

Agenda
Planning Commission
City Of Edina, Minnesota
City Council Chambers

Wednesday, July 10, 2024
7:00 PM

**Watch the meeting on cable TV or at EdinaMN.gov/LiveMeetings or
Facebook.com/EdinaMN.**

Participate in Public Hearing(s):
Call 312-535-8110
Enter access code 2633 212 0259
Password is 5454

Press *3 on your telephone keypad when you would like to get in the queue to speak
A staff member will unmute you when it is your turn

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
 - A. June 26, 2024 Regular Meeting Minutes
- V. Community Comment

During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.

- VI. Public Hearings
 - A. B-24-05 Front yard setback variance request for 6716 Arrowhead Pass
- VII. Chair And Member Comments
- VIII. Staff Comments
- IX. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: July 10, 2024

Agenda Item #: IV.A.

To: Planning Commission

Item Type:

Minutes

From: Liz Olson, Planning Administrative Support Specialist

Item Activity:

Action

Subject: June 26, 2024 Regular Meeting Minutes

ACTION REQUESTED:

Approve June 26, 2024 Regular Meeting Minutes.

INTRODUCTION:

ATTACHMENTS:

June 26, 2024 Regular Meeting Draft Minutes



Minutes
City Of Edina, Minnesota
Planning Commission
Edina City Hall Council Chambers
June 26, 2024

I. Call To Order

Chair Bennett called the meeting to order at 7:04 PM.

II. Roll Call

Answering the roll call were: Commissioners Alkire, Bornstein, Miranda, Padilla, Smith, Felt, Schultze, and Chair Bennett. Staff Present: Cary Teague, Community Development Director, and Liz Olson, Administrative Support Specialist.

Absent from the roll call: Commissioner Daye, Hahneman, and Hu.

III. Approval Of Meeting Agenda

Commissioner Padilla moved to approve the June 26, 2024, agenda. Commissioner Felt seconded the motion. Motion carried unanimously.

IV. Approval Of Meeting Minutes

A. Minutes: Planning Commission, June 12, 2024

Commissioner Miranda moved to approve the June 12, 2024, meeting minutes. Commissioner Smith seconded the motion. Motion carried unanimously.

V. Community Comment

None.

VI. Reports/Recommendations

A. Sketch Plan Review – 6016 Vernon Avenue (Station Pizzeria)

Director Teague presented the request of Station Pizzeria for a sketch plan review. Staff recommended approval of the sketch plan review, as requested subject to the findings and conditions listed in the staff report.

Staff answered Commission questions.

Appearing for the Applicant

Mr. Jesse Hamer, Momentum Design Group Architecture, asked for the Planning Commission's feedback. He reviewed the comments from residents at the neighborhood meeting. He made a quick presentation.

Mr. Jake Schaffer, Owner of Station Pizzeria, reviewed the proposed restaurant with the Commission.

The Commission asked questions of the applicant.

The Commission reviewed the sketch plan and offered comments that can be viewed in the official meeting video on the City website.

VII. Chair and Member Comments

Received.

VIII. Staff Comments

Received.

IX. Adjournment

Commissioner Felt moved to adjourn the June 26, 2024, Meeting of the Edina Planning Commission at 9:27 PM. Commissioner Bornstein seconded the motion. Motion carried unanimously.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: July 10, 2024

Agenda Item #: VI.A.

To: Planning Commission

Item Type:
Report and Recommendation

From: Kris Aaker Assistant Planner

Item Activity:

Subject: B-24-05 Front yard setback variance request for 6716
Arrowhead Pass

Action

ACTION REQUESTED:

Approve the amendment to 2021 variance approval based on the findings in the staff report.

INTRODUCTION:

The variance request is to make impervious adjustments to the site: ie. Patios, Retaining walls and an expanded stormwater infiltration trench. The new property owner proposes to reconstruct and add minor patio expansions that conform with the City of Edina side yard setback requirements, comply with the City of Edina lot coverage requirements for impervious areas and to meet the City's stormwater rules with an expanded stormwater infiltration trench to capture a significant portion of the site's stormwater runoff.

Better Together Edina Public Input

ATTACHMENTS:

Site location

Staff Report

Engineering Memo

Building setback graphic

Applicant Narrative

Photos

site plan/surveys

2021 variance resolution

site plan/survey 2021

2021 variace plans

Better Together Public Input Report

6716 Arrowhead Pass



1 in = 75 ft



The CITY of
EDINA



August 13, 2021



Date: July 10, 2024

To: PLANNING COMMISSION

From: Kris Aaker, Assistant City Planner

Subject: B-24-05, A plan modification for an 85.9-foot front yard setback variance granted in 2021 from the required 103.2 feet for a 17.3-foot front yard setback for property located at 6716 Arrowhead Pass.

