

Agenda
Planning Commission
City Of Edina, Minnesota
City Hall, Council Chambers
4801 West 50th Street Edina, MN 55424
Wednesday, December 13, 2017
7:00 PM

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
 - A. Minutes: Planning Commission, November 29, 2017
- V. Public Hearings
 - A. Public Hearing: Rezoning Request, 6453 & 6451 McCauley Terrace
- VI. Community Comment

During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.

- VII. Reports/Recommendations
 - A. Sketch Plan Review - Pentagon Park North
- VIII. Correspondence And Petitions
- IX. Chair And Member Comments
- X. Staff Comments
- XI. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: December 13, 2017

Agenda Item #: IV.A.

To: Planning Commission

Item Type:

Minutes

From: Jackie Hoogenakker, Planning Division

Item Activity:

Subject: Minutes: Planning Commission, November 29, 2017

Action

ACTION REQUESTED:

Please approve attached November 29, 2017, Planning Commission Meeting Minutes.

INTRODUCTION:

See Attached.

ATTACHMENTS:

Minutes: Planning Commission, November 29, 2017



Minutes
City Of Edina, Minnesota
Planning Commission
Edina City Hall Council Chambers
November 29, 2017

I. Call To Order

Chair Olsen called the meeting to order at 7:05 P.M.

II. Roll Call

Answering the roll were: Commissioners Lee, Thorsen, Strauss, Nemerov, Hamilton, Bennett, Berube, Bennett, Chair Olsen. Staff, City Planner, Teague, Assistant Planner, Aaker Sr. Communications Coord., Eidsness

Absent: Commissioner Hobbs and Student Members, Mittal and Jones.

III. Approval Of Meeting Agenda

A motion was made by Commissioner Thorsen to approve the November 29, 2017, meeting agenda. The motion was seconded by Commissioner Strauss. All voted aye. The motion carried.

IV. Approval Of Meeting Minutes

A motion was made by Commissioner Thorsen to approve the minutes of the November 15, 2017, meeting minutes. The motion was seconded by Commissioner Lee. All voted aye. The motion carried.

V. Community Comment

None.

Commissioner Strauss moved to close the public comment period. Commissioner Berube seconded the motion. All voted aye. The motion carried.

VI. Reports/Recommendations

A. Sketch Plan Review – Pentagon Park South Parcel

Planner Presentation

Planner Teague reported that the Planning Commission is asked to consider a sketch plan proposal to develop the vacant 12.12 acre Pentagon South Parcel located on 77th Street, Computer Avenue, Viking Drive and Normandale Boulevard. As proposed, at full build out, the site would include:

- 210,000 square feet of Medical Office – located in two 5-6 story buildings;
- Two 150 room, 5-story hotels;
- Two parking ramps;
- 5,000 square feet of Commercial – two buildings.
- A vehicle and pedestrian parkway connection to Pentagon North.

Teague explained that in 2014, this site was granted preliminary approval of a PUD. (See attached.) However, no plan was ever brought forward for final rezoning. The uses proposed for the south parcel are generally consistent with uses proposed in 2014; however, the site plan is completely different. The office square footage proposed in the new plan is about half of what was contemplated in 2014. The following would be required with the current proposal:

- A Rezoning from MDD-6, to PUD, Planned Unit Development; and
- A New Overall Development Plan

Teague indicated with the Sketch Plan submitted that staff has the following comments/concerns:

- Front setbacks of the hotel and parking structures. (Too close to the street.)
- Surface parking lots. (There is a very high water table with this site that makes underground parking difficult and very expensive.)
- No vertical mixed use.
- Location of the fast food and drive-through.
- Site lines looking west on 77th. (View is of a surface parking lot.)

Appearing for the Applicant

Jay Scott, Solomon Real Estate Group, Ryan Summers, RSP Architects

Discussion/Comments

Teague was asked to clarify the prior preliminary approval from Mixed Development District-6, MDD-6 to Planned Unit Development, PUD of the site. Planner Teague reported that in 2014 the site was preliminary rezoned to PUD; however, there was no final rezoning therefore the subject site is zoned MDD-6. Teague was asked if the site needs to be rezoned to PUD.

Teague responded that it would up to the property owner. Teague said there needs to be a discussion on which serves the site better, PUD or an MDD-6 zoning classification. Both work. Continuing, Teague said a PUD rezoning might allow greater flexibility; however, he reiterated the zoning classification would be up to the property owner and developer.

Teague was asked to clarify no vertical use. Teague responded this would apply to each building. The use of the office building would be office, the hotel, a hotel.

Applicant Presentation

Mr. Scott addressed the Commission and explained they want to develop a plan that meets the needs of the community and was market tested. He said their intent was to begin construction in 2018. Continuing Scott said that all proposed uses are viable uses, the proposal is real and the anticipated build out time is three to five years. Scott introduced Ryan Summers with RSP Architects.

With graphics, Mr. Summers explained the site in detail. He explained they were very thoughtful with building placement noting the offices need good exposure. Summer acknowledged that this development would establish a new and highly recognizable gateway in Edina. Summers noted that each building has a more intimate green space area that connects and weaves into the larger site green and blue spaces infrastructure. He added the goal of the master plan was to organize the green spaces so they are separate but connected. Concluding, Summers said the architecture of the buildings has not been firmly established however, their goal was to create a site and buildings with expressive architectural design.

Commissioners questioned/expressed the following:

- What was envisioned in the retail component. Mr. Summers said he believes the freestanding retail components would most likely be restaurant(s). Summers said the goal would to have the retail an amenity to the offices and hotel. He pointed out the retail component is forward on the site with the parking pushed to the rear of the site.
- It was suggested that the retail component might not be the highest and best use of the site. Mr. Summers said a development goal was to provide strong amenities for the office and hotel use.
- The development team was asked the reason the proposed building along 77th / Computer was so close to the street. Mr. Summers responded that in answer to the “urban feel” the building was located near the street to facilitate engagement. Summers said the building could be pulled back farther into the site if so directed.
- It was noted that more parking spaces were proposed than needed. Mr. Summers said they want the site appropriately parked, adding it is their intent as the plan approaches finalization that there would be less parking and more green space. Summers said the design is in the beginning states.
- Ensure that the hotel visitors and office workers can navigate the site itself; and consider how this site would integrate to the north side of 77th Street. Summers said they are considering some form of skyway and a pedestrian bridge over 77th Street. The bridge over the street is expensive, adding it would need further study.
- The development team was asked if this was a multiphase project. The team responded it could be. It was explained that the west side could be considered phase I; however, if the market is favorable the site could be built out at a quicker pace. Whatever is decided the infrastructure would be completed at the onset.

- There was question on if the offices would be multitenant or single tenant. Mr. Summers explained that he believes one of the buildings would have a major anchor tenant, adding at this time he cannot speak to the tenant mix of the entire development.
- It was suggested that the development team pay close attention to accessibility. Navigating the site by vehicles, pedestrian and bike is very important to a successful environment.
- Consider a boutique hotel.
- In the office component consider start-up office space
- Encourage green streets.
- With regard to storm water management, consider using water as a prominent architectural feature connecting uses.
- Create external and internal plaza space.
- Connect east to west, north to south.
- It was suggested that the development team stretch or dream as hard as they can. Reconsider tenants of the retail element. Maybe some of the considered retail uses would work better on the main floor of the office building as an amenity.
- Entice the public, make a statement, and create a space that is welcoming not only to the office tenants and hotel visitors but also to the general public.
- Create a connection to the Fred Richards open space area. Use the Fred Richards and the 9-Mile creek path as an amenity for this site, not just the property north of 77th Street
- Pay close attention to linking sidewalks to help people not only get to the site but to navigate through the site.
- Suggest that the retail component function like a village, consider boutique stores, and make it walkable.
- Consider adding an architectural feature to each building that tie the buildings together.
- Massage the open space.
- Take another look at the spine and create a pedestrian friendly experience with artwork, etc.
- Make sure that the patrons of the hotels can navigate and use the entire site.
- It was stressed again the importance of the Fred Richards park. Make that an amenity.
- Commissioners agreed that this site was a gateway area; however, some stated that the proposed development lacked vision and boldness.
- It was reiterated that the development team should want to draw people into the site.
- Promote active streets.
- Reconsider the setback of the building proposed along 77th/Computer Avenue.
- It appears the parking is heavily located along the Bloomington boarder – revisit that-make it more attractive.
- Commissioners advocated for less parking.
- Think big; what about housing.

Chair Olsen thanked the development team for their presentation, adding the Commission looks forward to a formal application.

VII. Correspondence And Petitions

Chair Olsen acknowledged back of packet materials.

VIII. Chair And Member Comments

Commissioner Thorsen told the Commission he continues to work with Bill Neuendorf on the Economic Competiveness section of the Comprehensive Plan He noted their group works with Jana King as consultant.

Commissioner Berube said that on December 11 the 44th and France Small Area Plan Working group would receive a draft from the consultant. Berube explained that they are gaining common ground on building height; however, would be reviewing the draft and make changes if necessary.

IX. Staff Comments

Planner Teague reminded Commissioners that the Commission and Council have a joint work session scheduled for Tuesday the 5th at 5:30. This session will be a “check-in” on the Comprehensive Plan.

X. Adjournment

Commissioner Thorsen moved to adjourn the meeting of the November 29, 2017, Planning Commission. Commissioner Strauss seconded the motion. All voted aye. Meeting adjourned at 9:00 p.m.

Jackie Hoogenakker

Respectfully submitted



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

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Date: December 13, 2017

Agenda Item #: V.A.

To: Planning Commission

Item Type:

Report and Recommendation

From: Emily Bodeker, Assistant City Planner

Item Activity:

Subject: Public Hearing: Rezoning Request, 6453 & 6451
McCauley Terrace

Action

ACTION REQUESTED:

Recommend the City Council approve the preliminary and final rezoning from R-2, Two-Family Dwelling Unit District to R-1, Single-Dwelling Unit District.

INTRODUCTION:

See attached staff report.

ATTACHMENTS:

Staff Report

Site Location & Zoning Maps

Applicant Submittal and Plans

Engineering Report

Neighborhood Correspondence



Date: December 13, 2017

To: Planning Commission

From: Emily Bodeker, Assistant City Planner

Subject: Preliminary Rezoning from R-2 to R-1 at 6453 & 6451 McCauley Terrace

Information / Background:

Ian and Lindsay Melander, are requesting a rezoning from R-2, Double-Dwelling Unit District to R-1, Single-Dwelling Unit District for 6453 and 6451 McCauley Terrace. The purpose of the rezoning is to build two new single family homes. The applicants are the anticipated owners of the proposed single family house at 6453 McCauley Terrace.

The plans submitted include plans for the proposed single family house at 6453 McCauley Terrace and preliminary general plans for future single family house at 6451 McCauley Terrace.

Surrounding Land Uses

- Northerly: A double dwelling unit; zoned R-2 Double Dwelling Unit District and guided Low Density Residential.
- Easterly: Single family dwelling; zoned R-1, Single Dwelling Unit District and guided Low Density Residential.
- Southerly: A double dwelling unit; zoned R-2 Double Dwelling Unit District and guided Low Density Residential.
- Westerly: HWY 169

Existing Site Features

The property at 6453 McCauley Terrace is .38 acres (16,603 square feet) and 6451 McCauley Terrace is .37 acres (approximately 16,117 square feet). Both properties are vacant and heavily wooded. Both have access to existing sanitary sewer and water lines. Each of the proposed single family houses will be accessed off of the McCauley Terrace cul-de-sac.

Planning

Guide Plan designation: Low Density Residential
 Zoning: R-2, Double Dwelling Unit District

Grading/Drainage/Utilities

The city engineer has reviewed the proposed plans and found them acceptable, subject to conditions. (Memo from the city engineer is attached.) Both sites are large, and would have many options for stormwater retention. There shall be no increase in peak rate or volume to neighboring properties. These lots are sloped toward McCauley Trail to the west. A more detailed grading plan would be reviewed by the city engineer at the time of a building permit application for each home. A construction management plan would also be required. Specific hook-up locations would be reviewed at the time of a building permit for each lot. A Nine Mile Creek Watershed District permit would also be required.

Compliance Table

	City Standard (R-1)	Proposed
<u>Building Setbacks</u>		
Front	30 feet	30 feet
Side – North	15 feet	15.4 feet
Side – South	10 feet	10.9 feet
Rear	25 feet	68 feet
Building Height	36.5	28 feet
Building Coverage	25%	Roughly 13%

PRIMARY ISSUES/STAFF RECOMMENDATION

Primary Issues

- Is the proposed Rezoning from R-2 to R-1 reasonable for these sites?

Yes. Staff believes the proposal is reasonable for the following reasons:

- I. The proposed use would fit in to the neighborhood. This neighborhood consists of both single-family and two-family dwellings. The homes to the east include single-family homes and the properties to the north and south of the subject lots are two-family homes.

2. The single-family homes in this area gain access from McCauley Terrace as these homes are proposed. The duplexes gain access off McCauley Trail to the west. Single family homes built off the cul-de-sac would be more in character on the cul-de-sac than duplexes would be.
3. The proposal is consistent with the Comprehensive Plan. Again, the site is guided LDA, Low Density Attached Residential within the Comprehensive Plan, and uses may include single-family residential dwellings.

Staff Recommendation

Recommend that the City Council approve the Preliminary and Final Rezoning from R-2, Two-Dwelling Unit District to R-1, Single-Dwelling Unit District. Approval is subject to the following findings:

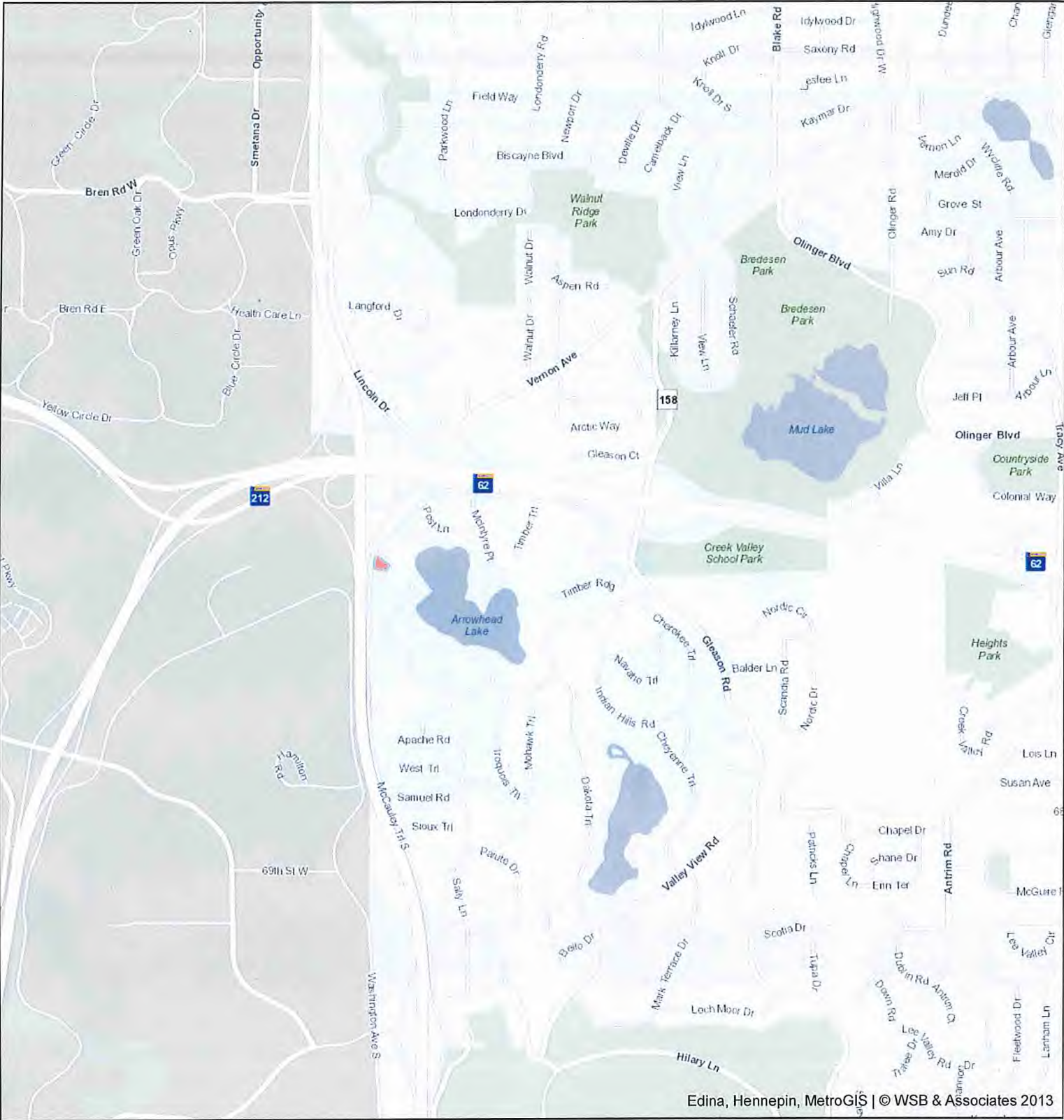
1. The proposal is consistent with the Comprehensive Plan.
2. Single-family homes would be consistent with other single-family homes on the McCauley Terrace cul-de-sac.

Approval is subject to the following conditions:

- I. Prior to issuance of a building permit, the following items must be submitted:
 - a. Submit evidence of Nine Mile Creek Watershed District approval. The City may require revisions to meet the district's requirements.
 - b. A curb-cut permit must be obtained from the Edina engineering department.
 - c. A grading, drainage and erosion control plan subject to review and approval of the city engineer. The proposed plans shall meet all conditions outlined in the engineering memo dated December 7, 2017
 - d. There shall be no increase in peak rate or volume to neighboring private property.
 - e. Any disturbance to the roadway caused by the construction of the new homes must be repaired by replacing the asphalt pavement from curb-to-curb and from saw-cut to saw-cut.
 - f. A construction management plan will be required for the construction of the new homes.
 - g. Utility hook-ups are subject to review of the city engineer.

