES, LLC.**  
525 15th Avenue South  
Hopkins, MN 55343

**REVISIONS**  
1.  
2.  
3.  
4.  
5.  
6.  
DRAWN BY: JTR  
DESIGNED BY: BFK  
ISSUE DATE: 8/4/2017

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Name: Brian F. Kallio  
Signature: *Brian F. Kallio*  
Date: 8/4/17 License #: 25817



PLANNING DEPARTMENT  
AUG 11 2017  
CITY OF EDINA

**Carlson McCain**  
ENVIRONMENTAL • ENGINEERING • SURVEYING  
248 Apollo Dr, Suite 100, Lino Lakes, MN 55014  
Phone: 763-489-7900 Fax: 763-489-7959

PROPOSED STORMWATER CALCULATIONS

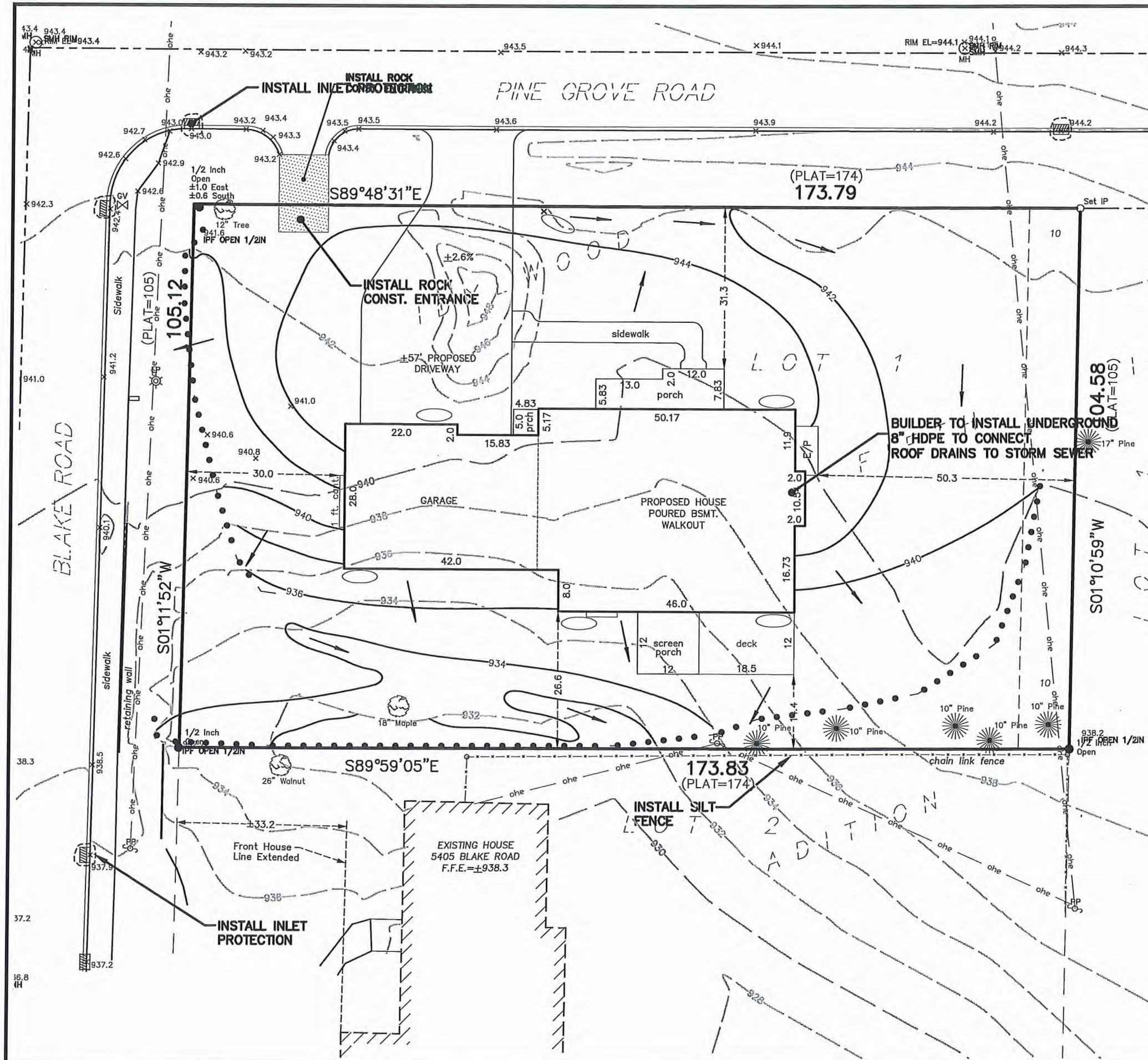
6100 PINE GROVE ROAD  
Edina, Minnesota

JMS CUSTOM HOMES, LLC.  
525 15th Avenue South  
Hopkins, MN 55343

REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
DRAWN BY:	JTR
DESIGNED BY:	BPK
ISSUE DATE:	8/4/2017