Information / Background:

The subject property, 6716 Arrowhead Pass, is approximately 24,682 square feet in area and is located east of Indian Hills Road and north of Arrowhead Pass cul-de-sac. The existing home was spec built in 2022, was approved for a front yard setback variance by the Planning Commission in 2021 and has yet to be occupied given site work. Minor modification to patio areas require review by the Planning Commission as they were not part of the approved 2021 variance plan set.

The applicant is requesting to amend the existing variance that was approved by the Planning Commission on Wednesday, August 25th, 2021, and tied to the plans presented at that time. The approved request was for an 85.9-foot front yard setback variance from the 103.2-foot front yard setback requirement for a new home at 6716 Arrowhead Pass, (see attached building setback detail). The applicant is proposing an amendment to the variance to propose adjustments to the previously approved plans for site work. The home is finished, however, most of the approved site improvements were faulty constructed including retaining walls, patios, landscape improvements and a yet to be built stormwater infiltration trench needing completion.

The variance request amendment is to make impervious adjustments to the site: patios, retaining walls and an expanded stormwater infiltration trench. More specifically, the new property owner proposes to reconstruct and add minor patio expansions as shown on revised plans that conform with the City of Edina side and rear setback requirements, comply with the City of Edina lot coverage requirements for impervious areas and to meet the City's stormwater rules with an expanded stormwater infiltration trench to capture a significant portion of the site's stormwater runoff. The property has not yet received a Certificate of Occupancy from the Building Inspections Department given the deficiencies outstanding in the sitework.

The following is current front yard setback requirements in the R-I zoning district:**Sec. 36-439. - Special requirements.**

a. Established front street setback. When more than 25 percent of the lots on one side of a street between street intersections, on one side of a street that ends in a cul-de-sac, or on one side of a dead-end street, are occupied by dwelling units, the front street setback for any lot shall be determined as follows:

2. If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.

Surrounding Land Uses

Northerly: Single Unit residential homes; zoned and guided low-density residential.

Easterly: Single Unit residential homes; zoned and guided low-density residential.

Southerly: Single Unit residential homes; zoned and guided low-density residential.

Westerly: Single Unit residential homes; zoned and guided low-density residential.

Existing Site Features

The existing 24,681 square foot lot is located on the north side of Arrowhead Pass at the northeast side of the intersection of Arrowhead Pass and Indian Hills Road. The new home is complete and ready for occupancy; however, sitework needs addressing prior to receiving a Certificate of Occupancy.

Planning

Guide Plan designation: Low-Density Residential

Zoning: R-I, Single-Dwelling District

Grading & Drainage

The Environmental Engineer has reviewed the application and submitted comments as attached in their memorandum.

Compliance Table

	City Standard	Proposed
North Side –	5 feet (patio addition)	5 feet (patio addition)
East rear-	25 feet	47.3 feet existing
South Front –	103.2 feet	*17.3 feet (existing)
West Front–	67.9 feet	77.9 feet existing
Building Coverage	25%	14%
Surface coverage	50%	42%
Building Height	39.75 feet	39.5 feet existing

***Requires a variance**

PRIMARY ISSUES & STAFF RECOMENDATION

Primary Issues

- **Are the proposed variances justified?**

Minnesota Statues and Section 36-98 of the Edina Zoning Ordinance require that the following conditions must be satisfied affirmatively. The proposed variance will:

- 1) *Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. “Practical difficulties” may include functional and aesthetic concerns.

The proposed use is permitted in the R-1 Single Dwelling Unit District and complies with zoning standards, with exception of the existing nonconforming front yard setback. The practical difficulties are caused by the location of the two adjacent homes on Arrowhead Pass/Indian Hills Road and the minimal building area allowed due to setback requirements. The double street frontages, unique shaped lot and required setbacks greatly affect the buildable area to the extent the lot is unbuildable without benefit of a variance. Modification to the original approved plans require an amendment to the variance. Adjustments to the site, specifically expansion of patio areas which conform to code in all other ways are reviewed by the Planning Commission.

2) Correct extraordinary circumstances applicable to this property but not applicable to other property in the vicinity or zoning district.