Deadline for a city decision: January 17, 2018

Site Location



Edina, Hennepin, MetroGIS | © WSB & Associates 2013

1 in = 1,505 ft



The CITY of
EDINA



December 7, 2013
Map Powered by DataLink

Site Location



1 in = 188 ft



The CITY of
EDINA



December 7, 2013
Map Powered by DataLink

Site Location



1 in = 188 ft

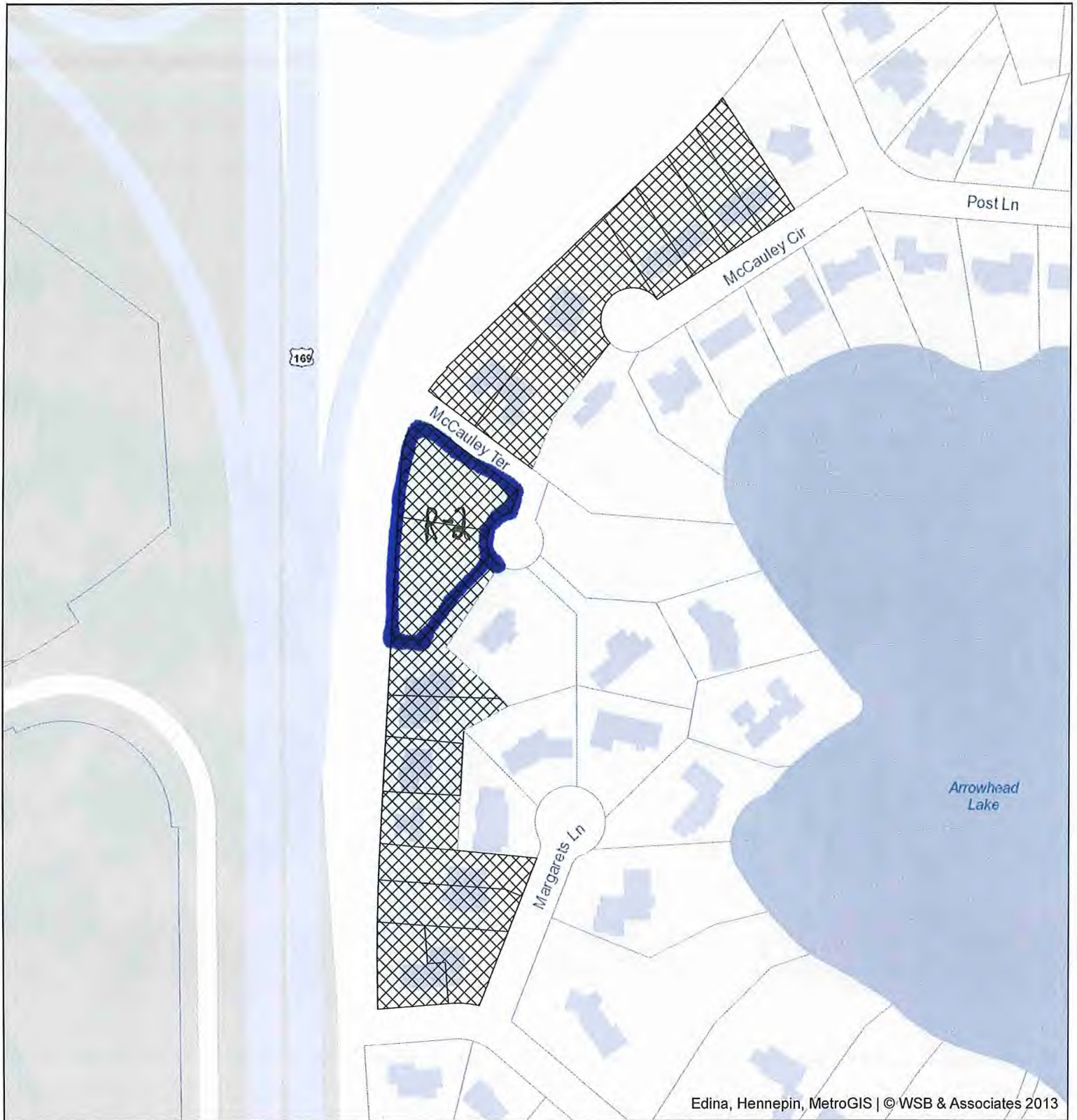


The CITY of
EDINA



December 7, 2015
Map Powered by DataLink

Zoning Map



1 in = 188 ft



The CITY of
EDINA

Zoning

		PRD-4		POD-1		PSR-4
R-1		PRD-5		POD-2		MDD-4
R-2		PCD-1		RMD		MDD-5
PRD-1		PCD-2		PID		MDD-6
PRD-2		PCD-3		PUD		
PRD-3		PCD-4		APD		



December 7, 2013
Map Powered by DataLink

View of proposed front elevation (East view)



View from NE corner



PLANNING DEPARTMENT

NOV 09 2017

CITY OF EDINA

View of single family homes in cul de sac from East edge of lot



View of McCauley Terrace from NE corner



PLANNING DEPARTMENT

NOV 09 2017

CITY OF EDINA

Back lot view of 6453 McCauley Terrace from McCauley Trail



Statement for intended use of property

We appreciate the opportunity to present to the City of Edina our proposal for rezoning of the existing R2 lot at 6453 McCauley Terrace to a R1 zoned property, in order to build our single family home. We believe our request should be approved for the following reasons:

- Our home was designed with the front elevation facing the cul-de-sac of McCauley Terrace, which it will share with the existing single family homes on McCauley Terrace. We believe in doing so, our house will maintain the character of the street and keep in line with current homes.
- A twin home built on the lot is very likely to require a larger footprint than our proposed plan, resulting in more tree loss and overall disturbance to the lot.
- A single family home built on the lot will result in reduced population density and overall traffic for the street and surrounding neighbors, compared to a twin home built on the lot.
- We have enlisted the services of a top quality survey and engineering company, Sambatek, to ensure our project is completed with an attention to planning and detail. We are now prepared and educated, as much as possible, to ensure a smooth construction process.
- Our builder, Sushil Rana of Da Vinci Custom Homes, has extensive experience building high quality custom homes, with an emphasis on nature conservation. For example, Da Vinci has built homes on very complex sites in Minnetonka's special nature conservation development called Marshes of Meadowwoods.
- The McCauley family, who have played an integral role in the platting of McCauley Heights, including the original request to have 6453 McCauley Terrace zoned with an R2 designation, have advocated for a zone change to R1 as well. We have appreciated their support regarding land that holds special meaning in the history of their family.

We hope that the above reasons serve as only a starting point, and that the plans and drawings that we have provided in the remainder of the application will illustrate the vision we have for developing 6453 McCauley Terrace into a beautiful home in which to raise our young family. We thank each member of the Planning Division, Planning Commission and City Council in advance for their time spent in reviewing and considering our rezoning request.

Sincerely,



Ian and Lindsay Melander

PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINA

Proposed R1 Zoning for 6453 McCauley Terrace



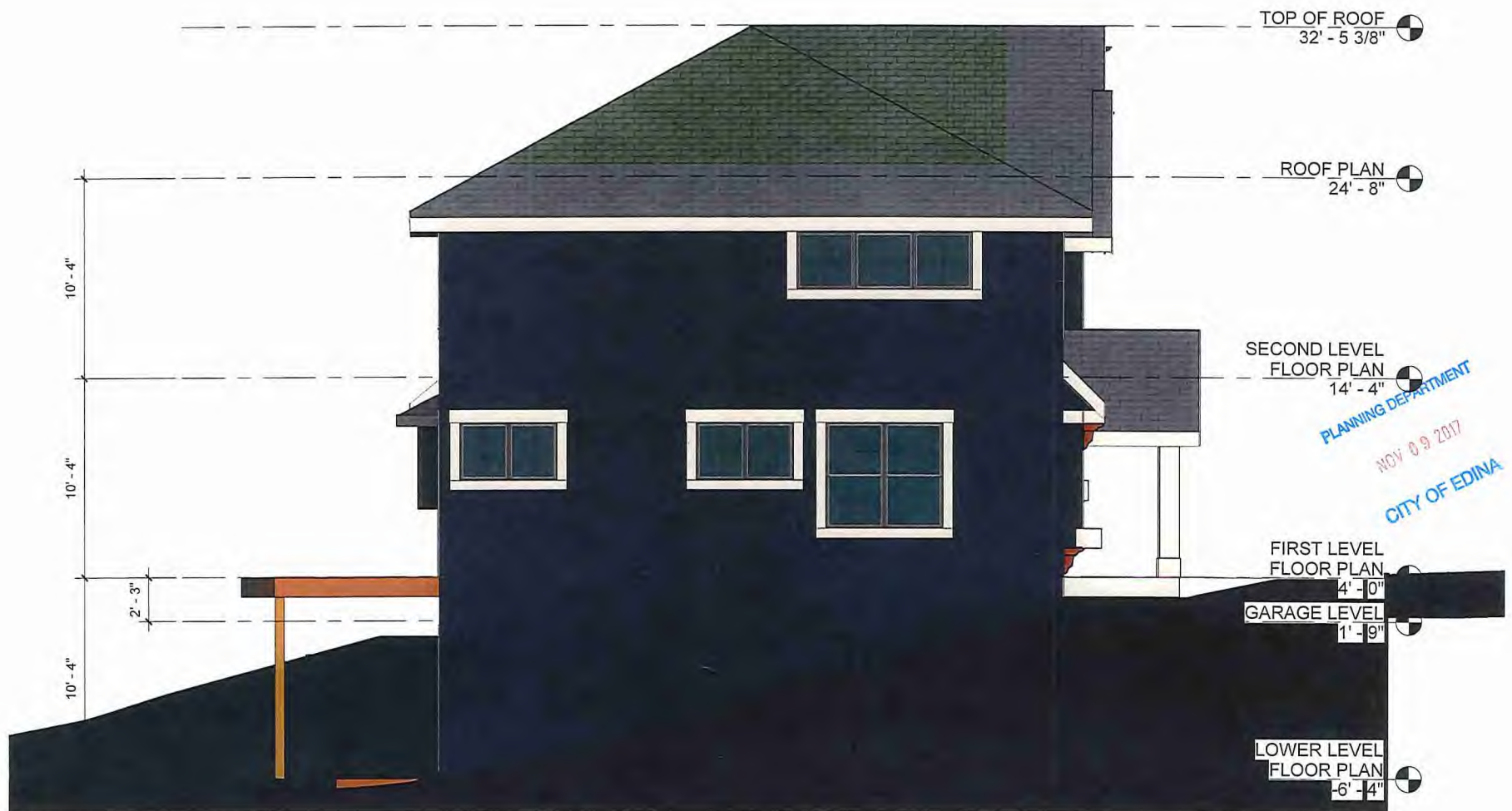
ST-08
PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINBURGH



1 EAST ELEVATION
scale: 3/16" = 1'-0"

PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINA

7 NOV 2017



1 SOUTH ELEVATION

scale: 3/16" = 1'-0"

7 NOV 2017



1 WEST ELEVATION

scale: 3/16" = 1'-0"

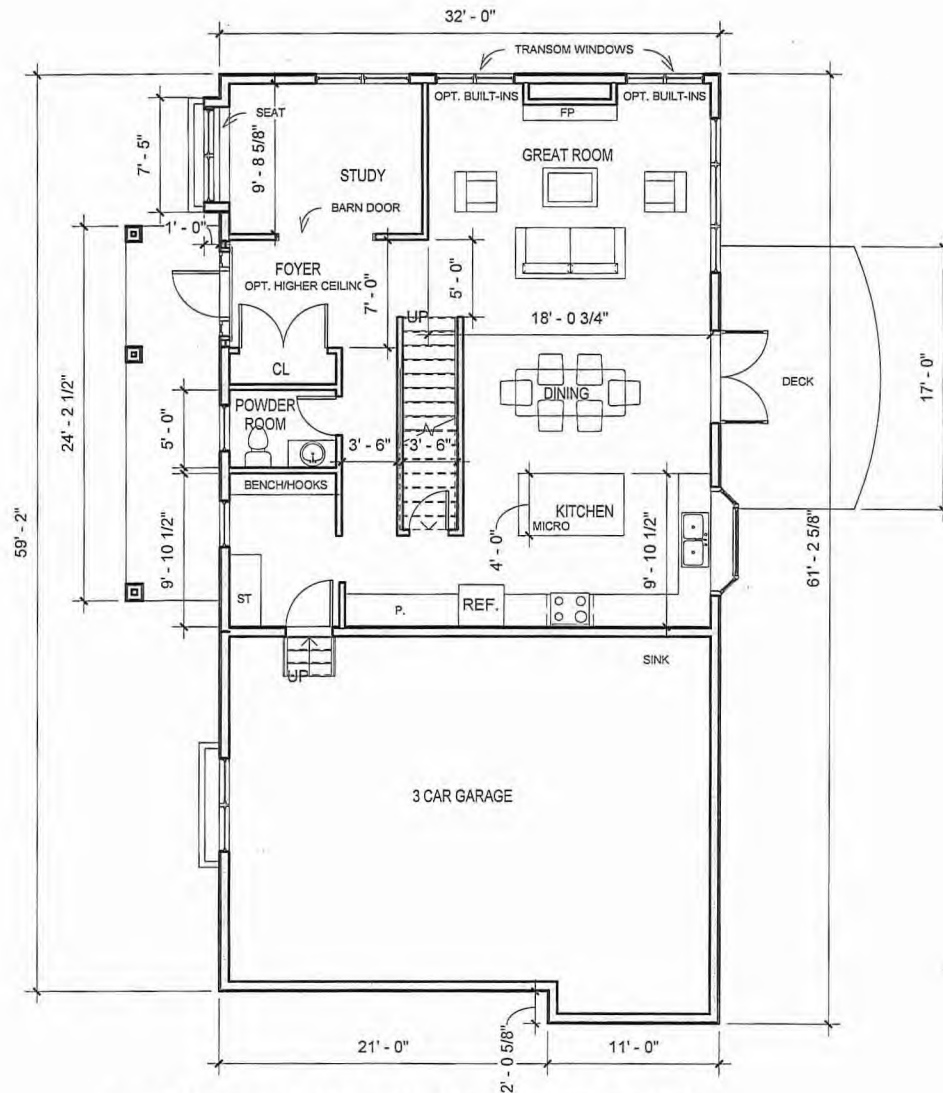
7 NOV 2017



1 NORTH ELEVATION

scale: 3/16" = 1'-0"

NOV 09 2017
CITY OF EDINA



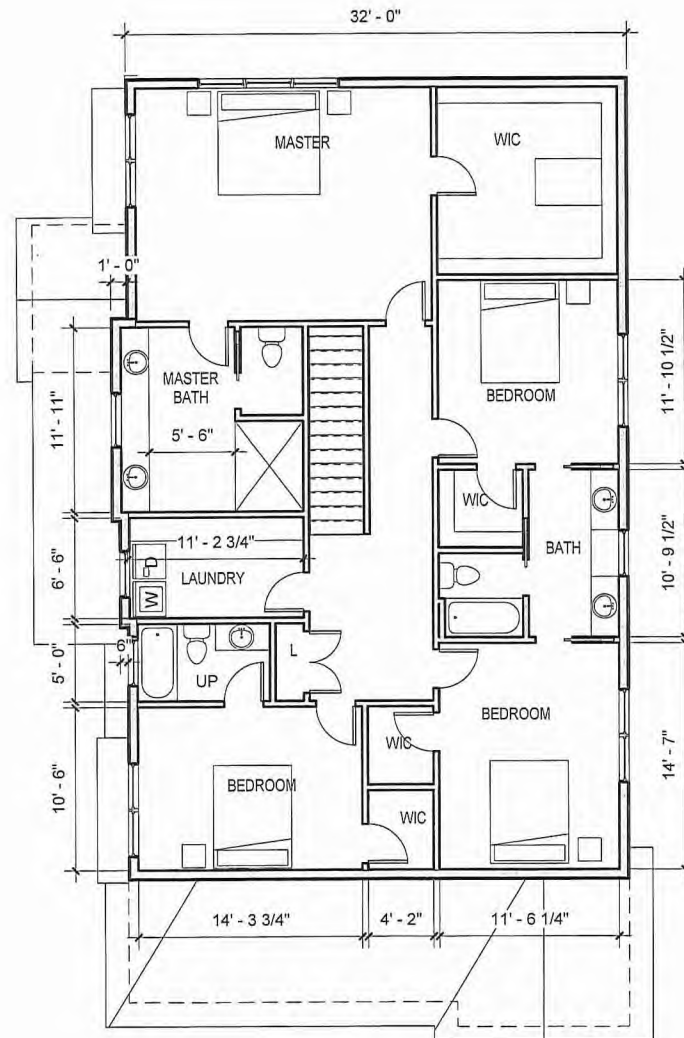
1 FIRST LEVEL FLOOR PLAN

scale: 1/8" = 1'-0"