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Name: Brian F. Kallio  
Signature: *Brian F. Kallio*  
Date: 8/4/17 License #: 25817



- ### LEGEND
- ⊙ PP Denotes Existing Power Pole
  - ⊙ MH Denotes Existing Manhole
  - ▨ Denotes Existing Catch Basin
  - ⊗ GV Denotes Existing Gate Valve
  - ohe — Denotes Existing Overhead Utility Line(s)
  - - - - - Denotes Existing Fence
  - ▬ Denotes Retaining Wall
  - x 000.0 Denotes Existing Elevation
  - Denotes Direction of Drainage
  - ▬▬▬ Denotes Utility Easement, per Final Plat
  - Denotes Found Iron Monument
  - — — — — Denotes Existing Contour
  - ⊙ Denotes Existing Tree, as noted
  - ⋯ Denotes Proposed Silt Fence
  - ▨ Denotes Proposed Rock Entrance

- ### EROSION CONTROL NOTES
1. Silt fence, bio rolls and/or catch basin inlet protection devices shall be installed prior to any land disturbing activity.
  2. Rock construction entrances shall be installed prior to any land disturbing activity or after existing driveway is removed.
  3. Any sediment that reaches the existing street or adjacent property shall be removed immediately and measures shall be taken to prevent further sedimentation offsite.
  4. All silt fences, bio rolls and catch basin inlet protection devices must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches  $\frac{1}{3}$  of the height of the device. Repairs shall be made within 24 hours of discovery, or as soon as field conditions allow.
  5. Rock construction entrance must be repaired or replaced when the rock becomes inundated with sediment and/or excessive sediment is being tracked from the site. Repairs shall be made within 24 hours of discovery, or as soon as field conditions allow.



**Carlson McCain**  
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Phone: 763-489-7900 Fax: 763-489-7959

**STORMWATER MANAGEMENT PLAN  
(CONSTRUCTION)**

**6100 PINE GROVE ROAD**  
Edina, Minnesota

---

**JMS CUSTOM HOMES, LLC.**  
525 15th Avenue South  
Hopkins, MN 55343

**REVISIONS**

NO.	DESCRIPTION
1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: JTR  
DESIGNED BY: BFK  
ISSUE DATE: 8/4/2017

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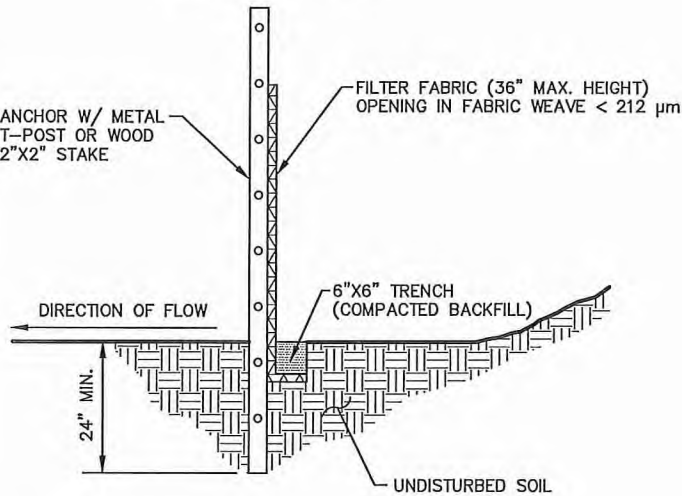
Name: Brian F. Kallio  
Signature: *Brian F. Kallio*  
Date: 8/4/17 License #: 25817