The unique shape of the lot and the limitations of the required setbacks are not like every similarly zoned property.

3) There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?

The proposed modifications to the 2021 variance granted are reasonable due to the circumstances that are unique to the subject property and are not self-created. The unique shaped lot and the limitations of the required setbacks are not common to every property within the R-1, Single Dwelling Unit District. Virtually all improvements and any changes on-site require a setback variance.

4) Will the variance alter the essential character of the neighborhood?

Granting the variances will not alter the character of the neighborhood. The proposed project complies with the other zoning requirements such as height, building coverage, etc. The site modifications will be in harmony with the general purposes and intent of the zoning ordinance. It will not alter the essential character of the neighborhood. It will allow the project to be corrected and completed with final landscaping installed to uphold the character of the neighborhood.

Recommended Action:

Staff recommends approval of an 85.9-foot front yard setback variance for property at 6716 Arrowhead Pass. Approval is subject to the findings listed in the staff report above and following findings:

1. The practical difficulty is caused by the required average front yard setback requirement and the cul-de-sac setback.
2. There are circumstances that are unique to the subject property. Those unique circumstances include having 2 street frontages with a cul-de-sac severely affecting the buildable area on the lot.
3. The proposed modifications to the 2021 variance granted are reasonable due to the circumstances that are unique to the subject property and are not self-created.
4. The proposal would not alter the essential character of the neighborhood. The site modifications will be in harmony with the general purposes and intent of the zoning ordinance.

Approval is subject to the following conditions:

- Subject to the survey and plans date stamped, June 14, 2024.
- Compliance with the conditions and comments listed in the Environmental Engineer's memo.
- Compliance with the tree ordinance.

Deadline for a city decision August 14, 2024.



DATE: 7/2/2024
TO: Liz Olson – Administrative Support Specialist
FROM: Ben Jore, PE – Senior Project Engineer
RE: **6716 Arrowhead Pass - Variance Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections.

This review was performed at the request of the Administrative Department. Plans reviewed included the civil set and stormwater report dated 6/13/2024.

Summary of Work

The applicant proposes to construct a patio. The request is for a variance is for setback requirements.

Easements

N.A.

Grading and Drainage

Site drains to a structural flooding issue prior to draining to Nine Mile Creek. It does not appear that any additional impervious will drain to private property.

Stormwater Mitigation

The project increases the impervious surfaces by over 600sf and drains to a structural flooding issue. Stormwater mitigation is required. The project currently is proposing a rock trench to provide volume control. The stormwater report has been submitted and complies with the City stormwater policy.

Floodplain Development

Floodplain is located in the front of the property however the project does not impact the floodplain.

Erosion and Sediment Control

An erosion and sediment control plan has been submitted.

Street and Driveway Entrance

N.A.

Public Utilities

N.A.

Miscellaneous

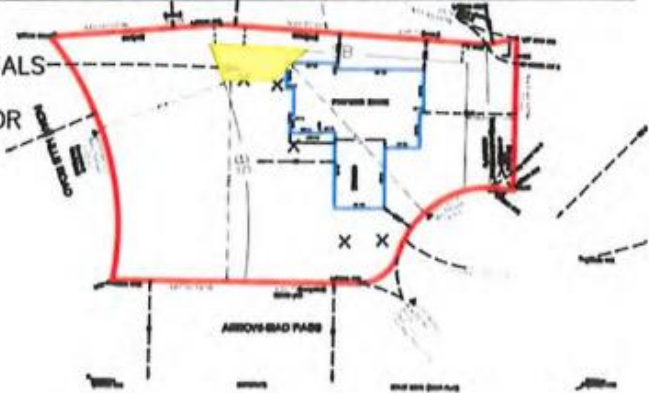
An updated Nine Mile Creek Watershed District permit is required or documentation that one is not required.

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

BUILDING SETBACK DETAIL:

HATCHED AREA = 647 SQ.FT. WHICH EQUALS BUILDABLE AREA. BUILDING OUTSIDE OF HATCHED AREA REQUIRES A VARIANCE FOR BUILDING SETBACKS.