1080 FINISHED SF

PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINA

7 NOV 2017



1

SECOND LEVEL FLOOR PLAN

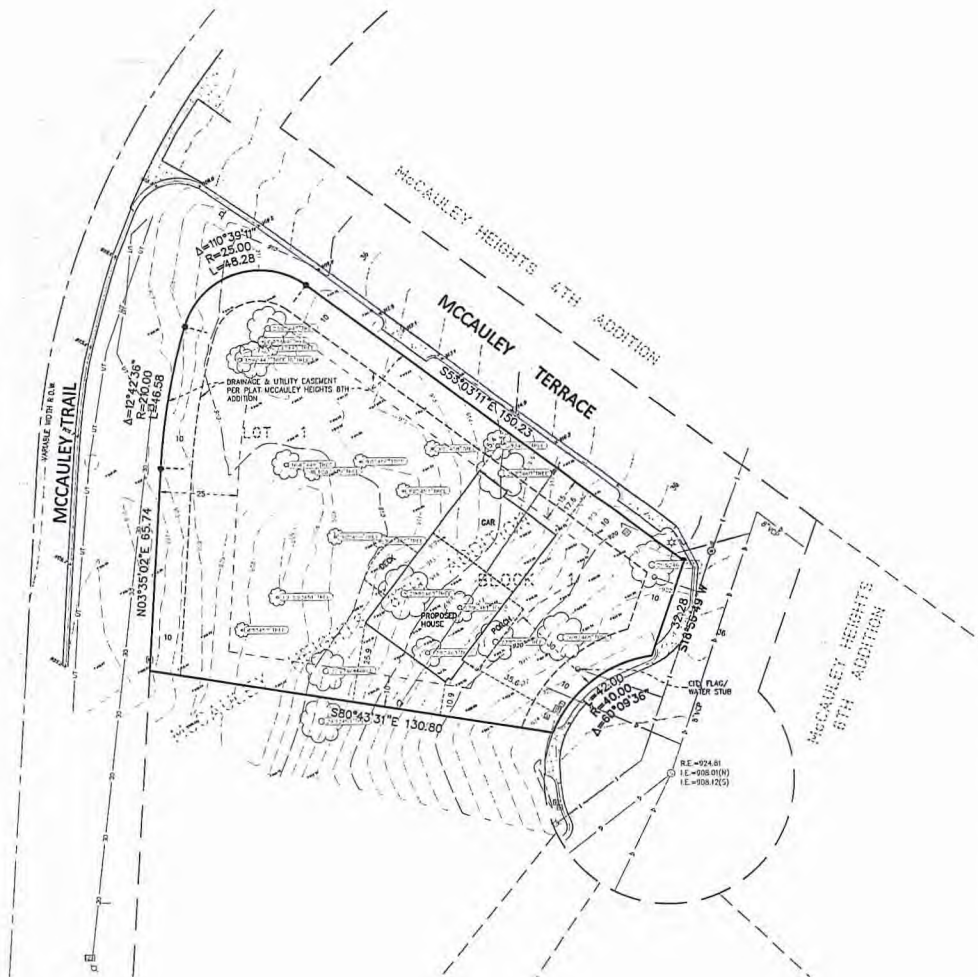
scale: 1/8" = 1'-0"

1565 FINISHED SF

PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINA

7 NOV 2017

US HIGHWAY NO. 169



SUBJECT PROPERTY

Lot 1, Block 1, MCCAULEY HEIGHTS 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

PROPERTY SUMMARY

1. Subject property's address is 6453 McCauley Terrace, its property identification number is 0515621220028.
2. The gross area of the subject property = 0.3012 Acres or 15,503 Square Feet.

SURVEY NOTES

1. The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust), with an assumed bearing of South 53 degrees 03 minutes 13 seconds East for the northeasterly line of Lot 1, Block 1, MCCAULEY HEIGHTS 8TH ADDITION.
2. Field work was completed on 10/30/2017.
3. The vertical datum is based on NAVD83 The originating bench mark is 2763 M, referenced from the NAD83 Geoidetic Database.

BENCHMARK
2763 M Elev.=891.19
BENCHMARK ON SITE
TIN on SW side of McCauley Terrace Cul-De-Sac.
Elev.= 528.28

LEGEND

① STORM MANHOLE	— H — STORM SEWER	— B — BITUMINOUS SURFACE
② STORM CATCH BASIN	— S — SANITARY SEWER	— C — CONCRETE SURFACE
③ SANITARY MANHOLE	— W — WATERMAIN	— G — CONCRETE CURB
④ GATE VALVE / HYDRANT	— U — UNDERGROUND ELECTRIC	— D — DECIDUOUS TREE
⑤ SIGN	— V — UNDERGROUND TELEPHONE	— C — CONIFEROUS TREE
⑥ GAS METER	— G — UNDERGROUND GAS	— S — SPOT ELEVATION
⑦ UTILITY POLE	— O — OVERHEAD ELECTRICAL WIRE	— L — CONTOUR
⑧ TRANSFORMER	— F — CHAIN LINK FENCE	
⑨ GUARD POST		
⑩ CLEAN OUT		
⑪ FLARED END SECTION		
⑫ LIGHT		
⑬ GUY ANCHOR		
⑭ GAS MANHOLE		
⑮ ELECTRIC MANHOLE		
⑯ ELECTRIC METER		
⑰ TELEPHONE PEDESTAL		
⑱ CABLE TV BOX		
⑲ COMMUNICATIONS MANHOLE		

PLANNING DEPARTMENT
NOV 09 2017
CITY OF EDINA



Client
MR. & MRS
MELANDER

6453 MCCAULEY TERRACE

Project
MCCAULEY
TERRACE
RESIDENCE

Location
EDINA,
MINNESOTA
6453 MCCAULEY TERRACE

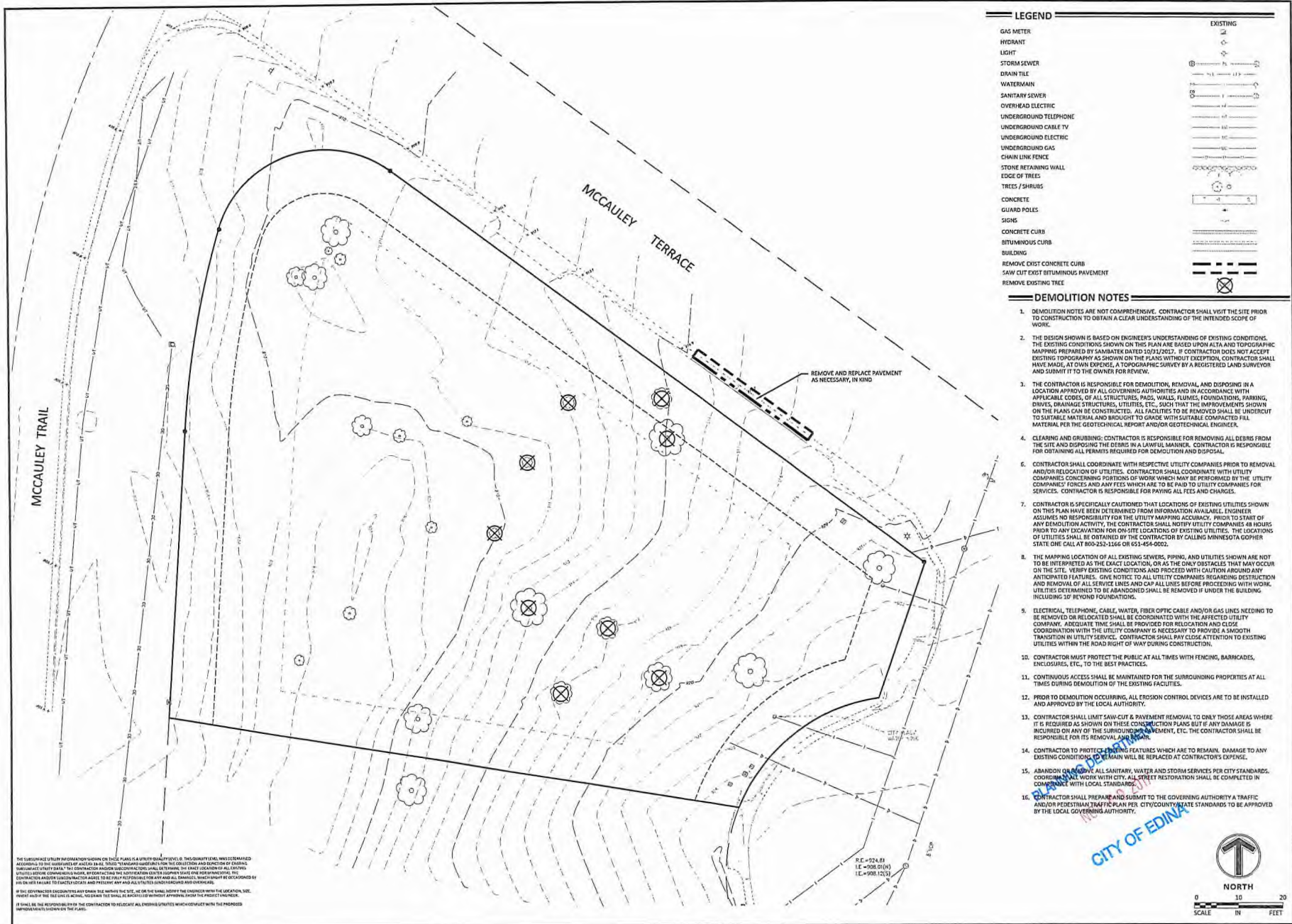
Certification

Summary
Designed: Drawn: LCC
Approved: TSB Book / Page: 1281/1
Phase: Initial Issue: 10/31/2017

Revision History
No. Date By Submittal / Revision

Sheet Title
TOPOGRAPHY
SURVEY

Sheet No. Revision
1/1
Project No. 21014



Sambatek
www.sambatek.com

12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.5010 Telephone
763.476.8532 Facsimile

Engineering | Surveying | Planning | Environmental

Client
**MR. & MRS
MELANDER**

6453 MCCAULEY TERRACE

Project
**MCCAULEY
TERRACE
RESIDENCE**

Location
**EDINA,
MINNESOTA**
6453 MCCAULEY TERRACE

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

ERIC T. LUTH, P.E.
Registration No. 115 Date: 11/09/2017

If applicable, I have not used for a seal signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: JES Drawn: JES
Approved: CTS Book: / Page:
Phase: PRELIMINARY Initial Issue: 11/09/2017

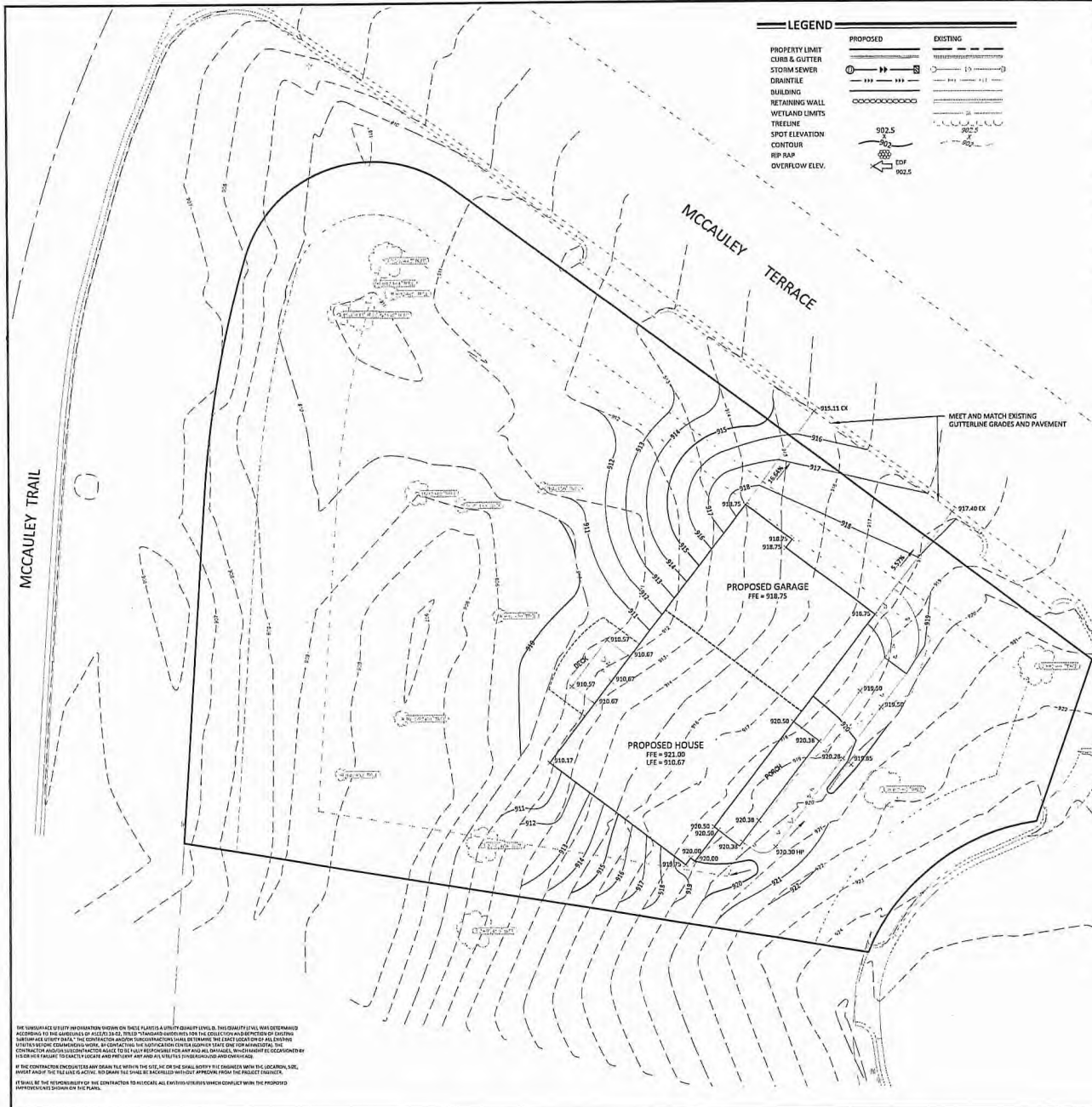
Revision History

No.	Date By	Submitted / Revision
1	11/09/17 JES	CITY REVIEW

Sheet Title
**DEMOLITION
PLAN**

Sheet No. Revision
C1.01

Project No. 21014



- GRADING NOTES**
- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER DUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
 - ALL GRADIENT ON SIDEWALKS ALONG ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.0% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING SPACE OR ACCESS AREA SHALL BE 1:20 (5%). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BRUMHOUGH. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
 - CONTRACTOR SHALL COMPLETE DRAINAGE AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SURGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SURGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
 - REPLACE ALL SURGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSTABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSTABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLASHERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NEARLY BE OPERATED NEAR TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY SENSITIVE OR PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION, SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREACHING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND SITS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
 - RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREED AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.
 - CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION ZONE SHALL BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE ENGINEER.
 - ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE AN AREA DETERMINED ON SITE BY THE ENGINEER.
 - ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY TAPING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVELY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF THE PROTECTIVE FENCING SHALL BE COMPLETED BEFORE ANY WORK COMMENCES ON-SITE.
 - BEFORE COMMENCING WITH ANY DCAUTION CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER.
 - PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - TREE REMOVAL: CONTRACTOR SHALL FELL THE TREES. AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PRIOR REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
 - ROOT PRUNING: BEFORE ANY STUMPS ARE TO BE REMOVED, ALL NOTES SHALL BE COVERED FROM ROOTS IN THE RESTRICTED AREAS BY SAW CUTTING WITH A CHAINSAW FOR ROOT PRUNING. BY HAND, OR WITH A CHAINSAW, TREE ROOTS PROJECTING INTO THE CONSTRUCTION ZONE SHALL BE EXPOSED PRIOR TO ROOT PRUNING WITH SMALL MACHINERY, I.E., BORCAT.
 - STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED. WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - TREE PRUNING: PROPER PRUNING OF TREES IN THE RESTRICTED ZONE SHALL BE DIRECTED BY AND SUPERVISION AT ALL TIMES BY THE OWNER'S REPRESENTATIVE.
 - AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
 - MUCH RATHER THAN SEED OR SOO WILL BE USED AT THE BASE OF QUALITY TREES TO A PROPORTION DETERMINED BY THE OWNER'S REPRESENTATIVE. AREAS TO BE SEEDS FOR EROSION CONTROL, PURPOSES WITHIN THE CONSTRUCTION ZONE ARE TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. NATURAL GROUND COVER WILL BE MAINTAINED WHEREVER POSSIBLE.
 - THE USE OF RETAINING WALLS NEAR TREES, IN ADDITION TO THOSE REQUIRED ON THE PLANS SHALL BE DETERMINED IN THE FIELD, BASED ON TREE LOCATIONS AND TOPOGRAPHY.
 - EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADDED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR REGRADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN DRAINAGE AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SIFT/CUT AREAS WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPADE TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
 - TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THE LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL, 1:1 DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE QUALITY CONSTRUCTION METHOD AS OUTLINED IN MINNESOTA SPECIFICATION 2205.02. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL, 2:1.
 - FINISHED GRADING SHALL BE COMPLETED. CONTRACTOR SHALL UNIFORMLY GRAD AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRAVEL AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN. AREAS THAT HAVE BEEN FINISHED GRADDED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME BUTTED, EXPOSED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
 - THE RESIDENTIAL BUILDING SURGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SURGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADDED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE GRADDED TO PLUS OR MINUS 1/2 INCH OF THE FINISHED SURFACE.
 - CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY ROAD ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE THAT ROAD ON DESIGN AND CONSTRUCTION "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL POST WAIVER FOR SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
 - FILL PLACED WITHIN THE BUILDING AND AREAS SHALL BE IN CONFORMANCE WITH HUD/FAA PROCEDURES AND DATA SHEET 792.