---

1 of 2

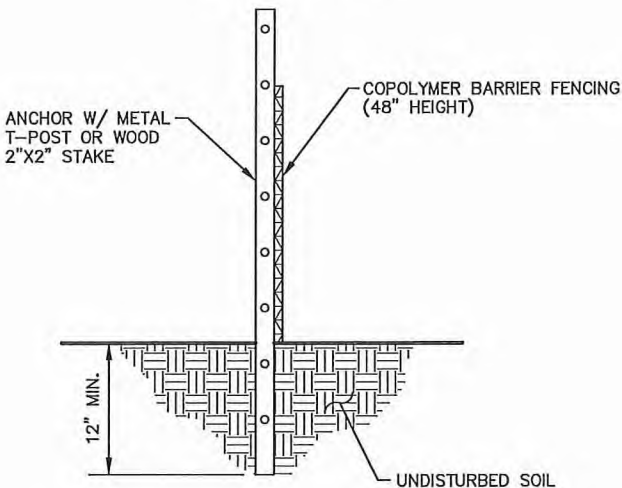
2

SILT FENCE



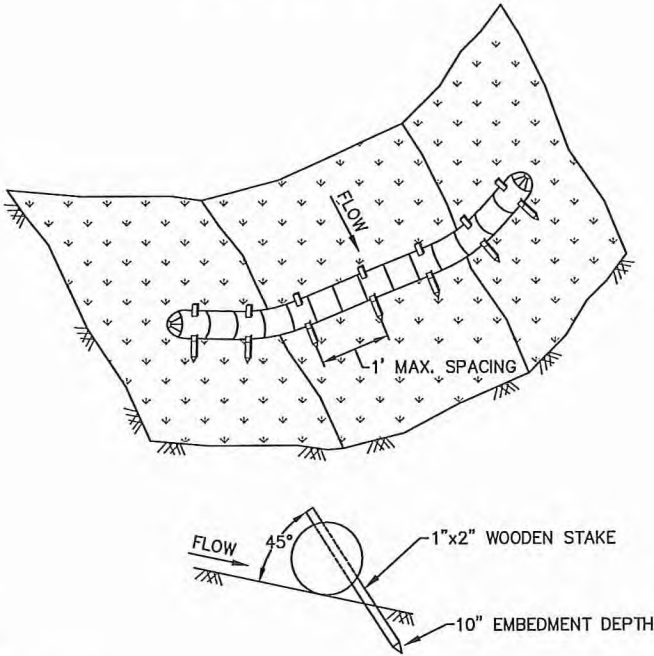
- NOTES:
- 1. DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
  - 2. DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
  - 3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
  - 4. LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
  - 5. SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
  - 6. SEE MNDOT SPECIFICATIONS 2573 & 3886.

TREE FENCE



- NOTES:
- 1. TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREE(S) THAT IS/ARE TO BE SAVED.
  - 2. ANCHOR POST MAY BE SPACED UP TO 10 FEET APART.
  - 3. SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
  - 4. SEE MNDOT SPECIFICATION 2572.

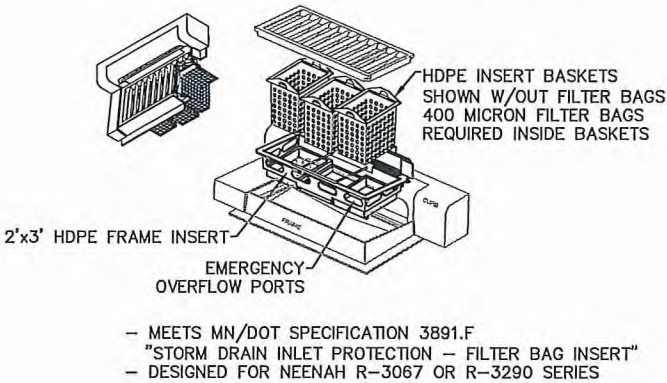
BIOROLL DETAIL



- NOTES:
- 1. ENDS OF BIOROLL SHALL BE A MINIMUM OF 6" HIGHER THAN BOTTOM OF FLOW PATH.
  - 2. STAKES SHALL BE DRIVEN THROUGH THE BACK HALF OF THE BIOROLL.
  - 3. SEE MNDOT SPECS 2573 & 3889.

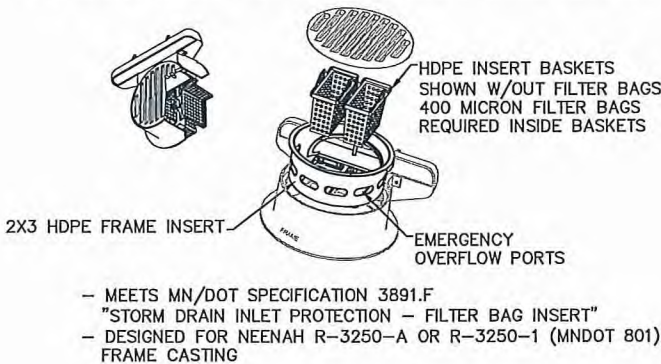
INFRA SAFE – 2'x3' DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS

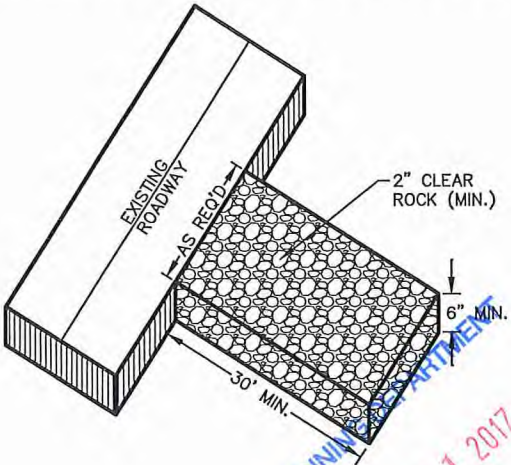


INFRA SAFE – 27" DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES



ROCK CONSTRUCTION ENTRANCE



Carlson  
McCain

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Phone: 763-489-7900 Fax: 763-489-7959

STORMWATER MANAGEMENT DETAILS

6100 PINE GROVE ROAD

Edina, Minnesota

JMS CUSTOM HOMES, LLC.