Memorandum

TO: Attn: Kris Aaker, City of Edina

CC: DIFM2 TRUST

FROM: Patrick Sarver, PLA
Civil Site Group

DATE: 6/12/2024

RE: Legal Description for 6716 Arrowhead Pass, Edina, MN

LEGAL DESCRIPTION – 6716 Arrowhead Pass, Edina

Lot 1 and that part of Lot 2, all in Block 1, REPLAT OF LOT 3, MCCAULEY HEIGHTS FIRST ADDITION, Hennepin County, Minnesota, described as beginning at the southwest corner thereof; thence southeasterly along the southwesterly line of said Lot 2 distant 73.28 feet to the southerly corner thereof; thence northeasterly along a non-tangential curve with a radius of 50.00 feet and a arc length of 12.00 feet; thence northwesterly to a point on the northwesterly line of said Lot 2 distant 16.00 feet northeasterly from the point of beginning.

CITY OF EDINA

JUN 14 2024

PLANNING DEPARTMENT

Memorandum

TO: Attn: Kris Aaker, City of Edina

CC: DIFM2 TRUST

FROM: Patrick Sarver, PLA
Civil Site Group

DATE: 6/10/2024

RE: Variance Request for 6716 Arrowhead Pass, Edina, MN

CITY OF EDINA

JUN 14 2024

PLANNING DEPARTMENT

Variance Request

Civil Site Group is requesting a variance regarding lot setback for the property at 6716 Arrowhead Pass in Edina. This variance request is for an amendment to an existing variance that was approved by the Planning Commission on Wednesday, August 25th, 2021. The approved request was for an 85.9-foot front yard setback variance from the required 103.2 foot front yard setback requirement for a new home at 6716 Arrowhead Pass. The existing house on site has 16.5 foot non-conforming setback. The applicant is proposing a 17.3 foot front yard setback for the new home.

The purpose of this variance request is to correct unique circumstances applicable to this property, but not to other properties in the vicinity. This project will be in harmony with the general purposes and intent of the zoning ordinance. It will not alter the essential character of the neighborhood.

The amendment to the variance is to propose adjustments to the previously approved site work. Most of the previously approved improvements were faulty constructed sitework: ie: retaining walls, patios, landscape improvements or un-built stormwater infiltration trench and need to be replaced or completed. The attached documents show the proposed replacement pavements and minor additions to the walls and hardscape of the site.

Thusly the variance request amendment is to make impervious adjustments to the site: ie. Patios, Retaining walls and an expanded stormwater infiltration trench. The new property owner proposes to reconstruct and add minor patio expansions as shown on the attached documents that conform with the City of Edina setback requirements, comply with the City of Edina lot coverage requirements for impervious areas and to meet the City's stormwater rules with an expanded stormwater infiltration trench to capture a significant portion of the site's stormwater runoff.

This project will continue to be in harmony with the general purposes and intent of the zoning ordinance and will not alter the essential character of the neighborhood. We will be meeting with the adjacent neighbors to show our updated plans and answer questions regarding the project and had to receive feedback from the residents near the property.

The text below is excerpted from the previous application for the project and stills applies to the existing built structure.

Please reference the proposed survey and Figure 1 shown below regarding our variance request. See city code Sec. 36-439-Special Requirements (1) "Special setback requirements for single dwelling unit lots".

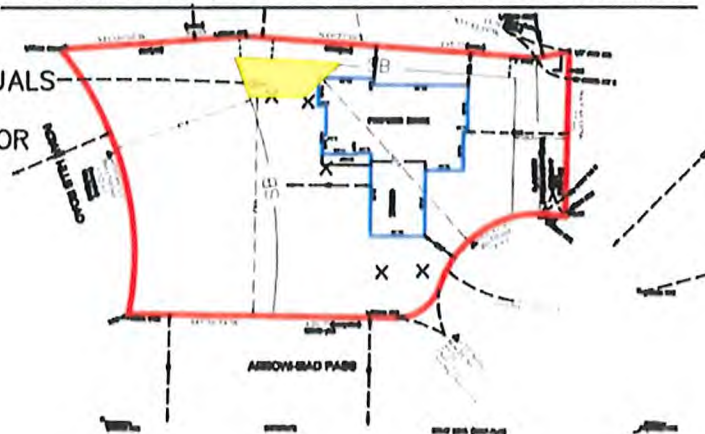
"If there is an existing dwelling unit on an abutting lot on only one side of the lot that has a front street setback on the same street, the front street setback requirement shall be the same as the front street setback of the dwelling unit on the abutting lot on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections."

'The required side street setback shall be increased to that required for a front street setback where there is an adjoining interior lot facing on the same street.'