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Engineering | Surveying | Planning | Environmental

Client
MR. & MRS
MELANDER

6453 MCCAULEY TERRACE

Project
MCCAULEY
TERRACE
RESIDENCE

Location
EDINA,
MINNESOTA
6453 MCCAULEY TERRACE

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY
ERIC T. LUTH
Registration No. 15 Date: 11/08/2017
If separated, please send us for a new signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed by: Drawn by:
Approved by: Book / Page:
Phase: PRELIMINARY Initial Date: 11/08/2017

Revision History
No. Date By Submittal / Revision
11/01/2017 JED CITY REVIEW

Sheet Title
GRADING PLAN

Sheet No. Revision
C3.01

Project No. 21014

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

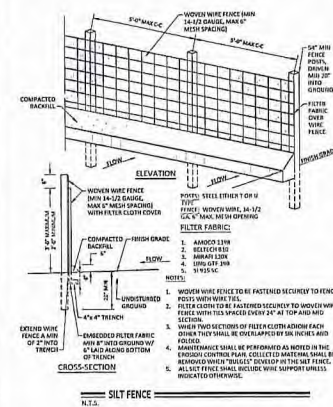
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING / SEED / FINAL STABILIZATION																		
STORM FACILITIES																		

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

MAINTENANCE NOTES:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - SURFACE WATERS, INCLUDING DRAINAGE EROSION AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL SEDIMENT AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND REESTABLISH THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
 - CONSTRUCTION SITE VEHICLE CLOT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BASINS, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BASINS, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEEES ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED ON THE SITE HAS UNDERGONE FINAL STABILIZATION.
 - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., EXISTING SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).

MCCAULEY TRAIL



SILT FENCE
N.T.S.

THE OUTSTANDING UTILITY INFORMATION SHOWN ON THESE PLANS IS A VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINA AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINA AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINA AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES UNLESS OTHERWISE NOTED ON THESE PLANS.

AREA SUMMARY IN ACRES

PAVEMENT AREA	0.02 AC.
BUILDING AREA	0.05 AC.
SEEDING AREA	0.12 AC.
TOTAL DISTURBED	0.19 AC.
PRE-CONSTRUCTION IMPERVIOUS	0.00 AC.
POST-CONSTRUCTION IMPERVIOUS	0.07 AC.

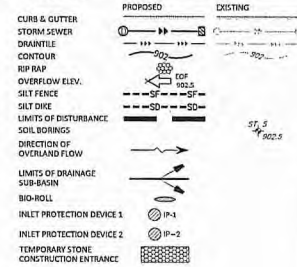
EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	145
CONSTRUCTION ENTRANCE	UNIT	1

SEQUENCE OF CONSTRUCTION

- PHASE I:**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 3. CONSTRUCT THE SILT FENCES ON THE SITE.
 4. CLEAR AND GRUB THE SITE.
 5. BEGIN GRADING THE SITE.
 7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE II:**
1. TEMPORARILY SEED DENuded AREAS.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. PREPARE SITE FOR PAVING.
 4. PAVE DRIVEWAY AREA.
 5. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 6. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.

LEGEND



GENERAL EROSION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME, WHERE A CONFLICT EXISTS BETWEEN LOCAL, STATE AND FEDERAL REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING AND SUBMITTING THE APPLICATION FOR THE PERMIT FOR CONSTRUCTION/REPAIRS/ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH CONSTRUCTION SHALL OBTAIN A COPY OF THE APPLICABLE REGULATIONS AND BECOME FAMILIAR WITH THE CONTENTS. ALL RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE PERMITS. CONTRACTOR SHALL OBTAIN THE INSPECTION & MAINTENANCE OF THE BMPs AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, AS APPROVED BY ALL AUTHORITIES. ADDITIONAL BMPs SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS OF APPLICABLE EROSION CONTROL REQUIREMENTS.
5. BMPs AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL OBTAIN ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
6. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERBODIES PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL MAINTAIN CLEARING TO THE MAXIMUM EXTENT PRACTICAL. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLAN SHALL BE CLEARLY DELINEATED (E.G., WITH FLAGS, STAKES, BURN, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
8. GENERAL CONTRACTOR SHALL DEDICATE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
9. ALL WASTE WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO EROSION DEGRADING IS ALLOWED ON SITE.
10. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY ON IMPERMEABLE LINER, A CONTRACTED CLOUTER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAL LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
11. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE ON READY AVAILABLE TO CONTAIN AND CLEAN-UP OIL OR CHEMICAL SPILLS AND LEAKS.
12. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
13. SOLID WASTE, COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
14. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
15. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBANCE.
16. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY STOPPED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MINNDOT SEED MIXTURE NUMBER 22-111 OR 22-112. DEPENDING ON THE SEASON OF SEEDING. SEE MINNDOT SPECIFICATION SECTION 2573.33 SECOND METHOD AND APPLICATION RATE SHALL CONFORM TO MINNDOT SPECIFICATION SECTION 2573.33. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MINNDOT SPECIFICATION SECTION 2573.33 AND 2573.35. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MINNDOT SPECIFICATION SECTION 2573.34 MAY BE USED IN PLACE OF TEMPORARY MULCH.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TRUE TABLE DESCRIBED ABOVE. SEED MIXTURES WITH MINNDOT SEED MIXTURE 330 "NATIVE WET TALL" BELOW THE MULCH. SEED ALL OTHER AREAS WITH SEED MIXTURE 200 "COMMERCIAL TURF". SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MINNDOT SPECIFICATION SECTION 2573.33.
18. ON-SITE & OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMPs. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMANENTLY IN ACCORDANCE WITH PERMIT REQUIREMENTS.
19. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURBS & GUTTER SYSTEMS OR CONDUITS & DITCHES.
20. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
21. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
22. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR STABILIZED PAVING FOR ROAD CONSTRUCTION.



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Engineering | Surveying | Planning | Environmental

Client
MR. & MRS MELANDER

6453 MCCAULEY TERRACE

Project
MCCAULEY TERRACE RESIDENCE

Location
EDINA, MINNESOTA
6453 MCCAULEY TERRACE

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the state of Minnesota.

ERIC T. LUTH
Registration No. 15 Date: 11/09/2017
If equal or better than for a steel signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed by: JLS Drawn by: JLS
Approved by: ETL Book / Page:
Phase: PRELIMINARY Initial Issue: 1/08/2017

Revision History
No. Date By Submittal / Revision
1/08/17 JLS CITY REVIEW

Sheet Title
EROSION CONTROL PLAN

Sheet No. Revision
C4.01

Project No. 21014

PLANNING DEPT
CITY OF EDINA



GENERAL NOTES:

LIMITS OF CONSTRUCTION SHALL BE AS DETERMINED AND MARKED IN THE FIELD BY THE ENGINEER.

THE EXACT LOCATION OF THE UNDERGROUND UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY BEFORE COMMENCING UNDERGROUND EXCAVATION AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCT NEW B618 C&G ALONG McCAULEY TERR & CONSTRUCT NEW CONCRETE DRIVEWAY APRONS ON ALL DRIVEWAYS WITHOUT EX. CURB (EXCEPT WHERE DIRECTED BY ENGINEER)

REMOVE/RECONSTRUCT DRIVEWAYS, WALKS & STEPS NECESSARY TO MATCH PROPOSED CONSTRUCTION.(EXCEPT WHERE DIRECTED BY ENGINEER)

EROSION CONTROL NOTES:

INLET PROTECTION SHALL BE USED ON ALL CB'S, MH'S AND D'S FOR THE DURATION OF THE PROJECT BEFORE EXCAVATION IN ACCORDANCE WITH MnDOT SPEC. 2573.

ALL SILT FENCE SHALL BE INSTALLED ACCORDING TO ENGINEER IN THE FIELD.

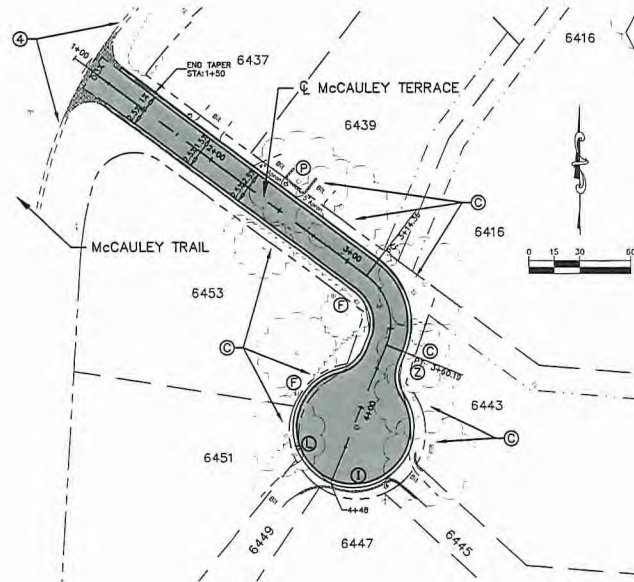
ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE 6" OF TOPSOIL AND BE SODDED WITHIN 14 DAYS OF COMPLETING THE WORK NECESSARY TO PROCEED WITH FINISH GRADING.

RECORD DRAWING

GENERAL CONTRACTOR: NORTHWEST ASPHALT INC.
ADDRESS: 1451 STAGECOACH ROAD, SHAKOPEE, MN 55379
CONSTRUCTED SUMMER 2011
INSPECTED BY: JEFF FRAHM, CITY OF EDINA

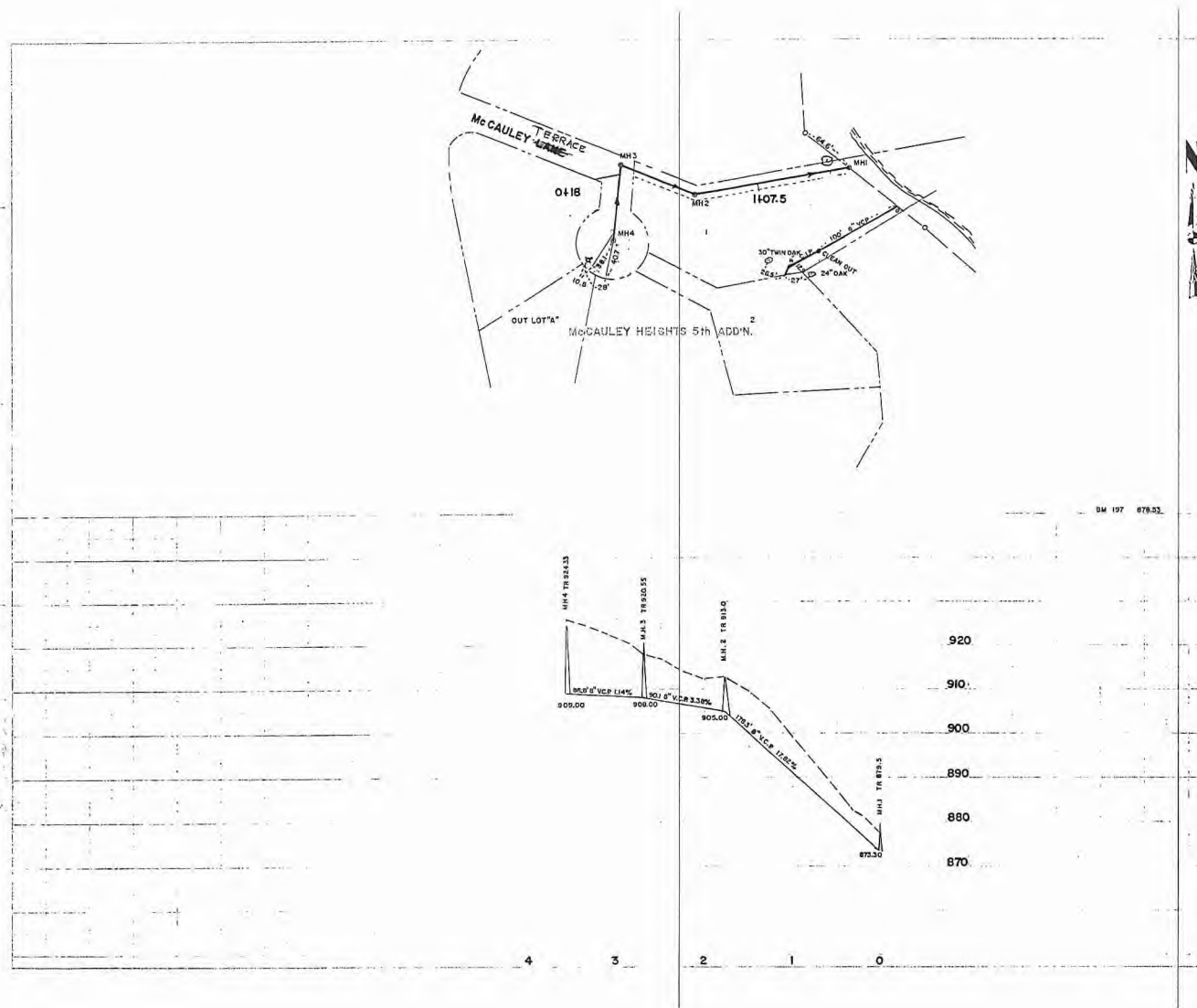
RECORD DRAWING NOTE:

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656

P-1
F-1
No 76



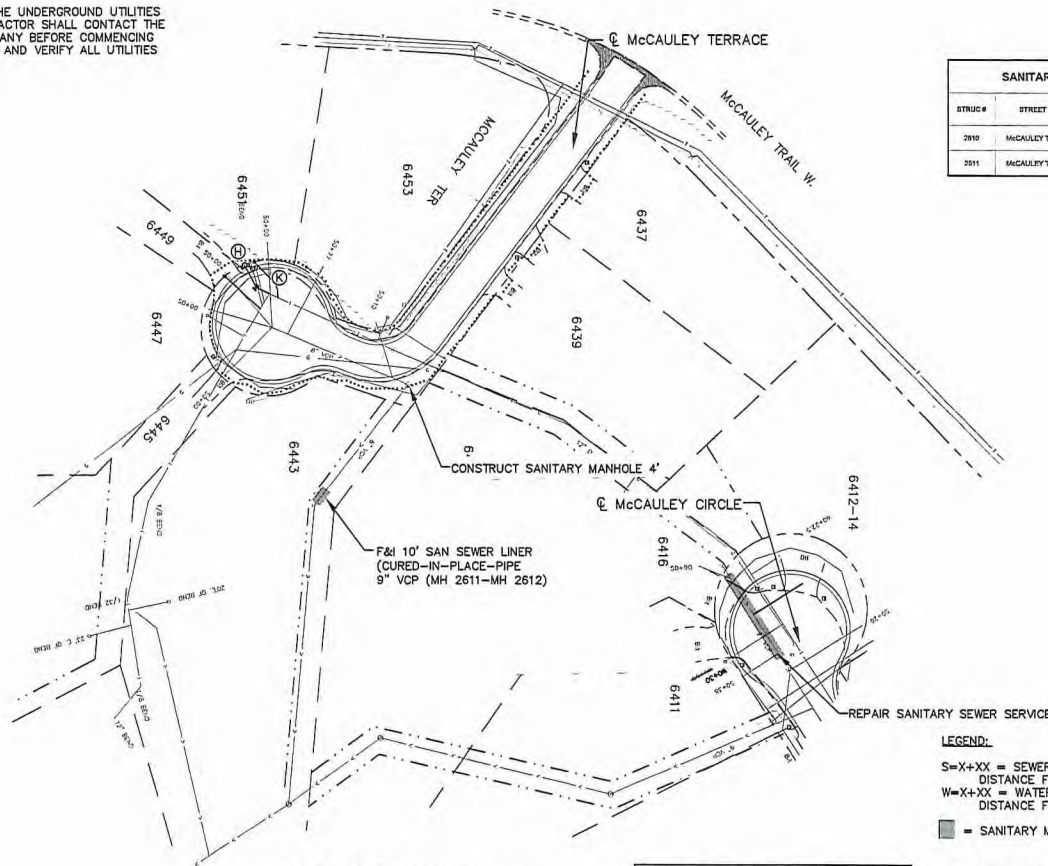
REV	AS BUILT	REVISION	R.L.G.	JZ/M
			BY	DATE
CITY OF EDINA MINNESOTA				
PLAN & PROFILE OF SANITARY SEWER ON McCAULEY LANE & EASEMENT				
DRAWN: WESTWOOD ENV. ENGR. NO. 08701				
TRACED: R.L.G.		DRC. NO. 08701		
CHECKED: _____		DATE: 7/75		
SCALE: HORIZ. 1"=50'		VERT. 1"=10'		

PLANNING DEPARTMENT
CITY OF EDINA

GENERAL NOTES:

LIMITS OF CONSTRUCTION SHALL BE AS DETERMINED AND MARKED IN THE FIELD BY THE ENGINEER.

THE EXACT LOCATION OF THE UNDERGROUND UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY BEFORE COMMENCING UNDERGROUND EXCAVATION AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.