525 15th Avenue South

Hopkins, MN 55343

REVISIONS

1.	
2.	
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6.	
DRAWN BY:	JTR
DESIGNED BY:	BFK
ISSUE DATE:	8/4/2017

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: Brian F. Kallo  
Signature: *Brian F. Kallo*  
Date: 8/4/17 License #: 25817



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** September 13, 2017

**Agenda Item #:** VIII.A.

**To:** Planning Commission

**Item Type:**

Other

**From:** Cary Teague, Community Development Director

**Item Activity:**

**Subject:** 2018 Planning Commission Work Plan

Action

---

### **ACTION REQUESTED:**

Approve the 2018 Work Plan

### **INTRODUCTION:**

Attached is the 2018 Work Plan. Given the work load of Planning Commission regarding Land Use Applications; the Completion of the Comprehensive Plan is the Goal for 2018. That includes all of the small area plans including, 50th and France, 70th and Cahill, Southdale and Grandview.

### **ATTACHMENTS:**

2018 Work Plan (Draft)

# Board/Commission: Planning Commission

## 2018 Annual Work Plan Proposal

- \*Complete each section with a white background
- \*Liaisons need to fill out budget and staff support required
- \*Return to MJ Lamon by September 20, 2017

### Definitions:

**New Initiative** – not on previous work plan

**Continued Initiative** – carried over from a previous work plan with a revised target completion date

**Ongoing Responsibility** – annually on the work plan and may or may not have a target completion date



Initiative	Council Charge <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input checked="" type="checkbox"/> 3 <input type="checkbox"/> 4	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
<input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility The Planning Commission is responsible to review all Land Use applications submitted to the City of Edina. Land Use applications include: Variances; Site Plan Review; Sketch Plan Review; Conditional Use Permits; Subdivision; Lot Line Adjustments; Rezoning; and Comprehensive Plan Amendments.  To accomplish this responsibility the Planning Commission meets twice per month, on the second and fourth Wednesday of the month. The Planning Commission typically reviews 3-4 of the above requests each agenda.		2017	No.	Yes. Planning Staff spends the majority (over 80%) of its time in support of land use applications brought before the planning commission and city council. This includes meeting with applicants, preparing staff reports, answering questions from the public, preparing for and attending meetings, and project follow up to ensure compliance.
<b>Liaison Comments:</b> 2018 is expected to be another busy year with Land Use Applications				
<b>City Manager Comments:</b> Click here to enter text.				
<b>Progress Report:</b> Click here to enter text.				

Initiative	Council Charge <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input checked="" type="checkbox"/> 3 <input type="checkbox"/> 4	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
<input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility Comprehensive Plan Update. Update required every 10 years by the Metropolitan Council. The update will include mini small area plans for all areas not completed in the current Comprehensive Plan. That		December 31, 2018	Yes. Included in the CIP	Yes. This will require many hours of preparation and work scheduling and attending meetings. Staff will coordinate with the PC Chair and planning consultants and provide

includes: 50 <sup>th</sup> & France, Grandview, Southdale Area, 70 <sup>th</sup> and Cahill, 44 <sup>th</sup> and France.			background information as the plan moves through the process. The Comprehensive Plan Update is anticipated to take up a lot of staff time in 2018.
<b>Liaison Comments:</b> We experienced some delays in 2017 that may cause a few months added in 2018. We still hope to schedule the public hearing with the City Council on the total plan before December 21, 2018. We will not sacrifice quality in the Plan just to meet this deadline. If we need to extend beyond that date, staff will request an extension from the Metropolitan Council.			
<b>City Manager Comments:</b> Click here to enter text.			
<b>Progress Report:</b> Click here to enter text.			

Initiative	Council Charge <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
<input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input type="checkbox"/> Ongoing Responsibility Click here to enter text.		Click here to enter text.	Click here to enter text.	Click here to enter text.
<b>Liaison Comments:</b> Click here to enter text.				
<b>City Manager Comments:</b> Click here to enter text.				
<b>Progress Report:</b> Click here to enter text.				