SANITARY SEWER CASTINGS SCHEDULE				
STRUCT #	STREET	EX CASTING TYPE	PROP. CASTING ASSEMBLY	EXISTING RINGS
2810	McCAULEY TER	R-172B	R-172B	1.4"
2811	McCAULEY TER	R-172B	R-172B	0.8"

RECORD DRAWING

GENERAL CONTRACTOR: NORTHWEST ASPHALT INC.
ADDRESS: 1451 STAGECOACH ROAD, SHAKOPEE, MN 55379
CONSTRUCTED SUMMER 2011
INSPECTED BY: JEFF FRAHM, CITY OF EDINA

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LEGEND:

S=X+XX = SEWER SERVICE
DISTANCE FROM DOWN STREAM SANITARY MANHOLE
W=X+XX = WATER SERVICE
DISTANCE FROM DOWN STREAM SANITARY MANHOLE
■ = SANITARY MAIN LINE IMPROVEMENTS

- ⊕ SALVAGE HYDRANT AND GATE VALVE ASSEMBLY
- ⊕ F&I HYDRANT AND GATE VALVE ASSEMBLY
- ⊕ 1" TYPE K COPPER WATER SERVICE COMPLETE

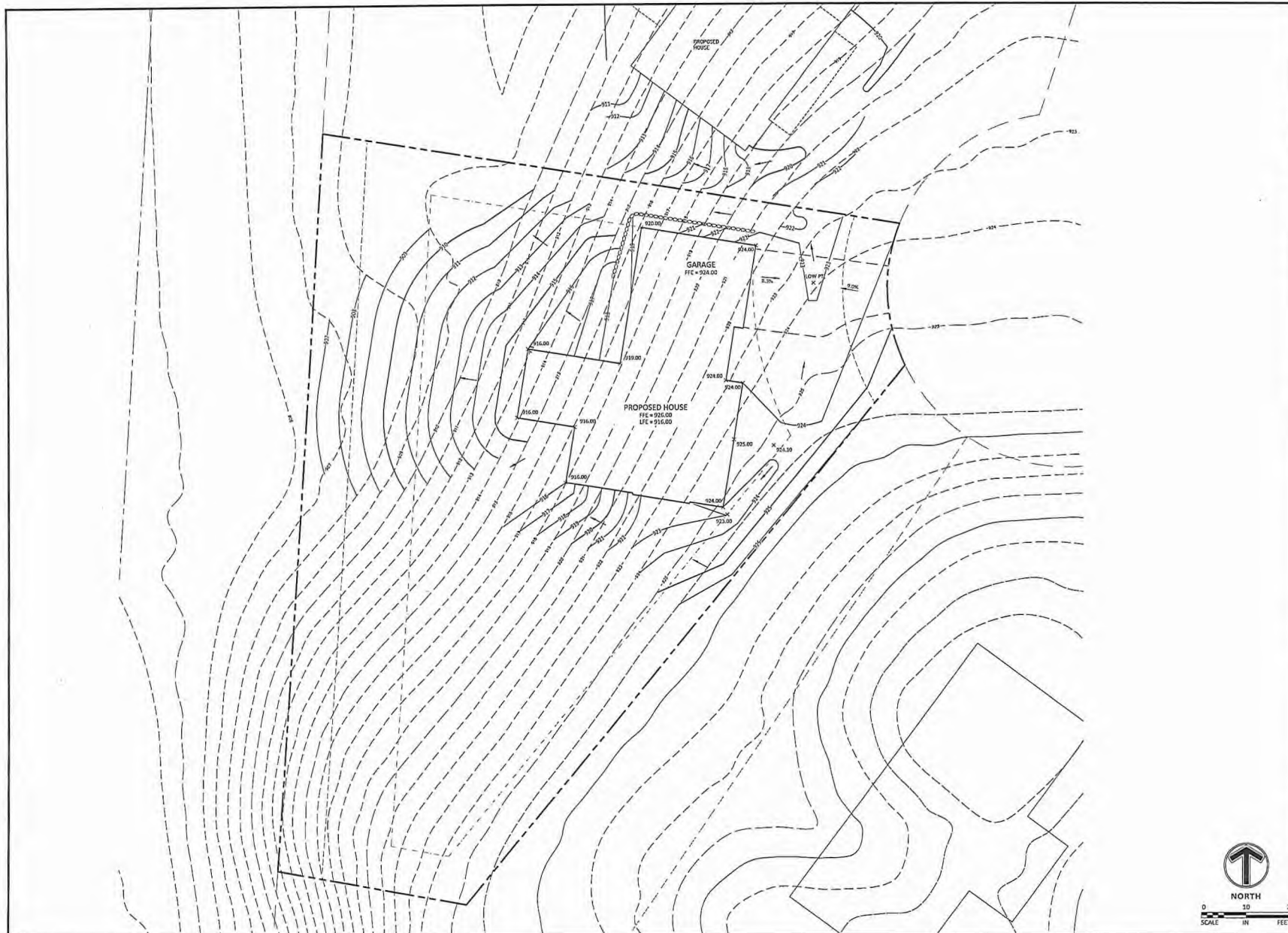
**SANITARY, STORM
SEWER & WATERMAIN
PLANS - McCAULEY**

CITY OF EDINA
7450 METRO BOULEVARD
EDINA, MN 55435-7037
TEL: 952-835-0337
FAX: 952-835-0392

**KILLARNEY SHORES
McCAULEY HEIGHTS
RECONSTRUCTION**

THIS DRAWING WAS PREPARED BY THE CITY OF EDINA AND IS A PUBLIC DOCUMENT. IT IS THE PROPERTY OF THE CITY OF EDINA AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE CITY OF EDINA.

DATE: 11/9/2011
DRAWN: JES
CHECKED: JDS
APPROVED: JDS
DATE: 11/9/2011
IMP: BA-372
CONT: ENG 11-9
SHEET 21 OF 25



Sambatek
 www.sambatek.com
 12800 Whitewater Drive, Suite 300
 Minneapolis, MN 55343
 763.478.6010 Telephone
 763.478.6532 Facsimile
 Engineering | Surveying | Planning | Environmental

Client
 DAVINCI
 CUSTOM
 HOMES

Project
 6451 MCCAULEY
 TERRACE

Location
 EDINA, MN

Certification

Summary
 Designed: JRB Drawn: JRB
 Approved: JRB Book / Page:
 Phase: CONCEPT Initial Issue: 12/27/2017
Revision History
 No. Date By Submittal / Revision

Sheet Title
 POTENTIAL
 STRUCTURE
 PLACEMENT
 EXHIBIT
Sheet No. Revision
 1/1
Project No. 21073



DATE: December 7, 2017
TO: Cary Teague – Planning Director
FROM: Charles Gerk PE – Graduate Engineer
RE: 6453 & 6451 McCauley Terrace - Rezoning Review

The Engineering Department has reviewed the subject property for street and utility concerns, grading, storm water, erosion and sediment control and for general adherence to the relevant ordinance sections. This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application. Plans reviewed include the site plan dated 11/08/17 and the storm water management plan dated 11/08/17 for 6453 McCauley and the Potential Structure Placement Exhibit dated 12/07/2017 for 6451 McCauley.

Summary of Review

The proposed application is for the rezoning of two existing, undeveloped lots that are currently zoned for R-2. The lots have been undeveloped since the late 1970's and are currently owned by the original sub-divider. Engineering has no concerns with the plans as submitted, with the exception of the storm water management plans described below.

Grading and Drainage

Grading on the lots is required to build a suitable building pad. Drainage will be directed either to the roadway or the west part of the lots, which is a low lying landlocked area. A more detailed storm water management plan will be required at time of building permit for each property. Currently as proposed, the stormwater management plan would not be acceptable as it does not control any new run-off from entering neighboring private properties. However, the only neighboring private properties are the two subject parcels and are currently owned by the same developer. There is adequate space on both lots to address this concern at the time of building permit, when more detailed home plans are prepared.

Erosion and Sediment Control

Perimeter control is required, and will be required for a building permit. Inlet protection is also required.

Street and Curb Cut

A curb cut permit will be required prior to construction of the driveway. Maximum width 30-ft.

Water and Sanitary Utilities

Water connection charges and sewer connection charges are to be paid with building permit.

Other Items

A Nine Mile Creek Watershed District erosion and sediment control permit will be required at building permit.

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

Jackie Hoogenakker

From: Bonnie <
Sent: Monday, December 04, 2017 5:32 PM
To: Jackie Hoogenakker
Cc: home, Mike
Subject: Case file 2017.014

As property owners of 6445 McCauley Terrace, Edina, MN we are in full support of rezoning the property 6451 and 6453 McCauley Terrace to build a single family home.

The rezoning would provide our dead end street with more off street parking options and less traffic than the current zoning for 2 Double dwelling units.

Sincerely,
Mike & Bonnie Smith



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: December 13, 2017

Agenda Item #: VII.A.

To: Planning Commission

Item Type:

Report and Recommendation

From: Cary Teague, Community Development Director

Item Activity:

Subject: Sketch Plan Review - Pentagon Park North

Discussion

ACTION REQUESTED:

No action requested. Provide the applicant non-binding feedback on a potential development plan for Pentagon Park North.

INTRODUCTION:

See attached staff report.

ATTACHMENTS:

Staff Report

Site Location & Plans



Date: December 13, 2017

To: Planning Commission

From: Cary Teague, Community Development Director

Subject: Sketch Plan Review – Pentagon Park North

Information / Background:

The Planning Commission is asked to consider a sketch plan proposal to develop 10.86 of the 27 acres in the Pentagon North Parcel located on 77th Street, south of Fred Richards Park. This first phase of Pentagon North would include:

- Two - five-story residential buildings, with underground parking.
- A 325 unit market rate all-age apartment building & a 225 unit continuum of care senior building.

The existing four office buildings on these parcels would be removed. The overall density would be 51 units per acre. The applicant has demonstrated a master plan for how the entire site could be developed with housing. (See attached.) Note that Pentagon North serves as the access to the Fred Richards Park. The existing access that currently runs east-west off of Parklawn Avenue would be redone to potentially provide two new connections off of 77th. The westernmost entrance could be developed as part of this first phase. The proposal doubles the amount of green space currently on the site in Phase One.

In 2014, this site was granted preliminary approval of a PUD. (See attached.) However, no plan was ever brought forward for final rezoning. The use proposed for the north parcel (residential) is different than the uses proposed in 2014 (office); however, the Planning Commission and City Council both expressed a desire to develop this site with residential uses. Residential uses would be permitted under the current MDD-6 zoning designation. The approved preliminary plan contemplated four stories adjacent to Fred Richards Park, and five stories on 77th Street. The Comprehensive Plan allows up to 12 stories; while the current Zoning Ordinance maximum is four stories.

The following would be required with the current proposal:

- A Comprehensive Plan amendment to increase residential density from 30 to 60 units per acre.
- A Rezoning from MDD-6, to PUD, Planned Unit Development; and
- A New Overall Development Plan

As with all sketch plan reviews; the Planning Commission is asked to provide non-binding comments and direction on a potential future development request. Areas of focus should be on the proposed land use, density, and the appropriateness of the proposed development on this site, and should PUD zoning be utilized.

The current zoning on the site requires a mixed use development. The current Zoning is MDD-6, Mixed Development District requires 50% residential and 50% commercial uses. The proposal is for a traditional suburban residential housing development with enhanced pedestrian connections. There is no mixed use proposed on this site, however, if the south Pentagon Park parcel is considered, the overall development would be a mixture of uses consistent with the existing zoning for Pentagon Park.

COMPLIANCE TABLE

The following table demonstrates compliance with the current zoning on the site:

	City Standard (MDD-6)	Proposed (Rough Estimates)
<u>Setbacks - Buildings</u>		
Front Setback	35 feet + ½ foot for each foot the building height exceeds minimum setback 45 feet Required	50 feet (77 th Street) 95 feet (Fred Richards Park) 100 Feet (west side)
Building Height	4 stories north of 77 th Street	5 stories*
Parking lot and drive aisle setback	20 feet (street) 20 feet (park) 5 feet (side)	20 feet 30 feet (Fred Richards Park) 20 feet
Building Coverage	30%	26%
Maximum Floor Area Ratio (FAR)	50% - Non-residential Uses 50% - Residential Uses 473,061 SF Total	500,000 s.f. all residential* (Compliant if the Pentagon Park South Parcel is included)
Parking Stalls – Mixed Development District	550 enclosed stalls 412 surface stalls	440 enclosed proposed* 384 surface proposed*

***Variance Required**

AFFORDABLE HOUSING

The applicant is suggesting within their project narrative that the affordable housing requirement would be addressed by providing it on at the Walsh Title site (4820 77th Street – two parcels to the west.) This site is owned by the current owner of Pentagon Park. Should this project move forward, the Walsh Title site must be included in any rezoning application; a specific proposal for how the City's affordable housing policy would be met with this project must be included.

TRAFFIC

A traffic study would be required to determine the impacts on adjacent roadways. The AUAR is also being updated. That document would include a traffic study of the whole Pentagon Park area.

WATERSHED DISTRICT

The proposed plans would be subject to review and approval of the Nine Mile Creek Watershed District for stormwater, grading and drainage.

PUD

The purpose and intent of a PUD is to include most or all of the following:

- a. provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan;
- b. promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City;
- c. provide for variations to the strict application of the land use regulations in order to improve site design and operation, while at the same time incorporate design elements that exceed the City's standards to offset the effect of any variations. Desired design elements may include: sustainable design, greater utilization of new technologies in building design, special construction materials, landscaping, lighting, stormwater management, pedestrian oriented design, and podium height at a street or transition to residential neighborhoods, parks or other sensitive uses;
- d. ensure high quality of design and design compatible with surrounding land uses, including both existing and planned;
- e. maintain or improve the efficiency of public streets and utilities;
- f. preserve and enhance site characteristics including natural features, wetland protection, trees, open space, scenic views, and screening;
- g. allow for mixing of land uses within a development;
- h. encourage a variety of housing types including affordable housing; and
- i. ensure the establishment of appropriate transitions between differing land uses.

The proposed project would incorporate some of the items noted above. Elements that are included could be high quality building design, mixed use when including the Pentagon South property, increase in public/open space, improved streets, affordable housing and pedestrian oriented design with connections to the Regional Trail.

Staff Comments/Concerns

- Add a trail connection from 77th to the Regional Trail on the far west lot line.
- Consider mixed use on the site.
- Water/Stormwater could be used as a site amenity.
- Eliminate the surface parking in front of the senior living building and add green space similar to the front of the western building.
- Provide front door pedestrian access in front of the building toward 77th street for the apartment building.
- Options for access to the city park are good. The City may wish to require that the western entrance to the park be installed as part of this project.
- Affordable Housing. A definitive proposal for affordable housing must be included with a formal rezoning application. Without a firm committal that the affordable housing will be located at 4820 West 77th Street (The Walsh Title property). Ten-twenty percent (10-20%) of the units proposed in this development shall be for affordable housing.

$$1 \text{ in} = 752 \text{ ft}$$


The CITY of
EDINA



December 7, 2023
Map Powered by DataLink



1 in = 376 ft

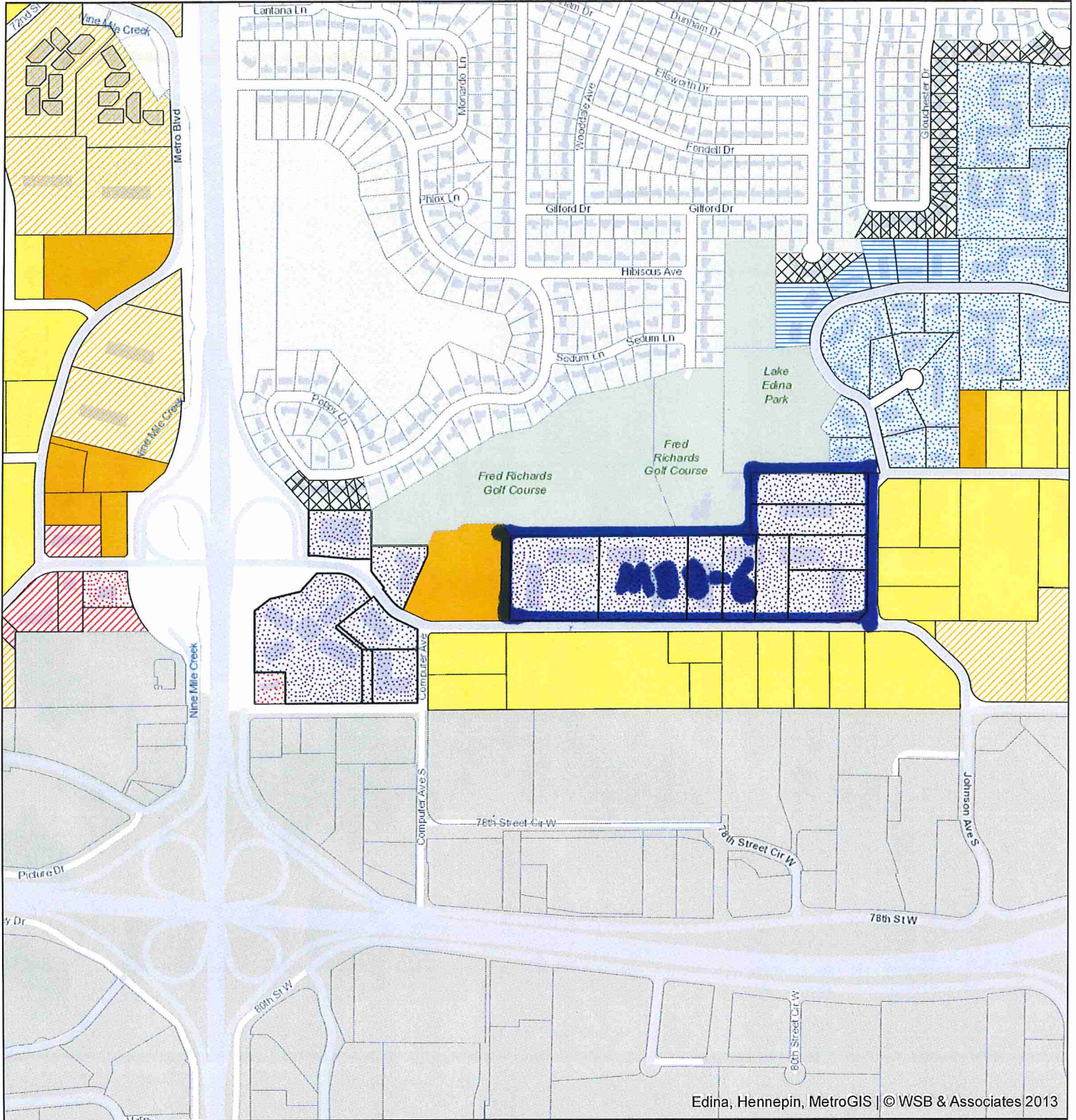


The CITY of
EDINA



December 7, 2015
Map Powered by DataLink

Zoning Map



Edina, Hennepin, MetroGIS | © WSB & Associates 2013

1 in = 752 ft



The CITY of
EDINA

Zoning

R-1	PRD-4	POD-1	PSR-4
R-2	PRD-5	POD-2	MDD-4
PRD-1	PCD-1	RMD	MDD-5
PRD-2	PCD-2	PID	MDD-6
PRD-3	PCD-3	PUD	
	PCD-4	APD	



December 7, 2013
Map Powered by DataLink

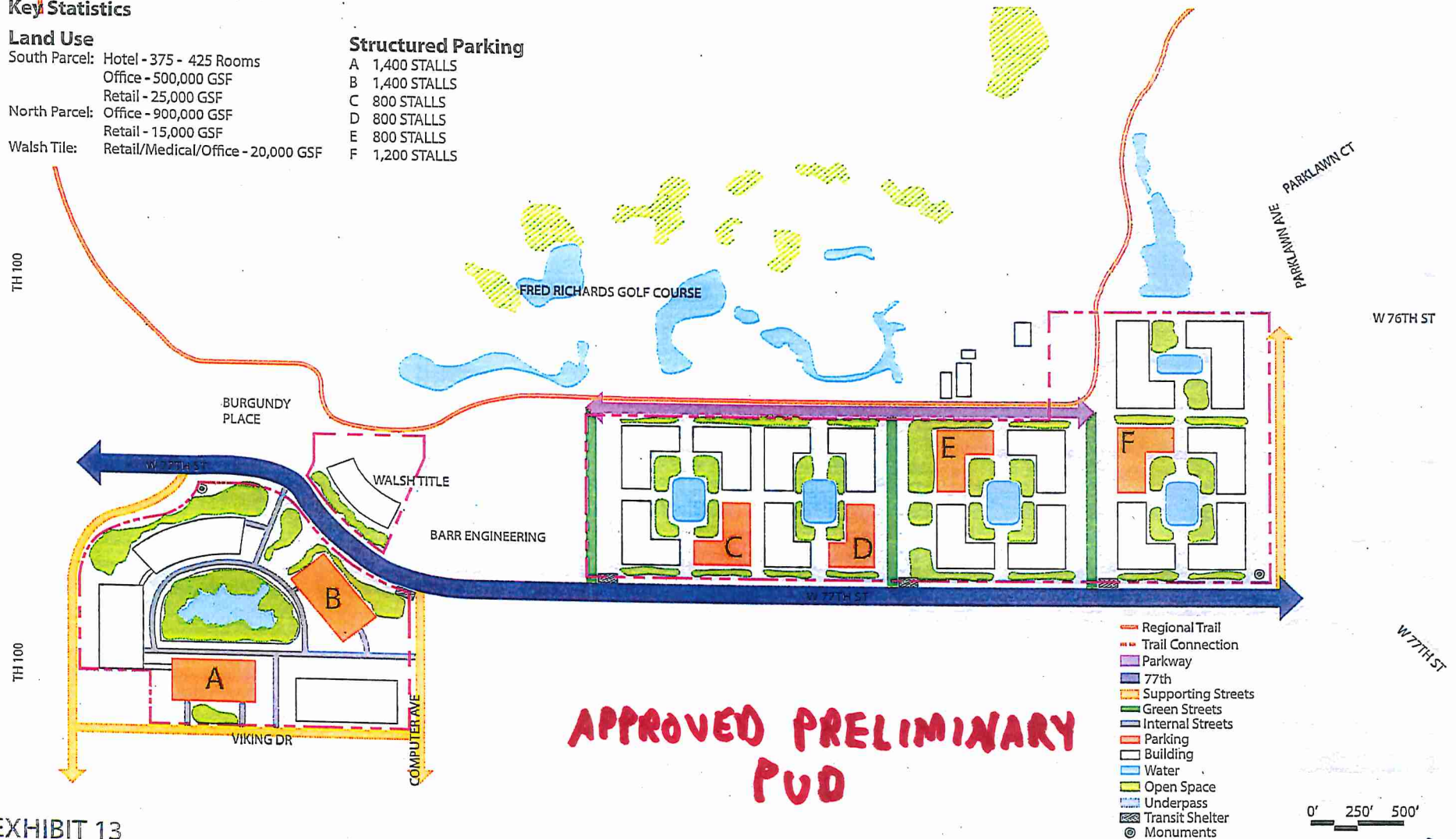
Key Statistics

Land Use

South Parcel: Hotel - 375 - 425 Rooms
 Office - 500,000 GSF
 Retail - 25,000 GSF
 North Parcel: Office - 900,000 GSF
 Retail - 15,000 GSF
 Walsh Tile: Retail/Medical/Office - 20,000 GSF

Structured Parking

A 1,400 STALLS
 B 1,400 STALLS
 C 800 STALLS
 D 800 STALLS
 E 800 STALLS
 F 1,200 STALLS



**APPROVED PRELIMINARY
 PUD**

EXHIBIT 13
 DAMON FARBER ASSOCIATES
 BOB CLOSE STUDIO, LLC

PRELIMINARY PLANNING COMMISSION TIF DIAGRAM OPTION 1
 EDINA, MN - DECEMBER 13, 2013

PENTAGON PARK



Key Statistics

Land Use

South Parcel: Hotel - 375 - 425 Rooms
 Office - 500,000 GSF
 Retail - 25,000 GSF
 North Parcel: Office - 900,000 GSF
 Retail - 15,000 GSF
 Retail/Medical/Office - 20,000 GSF

Structured Parking

A 1,400 STALLS
 B 1,400 STALLS
 C 800 STALLS
 D 800 STALLS
 E 800 STALLS
 F 1,200 STALLS

Building Heights

*12+ Story
 12 Story
 5 Story
 4 Story
 2 Story

*Potential Building Height Might be Greater than 12 Stories.

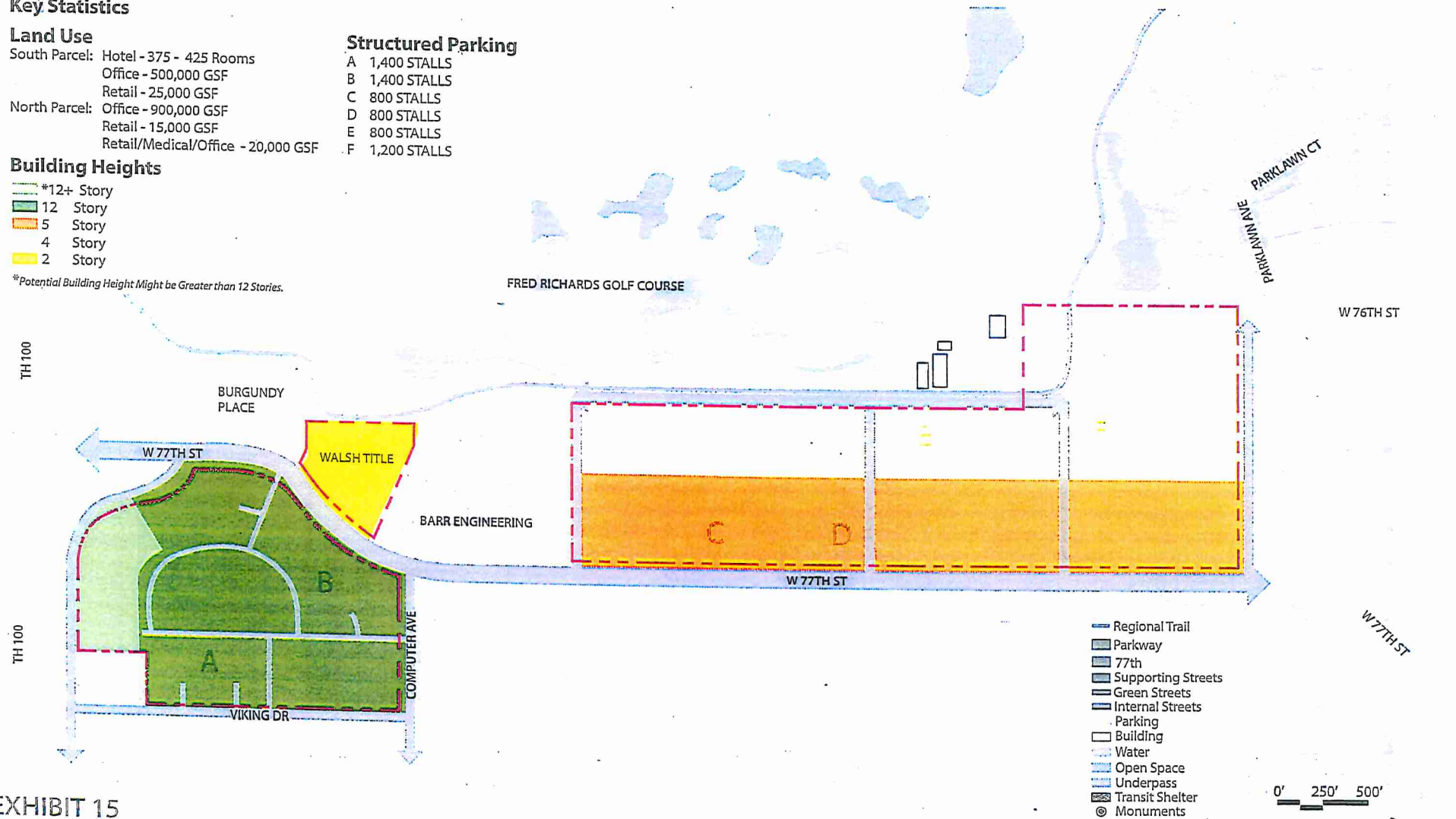


EXHIBIT 15
 DAMON FARBER ASSOCIATES
 BOB CLOSE STUDIO, LLC

BUILDING HEIGHTS
 EDINA, MN - DECEMBER 13, 2013

PENTAGON PARK





City of Edina | Planning Department

C/O: Cary Teague, Community Development Director

RE: Sketch Plan Review - Submittal

Pentagon North Parcel:

ChaseRE Housing Development Proposal

Property:

4600-4660 77th Street West

PID: 3102824340007, 3102824340008

November 22nd, 2017

Project Narrative:

Chase Real Estate is excited to present this significant development proposal that will take an existing 1960's era concrete, car-oriented office park and transform it into a new residential community while also kick starting the adjacent Fred Richards Park master plan.

The project will take shape on the first two existing parcels (10.86 acres total) of the west portion of the Pentagon North redevelopment site. Development will consist of two, 5-story residential buildings: an approximate 325 Market-rate apartment building and an approximate 225 suite continuum-of-care Senior building. The four west existing 4-story office buildings will be demolished and significant soil engineering will take place to prepare for the new building pads and underground parking garages. Both buildings will be constructed within a similar schedule and brought online at approximately the same time.

Site planning is guided by the Six Guiding Principles that include pedestrian connections within the campus and to/from surrounding areas, integrated stormwater, green streets, a pedestrian-friendly West 77th Street, improved multimodal connections, and shared parking. The project will provide the West 77th public improvements on the property: a 10' boulevard and 8' sidewalk. Various sidewalk connections from outdoor plazas, common spaces and walkouts to the West 77th path will make for a pedestrian oriented site and welcoming atmosphere to the neighborhood. Direct trail connections to the Nine Mile Creek Regional Trail will also be constructed north of the market-rate building.

The orientation of the building footprints and their associated courtyards is desirable for providing building breaks and landscape views from the street and park. Their generous sizes will provide plenty of sunlight, openness, and opportunities for landscaping features and outdoor activities. Additionally, an important goal will be in establishing the building's main floor elevations as low as possible to allow for accessibility and limited foundation exposure along the north and south portions.

Perimeter storm ponding will be landscaped with native plantings and facilitate the 100-year floodplain engineering needs. Landscaping and tree planting as a whole will be significantly enhanced throughout the property. In comparison to existing conditions, more than 125,000 additional square feet of pervious, green surface area will be provided with the new development.

The meandering, curved north parking areas will add character, slow vehicle traffic and break up straight parking aisle views with various landscaped islands. Parking overall will require less than a typical market-rate property. The goal of meeting 1.6 cars per apartment unit and 1.25 per senior suite amounts to an overall parking need of nearly 800 available stalls or 1.45/unit average to accommodate residents, guests, nurses, property managers and staff. Below the market-rate building, a significant underground parking garage will expand beyond the building footprint and underneath the two large courtyards. Increasing this footprint reduces the needed surface stalls and increases the desired amount of green space on the property. A shared site parking model will accommodate both properties as needed. And finally, the northeastern parking areas will dedicate approximately 30 cross-easement shared stalls for future park-goers.

The market-rate property will meet a variety of resident needs from 500 SF studios to 1400 SF open two bedroom plans with flexible offices or den spaces. Average unit size overall will be approximately 920 SF. Building corners will be designed for the larger two bedroom and two+den floor plans, having large and numerous windows that will also provide opportunities to enhance exterior architecture. Most apartments will include balconies and first floor courtyard units will have patios. Interior finishes will include granite counters, granite kitchen islands, wood plank flooring, latest appliance packages, designer cabinets and trim moldings. The property will have on site management staff, concierge, and a professional maintenance team.

Common spaces will include a two-story open lobby with various work-from home spaces, coffee area, meeting room, a large fitness center, separate yoga space, various lounge and club rooms available for private parties, a basement car wash, bike maintenance, pet wash, storage spaces and more.

Outside amenities will include abundant green space and adjacencies to less-typical outdoor recreation. One courtyard will be more passively designed with walking paths and extensive landscaping while the more active courtyard will be where the pool and lounge furniture, firepit, outdoor dining and games are found. Pets are welcome and will enjoy this recreational setting in addition to a fenced dog run and a basement dog washing room.

The senior property will include independent living (+/-125 suites) homes at various sizes and plans ranging from one bedrooms to large two bedrooms+dens. Assisted living (+/- 50 suites) and memory care (+/- 50 suites) are typically one bedroom designed layouts. For senior residents who are healthy and active, the independent lifestyle offers many advantages where care is designed for those wanting full independence, but desire the amenities, conveniences, social activity and security that community living offers.

Assisted Living suites are designed for seniors who wish to live as independently as possible, yet may require assistance with some of the activities of daily living. These homes include: full kitchens and laundry, support services for those who have more complex care requirements and professional support staff on site 24-hours-a-day.

The private memory care suites will be secure and specially designed for those with mild to moderate memory loss from Alzheimer's and other forms of dementia. The area is designed to bring comfort, peace and familiarity for the residents and their families while providing exceptional care. The Memory Care wings will provide multiple indoor activity spaces and protected outdoor gardens.

The amount of common areas and programming spaces needed and provided for the Senior property are much greater than the market-rate building. These include: office space for support staff and concierge, a nurse on call 24 hours a day to support the health aids, full commercial kitchen, dining rooms, beauty shop and spa, various community rooms, lounge areas on every floor, library & computer room, theater, crafts room, and fitness.

The two buildings will have complimentary architecture and be composed of durable, high quality materials consisting mainly of brick, stone, concrete and metal panels. Large windows and balconies will provide residents abundant sun light, views and connection to the outdoors. Many units will have direct access to outdoor amenities and trails from their walk-out courtyard units.

To meet the City's goals of providing affordable housing for the Pentagon North Parcels, master developer Pentagon Revival, LLC is coordinating an affordable housing development at the 4820 77th Street property located west of the subject site.

From a 1960's era office park and car-focused property to a walkable, timeless designed residential community, the development will bring with it the activity that will invigorate this part of the City and establish a firm new setting for high-quality living. This special location will complement the more recently developed shopping district apartment properties in offering Edina residents a recreational and nature-connected experience.

Having recently completed an award winning housing project in coordination with a new 40 acre city park and redeveloped brownfield site in Saint Paul, MN (V2 Apartments), our team is prepared in delivering on the goals of the Pentagon Park Redevelopment. We are excited in this opportunity in providing a distinguished new community in such a significant location. We look forward to working with the City and neighborhood in further refining our project and jump starting this transformation.

Project Summary:

Property Area: 473,235 SF (10.86 Acres)

Existing Green Space/pervious surface: 105,735 SF (22%)

Proposed Green Space/pervious surface: 231, 235 SF (49%)

- 5-story multi-family, wood framed construction, subgrade precast parking garage, flat roofs.
- Approximate 55' to 58' building heights; Level 1 to roof parapet.
- Exterior materials composed of primarily brick, metal panel and concrete masonry. Metal balconies.
- Sidewalk connections to West 77th, Nine Mile Creek Regional Trail and Fred Richards Park
- Nearly 450 garage stalls and approx. 350 surface stalls for residents, guest, staff and Fred Richards shared parking.

325+/- market-rate apartment homes:

- 75,000 SF footprint. 5 stories, wood construction over concrete garage
- Ranging from 500 SF studios to 1400 SF two-bedrooms
- Average Unit size of around 920 SF.
- Indoor amenity space over 15,000 SF: gym, yoga, various club rooms, lounge, open lobby with work-from home spaces.
- Courtyard common spaces over 20,000 SF: pool, outdoor dining, firepit
- 1.6 stalls x 325 = 520 Parking Stalls
- 100,000 SF parking garage = 300+/- stalls.

225+/- Senior continuum care suites:

- 48,000 SF footprint. 5 stories, wood construction over concrete garage
- 125 Independent, 50 assisted living, 50 memory care.
- Various one bedroom and two bedroom+ plans for Independent Living
- One-bedroom assisted and memory care suites.
- Dining rooms, commercial kitchen, various community rooms. Courtyard patios and courtyard walking trails, memory-care walk.
- 1.25 stalls x 225 = 280 Parking Stalls
- 48,000 SF parking garage = 140 +/- stalls.

- Sustainable Features: LED lighting throughout, large windows provide solar gain + natural ventilation, Energy Star appliances, new energy code high efficient water heaters and mechanical equipment, on site water filtration storm ponds. Xcel Energy EDA program.

City of Edina | Working Principles

Give-to-Get; Plan & Process

Allow latitude to gain tangible and intangible outcomes aligned with the district principles.

The proposal contributes to the realization of the (6) Guiding Principles of the Pentagon Park redevelopment plan:

1. Green Streets.

The development will provide the 10-0 boulevard and 8-0 sidewalk and lighting per the West 77th approved street plan for a more pedestrian and landscaped street-scape. Interior drive aisles and parking areas on the property will be broken up by various tree islands and a planted boulevard thru the main access drive.

2. Integrated Stormwater

Storm water needs will be designed as landscape features at various locations around the property. Landscape selections lining the swales will prioritize native plantings that are tolerant of site conditions; including pollinator species and flowering plants, tall grasses and ornamental trees.

3. Pedestrian Friendly 77th

The provided 8-0 sidewalk will have various new sidewalk connections to the new development in designing for a welcoming, walkable property. Walk-out units around the building will add to the pedestrian quality of the site.

4. Connecting West to East

Parking areas and sidewalks will provide contiguous connections to the properties in this proposed development, and similar site design will continue for overall connection between the west and east parcels of the entire LINK redevelopment.

5. Multimodal Connections

Sidewalk access to the existing bus stop of West 77th and a trail connection to the 9-Mile Creek Regional Trail will be provided.

6. Shared Parking

A portion of the north-eastern surface parking will provide approximately 30 shared-parking stalls to park-goers. The site as a whole will allow for shared parking between the Market-rate and Senior properties. Current owner, Pentagon Revival, LLC, will address additional shared parking for Fred Richards Park east of the ChaseRE development.

Edina Cultural Preferences; Identity

Advance quality through thoughtful and artful design of buildings and publicly accessible spaces, highlighted human activity, and enhanced economic vibrancy.

With the combination of market-rate apartment homes and a mix of independent and senior assisted living, the development will be home to a broad range of people, ages, services. Between the two projects, numerous floor plan styles and offerings will be available. And a diverse range of activities will be happening at the properties, ranging from outdoor lawn games to community dining; indoor yoga classes to holiday parties and cooking events.

The architecture will be designed for a more traditional, enduring quality of design with durable, timeless materials: brick, concrete, stone and metal. More craftsman style, wood detail work will be found throughout the common spaces, club rooms and hallways.

Exterior entryways will be highlighted with metal canopies, classic light fixtures and large spans of glass. The center boulevard splitting the two projects will be landscaped, flanked with signage and light fixtures and create a strong sense of arrival to residents and guests.

The site will have various walking paths connecting the property among its courtyards, walk-out units and perimeter public paths to the Nine Mile Creek Regional Trail and the new West 77th Street improvements. Having the courtyards and common spaces facing the street-scape, activity will be readily visible in creating a welcoming and pedestrian environment to the community.

District Function

Look beyond baseline utilitarian functions of a single site to create mutually supportive and forward-looking infrastructure sustaining the district.

The site is designed to infiltrate its own storm-water before leading to public infrastructure through the use of landscaped swales. Improving the existing site's pervious site by over 125,000 square feet will provide more natural water infiltration to occur. Grading of the site to counter the 100 year floodplain will be engineered to handle all the property's water requirements on site. Overall, a significant reduction will take place on the needs of the adjacent City storm infrastructure. Other existing utilities will be utilized for baseline performance.

Comprehensive Connections: Movement

Foster a logical, safe, inviting and expansive public realm facilitating movement of people within and to the district.

The project's commitment and site planning design per the Six Guiding Principles of the Pentagon Redevelopment will facilitate in free flowing, welcoming and safe movement throughout the site to its residents and the community at large.

Site Design: Transitions

Encourage parcel-appropriate intensities promoting harmonious and interactive relationships without "leftover" spaces on sites.

The project looks to best utilize the extent of the site to reach its highest and best use as a residential, mixed-use community with various outdoor spaces, enhanced landscaping, enhanced street-scapes and walking connections.

Health

Advance human and environmental health as the public and private realms evolves.

This special location - next to the future Fred Richards Park and having an accessible outdoors oriented site plan - will promote indoor/outdoor connections and an assortment of healthy outdoor activities for residents of all ages.

Innovation

Embrace purposeful innovation aimed at identified and anticipated problems.

The primary challenges of the site are its existing poor soils, a perimeter 100-year floodplain, and demolition of four-story concrete office buildings. Soil excavation will require removing existing fill soil material – unsuitable for new building footprints. Large amounts of soil removal will provide for a large underground parking footprint - contributing to less cars parked on site and resulting in more green space. Reuse of the concrete office buildings may be crushed and reutilized on site as deemed appropriate for possible subgrade base material at parking lots and drive aisles.

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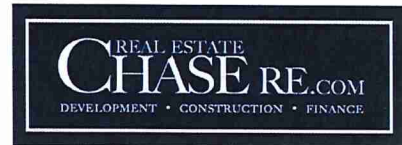
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DEVELOPMENT PROPOSAL



Pentagon North Redevelopment Site

Housing Proposal By:
Chase Real Estate LLC
Burnsville, MN

Project Location:
4600-4660 77th Street West
Edina, MN

City of Edina: Sketch Plan Review

November 22, 2017

SKETCH PLAN CONCEPT



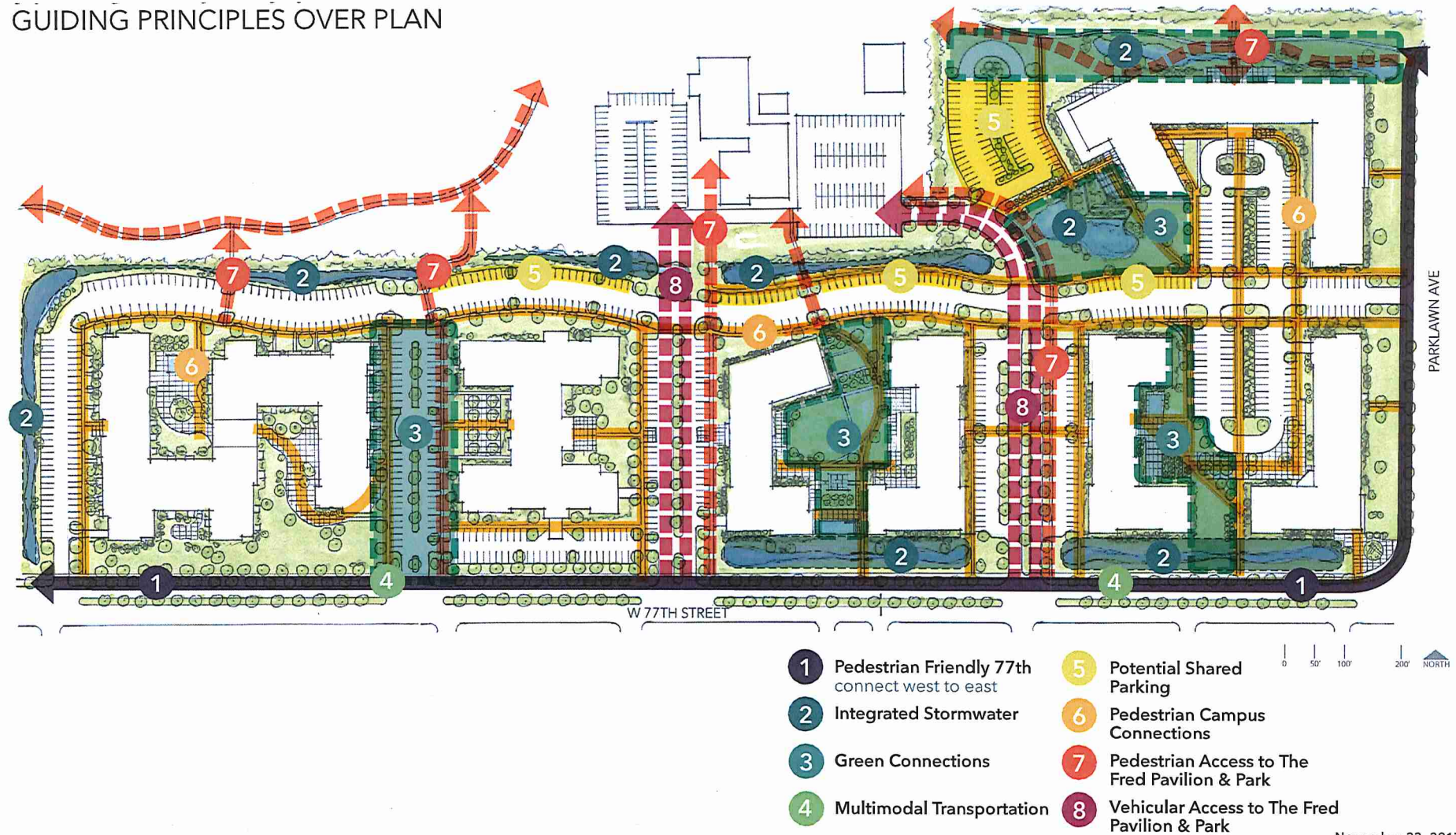
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DF/ DAMON FARBER

Pentagon North - ChaseRE - Housing Development Proposal
Edina, MN | Sketch Plan Review

Pentagon North
Master Plan Sketch

GUIDING PRINCIPLES OVER PLAN



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Pentagon North
Master Plan Principles

City of Edina | Planning Department
C/O: Cary Teague, Community Development Director
RE: Sketch Plan Review - Submittal
Pentagon North Parcel:
ChaseRE Housing Development Proposal

Property:
4600-4660 77th Street West
PID: 3102824340007, 3102824340008

November 22nd, 2017

Project Narrative:

Chase Real Estate is excited to present this significant development proposal that will take an existing 1960's era concrete, car-oriented office park and transform it into a new residential community while also kick starting the adjacent Fred Richards Park master plan.

The project will take shape on the first two existing parcels (10.86 acres total) of the west portion of the Pentagon North redevelopment site. Development will consist of two, 5-story residential buildings: an approximate 325 Market-rate apartment building and an approximate 225 suite continuum-of-care Senior building. The four west existing 4-story office buildings will be demolished and significant soil engineering will take place to prepare for the new building pads and underground parking garages. Both buildings will be constructed within a similar schedule and brought online at approximately the same time.

Site planning is guided by the Six Guiding Principles that include pedestrian connections within the campus and to/from surrounding areas, integrated stormwater, green streets, a pedestrian-friendly West 77th Street, improved multimodal connections, and shared parking. The project will provide the West 77th public improvements on the property: a 10' boulevard and 8' sidewalk. Various sidewalk connections from outdoor plazas, common spaces and walkouts to the West 77th path will make for a pedestrian oriented site and welcoming atmosphere to the neighborhood. Direct trail connections to the Nine Mile Creek Regional Trail will also be constructed north of the market-rate building.

The orientation of the building footprints and their associated courtyards is desirable for providing building breaks and landscape views from the street and park. Their generous sizes will provide plenty of sunlight, openness, and opportunities for landscaping features and outdoor activities. Additionally, an important goal will be in establishing the building's main floor elevations as low as possible to allow for accessibility and limited foundation exposure along the north and south portions.

Perimeter storm ponding will be landscaped with native plantings and facilitate the 100-year floodplain engineering needs. Landscaping and tree planting as a whole will be significantly enhanced throughout the property. In comparison to existing conditions, more than 125,000 additional square feet of pervious, green surface area will be provided with the new development.

The meandering, curved north parking areas will add character, slow vehicle traffic and break up straight parking aisle views with various landscaped islands. Parking overall will require less than a typical market-rate property. The goal of meeting 1.6 cars per apartment unit and 1.25 per senior suite amounts to an overall parking need of nearly 800 available stalls or 1.45/unit average to accommodate residents, guests, nurses, property managers and staff. Below the market-rate building, a significant underground parking garage will expand beyond the building footprint and underneath the two large courtyards. Increasing this footprint reduces the needed surface stalls and increases the desired amount of green space on the property. A shared site parking model will accommodate both properties as needed. And finally, the northeastern parking areas will dedicate approximately 30 cross-easement shared stalls for future park-goers.

The market-rate property will meet a variety of resident needs from 500 SF studios to 1400 SF open two bedroom plans with flexible offices or den spaces. Average unit size overall will be approximately 920 SF. Building corners will be designed for the larger two bedroom and two+den floor plans, having large and numerous windows that will also provide opportunities to enhance exterior architecture. Most apartments will include balconies and first floor courtyard units will have patios. Interior finishes will include granite counters, granite kitchen islands, wood plank flooring, latest appliance packages, designer cabinets and trim moldings. The property will have on site management staff, concierge, and a professional maintenance team.

Common spaces will include a two-story open lobby with various work-from home spaces, coffee area, meeting room, a large fitness center, separate yoga space, various lounge and club rooms available for private parties, a basement car wash, bike maintenance, pet wash, storage spaces and more.

Outside amenities will include abundant green space and adjacencies to less-typical outdoor recreation. One courtyard will be more passively designed with walking paths and extensive landscaping while the more active courtyard will be where the pool and lounge furniture, firepit, outdoor dining and games are found. Pets are welcome and will enjoy this recreational setting in addition to a fenced dog run and a basement dog washing room.

The senior property will include independent living (+/-125 suites) homes at various sizes and plans ranging from one bedrooms to large two bedrooms+dens. Assisted living (+/- 50 suites) and memory care (+/- 50 suites) are typically one bedroom designed layouts. For senior residents who are healthy and active, the independent lifestyle offers many advantages where care is designed for those wanting full independence, but desire the amenities, conveniences, social activity and security that community living offers.

Assisted Living suites are designed for seniors who wish to live as independently as possible, yet may require assistance with some of the activities of daily living. These homes include: full kitchens and laundry, support services for those who have more complex care requirements and professional support staff on site 24-hours-a-day.

The private memory care suites will be secure and specially designed for those with mild to moderate memory loss from Alzheimer's and other forms of dementia. The area is designed to bring comfort, peace and familiarity for the residents and their families while providing exceptional care. The Memory Care wings will provide multiple indoor activity spaces and protected outdoor gardens.

The amount of common areas and programming spaces needed and provided for the Senior property are much greater than the market-rate building. These include: office space for support staff and concierge, a nurse on call 24 hours a day to support the health aids, full commercial kitchen, dining rooms, beauty shop and spa, various community rooms,

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Project Narrative

lounge areas on every floor, library & computer room, theater, crafts room, and fitness.

The two buildings will have complimentary architecture and be composed of durable, high quality materials consisting mainly of brick, stone, concrete and metal panels. Large windows and balconies will provide residents abundant sun light, views and connection to the outdoors. Many units will have direct access to outdoor amenities and trails from their walk-out courtyard units.

To meet the City's goals of providing affordable housing for the Pentagon North Parcels, master developer Pentagon Revival, LLC is coordinating an affordable housing development at the 4820 77th Street property located west of the subject site.

From a 1960's era office park and car-focused property to a walkable, timeless designed residential community, the development will bring with it the activity that will invigorate this part of the City and establish a firm new setting for high-quality living. This special location will complement the more recently developed shopping district apartment properties in offering Edina residents a recreational and nature-connected experience.

Having recently completed an award winning housing project in coordination with a new 40 acre city park and redeveloped brownfield site in Saint Paul, MN (V2 Apartments), our team is prepared in delivering on the goals of the Pentagon Park Redevelopment. We are excited in this opportunity in providing a distinguished new community in such a significant location. We look forward to working with the City and neighborhood in further refining our project and jump starting this transformation.

Project Contact:	Project Contact:	Architect:
Joe McElwain	Kristina Smitten	Link Wilson
Chase Real Estate	Hillcrest Development	Kaas Wilson Architects
Burnsville, MN	Minneapolis, MN	Bloomington, MN

Project Summary:

Property Area: 473,235 SF (10.86 Acres)
Existing Green Space/pervious surface: 105,735 SF (22%)
Proposed Green Space/pervious surface: 231, 235 SF (49%)

- 5-story multi-family, wood framed construction, subgrade precast parking garage, flat roofs.
- Approximate 55' to 58' building heights; Level 1 to roof parapet.
- Exterior materials composed of primarily brick, metal panel and concrete masonry. Metal balconies.
- Sidewalk connections to West 77th, Nine Mile Creek Regional Trail and Fred Richards Park
- Nearly 450 garage stalls and approx. 350 surface stalls for residents, guest, staff and Fred Richards shared parking.

325+/- market-rate apartment homes:

- 75,000 SF footprint. 5 stories, wood construction over concrete garage
- Ranging from 500 SF studios to 1400 SF two-bedrooms
- Average Unit size of around 920 SF.
- Indoor amenity space over 15,000 SF: gym, yoga, various club rooms, lounge, open lobby with work-from home spaces.
- Courtyard common spaces over 20,000 SF: pool, outdoor dining, firepit
- 1.6 stalls x 325 = 520 Parking Stalls
- 100,000 SF parking garage = 300+/- stalls.

225+/- Senior continuum care suites:

- 48,000 SF footprint. 5 stories, wood construction over concrete garage
- 125 Independent, 50 assisted living, 50 memory care.
- Various one bedroom and two bedroom+ plans for Independent Living
- One-bedroom assisted and memory care suites.
- Dining rooms, commercial kitchen, various community rooms. Courtyard patios and courtyard walking trails, memory-care walk.
- 1.25 stalls x 225 = 280 Parking Stalls
- 48,000 SF parking garage = 140 +/- stalls.

- Sustainable Features: LED lighting throughout, large windows provide solar gain + natural ventilation, Energy Star appliances, new energy code high efficient water heaters and mechanical equipment, on site water filtration storm ponds. Xcel Energy EDA program.



Existing Property.



Proposed: 125,000 SF increase in landscaped area

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Project Narrative,
Summary

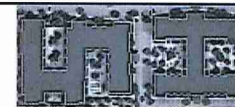




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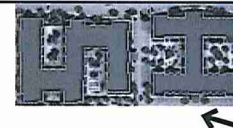
Perspective
Concept Rendering



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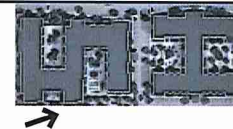
Perspective
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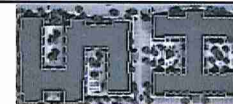
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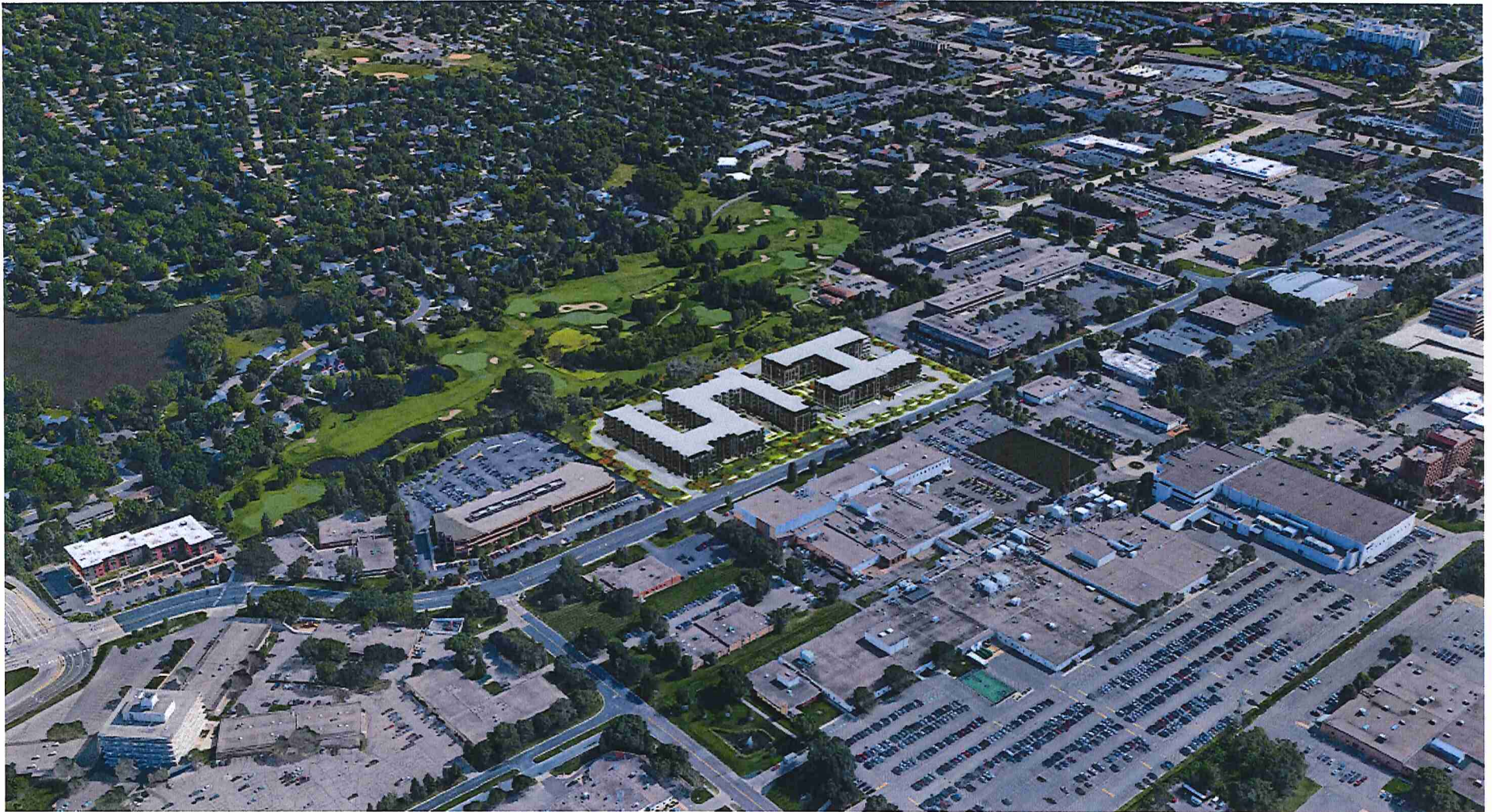
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Perspective
Concept Rendering



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Perspective
Aerial View

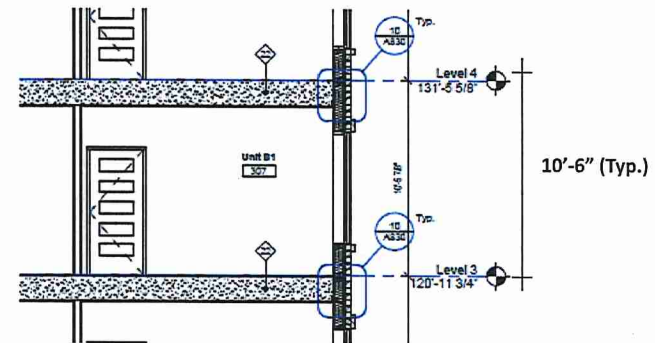
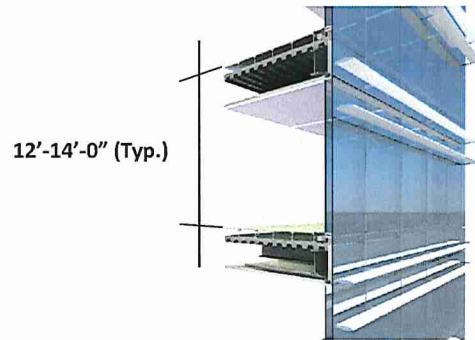
Building Heights **4-Story Office vs. 5-Story Residential**



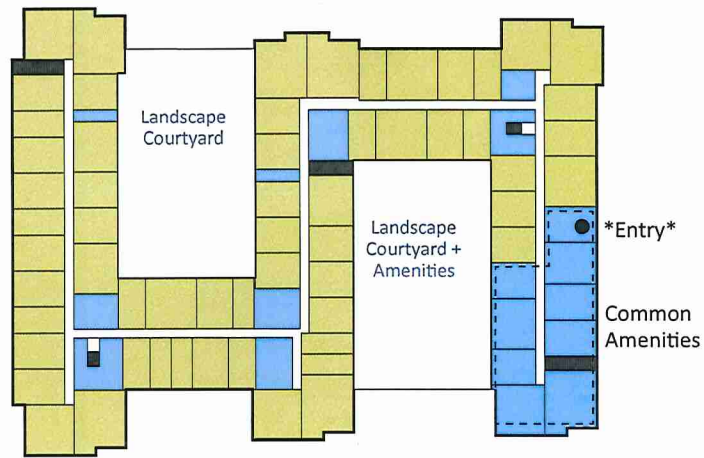
Office Building Construction:
 14' First Floor w/ 12' Typical Floor-to-Floor Height



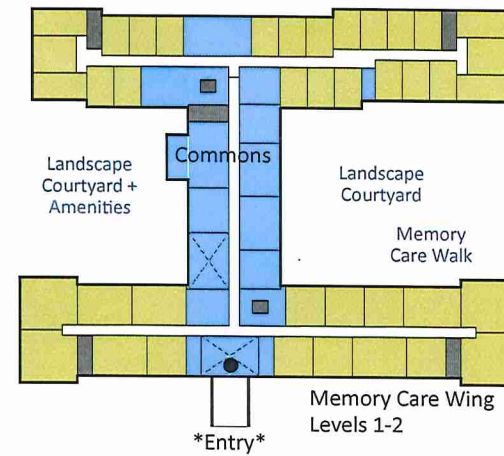
Residential Construction:
 10'-6" Typical Floor-to-Floor Height



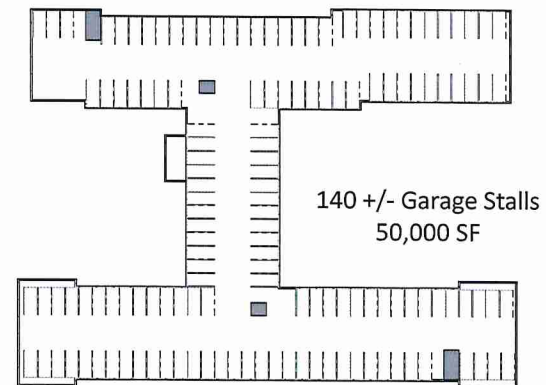
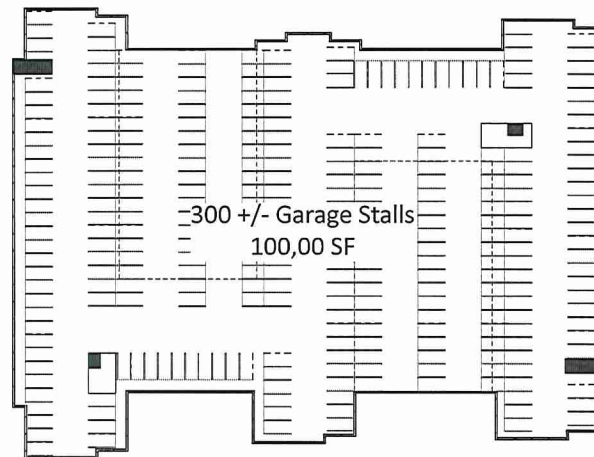
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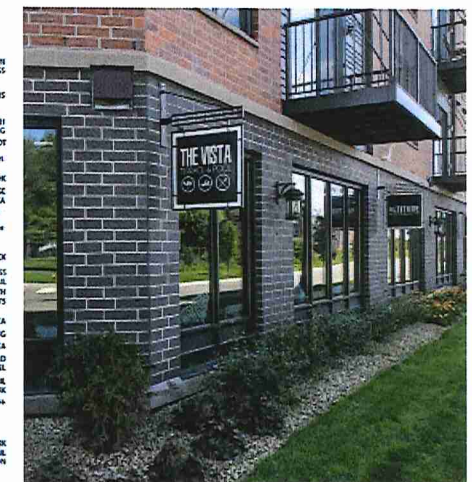
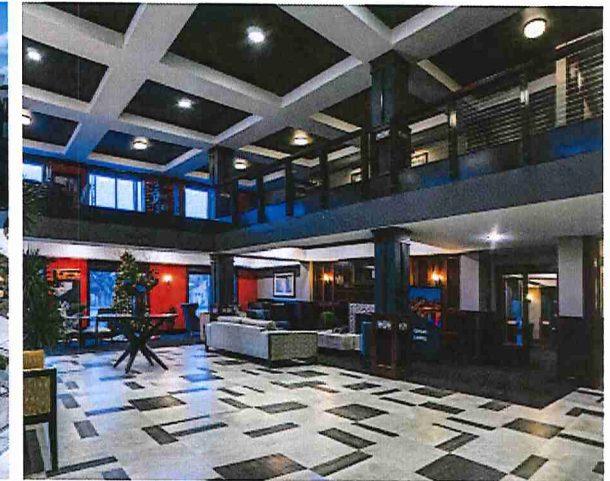
Market-Rate Apartments



Senior Continuum Care



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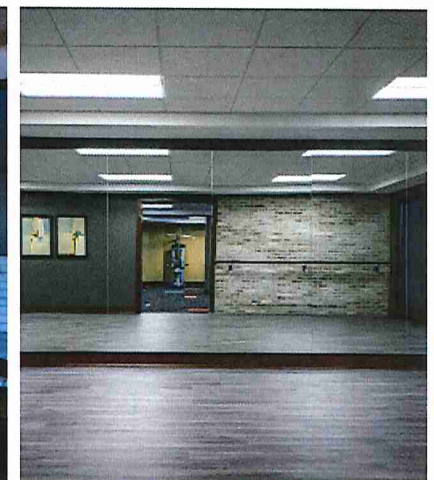
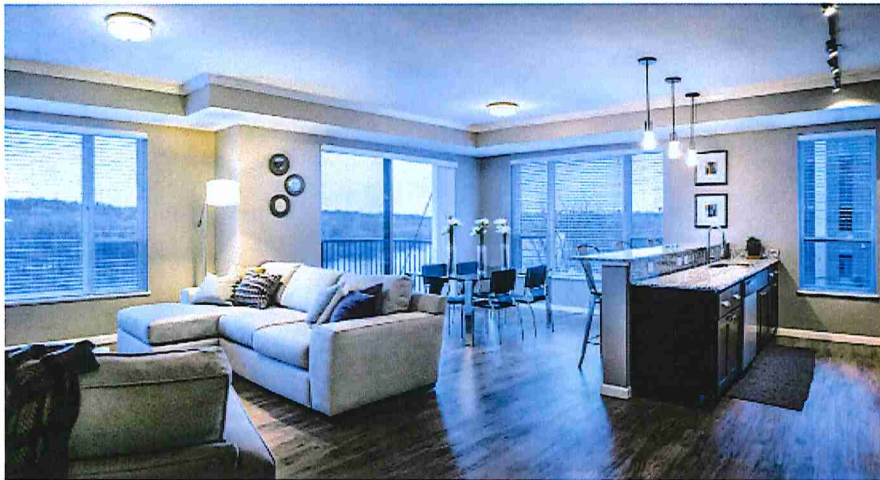
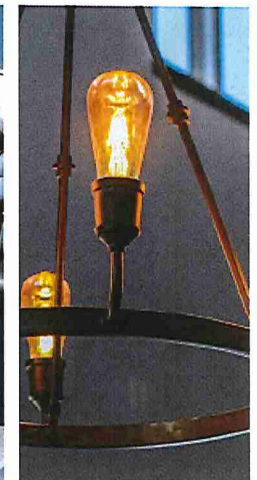
V2 Apartments - St. Paul, MN (Completed 2016)

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Sample Work



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Sample Work



Flats at Cedar Grove, Eagan MN (Completed 2015)

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Sample Work

City of Edina | Working Principles

Give-to-Get; Plan & Process

Allow latitude to gain tangible and intangible outcomes aligned with the district principles.

The proposal contributes to the realization of the (6) Guiding Principles of the Pentagon Park redevelopment plan:

1. Green Streets.

The development will provide the 10-0 boulevard, 8-0 sidewalk and lighting per the West 77th approved street plan for a more pedestrian and landscaped street-scape. Interior drive aisles and parking areas on the property will be broken up by various tree islands and a planted entry boulevard through the main center access drive.

2. Integrated Stormwater

Storm water needs will be designed as landscape features at various locations around the property. Landscape selections lining the swales will prioritize native plantings that are tolerant of site conditions; including pollinator species and flowering plants, tall grasses and ornamental trees.

3. Pedestrian Friendly 77th

The provided 8-0 boulevard sidewalk will have various sidewalk connections to the new development in designing for a welcoming, walkable property. Walk-out units around the building will add to the pedestrian nature of the site.

4. Connecting West to East

Parking areas and sidewalks will provide contiguous connections to the properties in this proposed development, and similar site design will continue for overall connection between the west and east parcels of the entire LINK redevelopment.

5. Multimodal Connections

Sidewalk access to the existing bus stop of West 77th and trail connections to the 9-Mile Creek Regional Trail will be provided for pedestrians and cyclists.

6. Shared Parking

A portion of the north-eastern surface parking will provide approximately 30 shared-parking stalls to park-goers. The site as a whole will allow for shared parking between the Market-rate and Senior properties. Current owner, Pentagon Revival, LLC, will address additional shared parking for Fred Richards Park east of the ChaseRE development.

Edina Cultural Preferences; Identity

Advance quality through thoughtful and artful design of buildings and publicly accessible spaces, highlighted human activity, and enhanced economic vibrancy.

With the combination of market-rate apartment homes and a mix of independent and senior assisted living, the development will be home to a broad range of people, ages and services. Between the two projects, numerous floor plan styles and offerings will be available. And a diverse range of activities will be happening at the properties; ranging from outdoor lawn games to community dining; indoor yoga classes to holiday parties and cooking events.

The architecture will be designed for a more traditional, enduring quality of design with durable, timeless materials: brick, concrete, stone and metal. More craftsman style, wood detail work will be found throughout the common spaces, club rooms and hallways.

Exterior entryways will be highlighted with metal canopies, classic light fixtures and large spans of glass. The center drive splitting the two projects will be landscaped with boulevard trees, flanked with signage and light fixtures and create a strong sense of arrival to residents and guests.

The site will have various walking paths connecting the property among its courtyards, walk-out units and perimeter public paths to the Nine Mile Creek Regional Trail and the new West 77th Street improvements. Having the courtyards and common spaces facing the street-scape, activity will be readily visible in creating a welcoming and pedestrian environment to the community.

District Function

Look beyond baseline utilitarian functions of a single site to create mutually supportive and forward-looking infrastructure sustaining the district.

The site is designed to infiltrate its own storm-water before leading to public infrastructure through the use of landscaped swales. Improving the existing site's pervious site by over 125,000 square feet will provide more natural water infiltration to occur. Grading of the site to counter the 100 year floodplain will be engineered to handle all the property's water requirements on site. Overall, a significant reduction will take place on the needs of the adjacent City storm infrastructure. Other existing utilities will be utilized for baseline performance.

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Comprehensive Connections; Movement

Foster a logical, safe, inviting and expansive public realm facilitating movement of people within and to the district.

The project's commitment and site planning design per the Six Guiding Principles of the Pentagon Redevelopment will facilitate in free flowing, welcoming and safe movement throughout the site to its residents and the community at large.

Site Design; Transitions

Encourage parcel-appropriate intensities promoting harmonious and interactive relationships without "leftover" spaces on sites.

The project looks to best utilize the extent of the site to reach its highest and best use as a residential, mixed-use community with various outdoor spaces, enhanced landscaping, enhanced street-scapes and walking connections.

Health

Advance human and environmental health as the public and private realms evolves.

This special location - next to the future Fred Richards Park and having an accessible outdoors oriented site plan - will promote indoor/outdoor connections and an assortment of healthy outdoor activities for residents of all ages.

Innovation

Embrace purposeful innovation aimed at identified and anticipated problems.

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