Given the current language of the code, the southeast side of the existing house (shown in Yellow) is to be "increased to that required for a front street setback where there is an adjoining interior lot facing on the same street". Per our conversations with the city, this setback is to be the average of the two interior lots: 6712 Arrowhead Pass (123.6 ft. setback) and 6708 Arrowhead Pass (73.8 ft. setback). The average of the two setbacks is 103.2 ft. This side street setback is clearly too far and an extraordinary circumstance applicable only to this property. We are requesting this variance to permit the proposed home to have a side street setback of 17.3 ft on the southeast side of the home. The existing nonconforming setback is currently 16.5 ft. Due to this code and the unique location of the lot (see below and proposed survey), we believe it is a reasonable request to keep the setback with the existing minimum of 16.5 ft.

BUILDING SETBACK DETAIL:

HATCHED AREA = 647 SQ.FT. WHICH EQUALS BUILDABLE AREA. BUILDING OUTSIDE OF HATCHED AREA REQUIRES A VARIANCE FOR BUILDING SETBACKS.



CITY OF EDINA

JUN 14 2024

PLANNING DEPARTMENT

DIFM2 Trust Memo

Civil Site Group, PC and its designated agents may submit and act as Applicant for the Variance Application required by the City of Edina, MN for site modifications at 6716 Arrowhead Pass, Edina MN 55439. The undersigned certifies that he/she is the properly elected and qualified, of the Property Owner DIFM2 Trust, a Trust duly conformed pursuant to the laws of the State of Minnesota. This resolution has been approved by the Trust on May 10, 2024. I, as authorized by the Trust, hereby certify and attest that all the information above is true and correct.

*Name: Justin Holland
Position/Title: Trustee
Telephone Number: 770-542-8842
Email Address: justin.holland@aefiveenterprises.com*

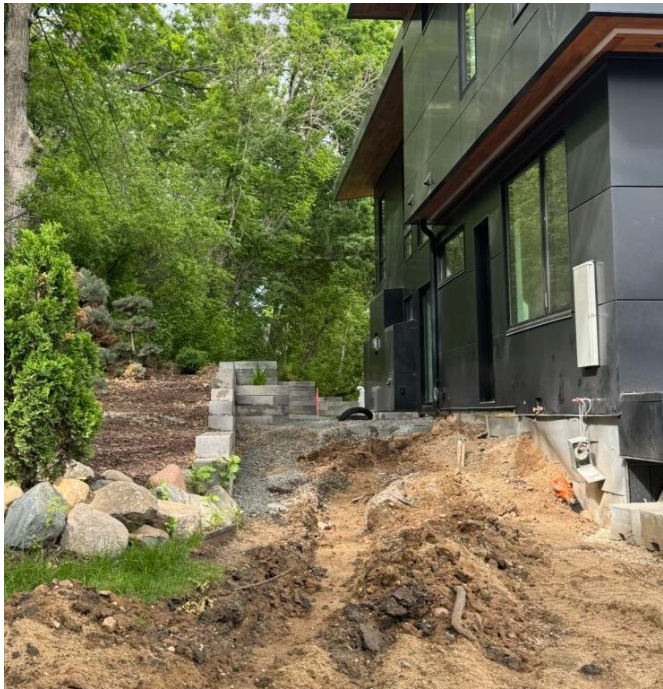
Signature:  *The DIFM2 Trust* 06/12/24

CITY OF EDINA

JUN 14 2024

PLANNING DEPARTMENT







FINISHED GRADE AS-BUILT SURVEY

~for~ Allied Partners

PROPERTY ADDRESS: #6716 Arrowhead Pass, Edina, MN

ZONING/SETBACK INFORMATION

- Total Lot Area = 24,681± sq.ft. (0.57 acres)
- PROPERTY ZONED R-1
- Requirements for building coverage, setbacks and height.

The minimum requirements for building coverage, setbacks and height in the Single Dwelling Unit District (R-1) are as follows:

(1) Building coverage. a. Lots 9,000 square feet or greater in area. Building coverage shall be not more than 25 percent for all buildings and structures. On lots with an existing conditional use, if the combined total area occupied by all accessory buildings and structures, excluding attached garages, is 1,000 square feet or greater, a conditional use permit is required. b. Lots less than 9,000 square feet in area. Building coverage shall be not more than 30 percent for all buildings and structures; provided, however, that the area occupied by all buildings and structures shall not exceed 2,250 square feet. c. Combined total area. The combined total area occupied by all accessory buildings and structures, excluding attached garages, shall not exceed 1,000 square feet for lots used for single dwelling unit buildings. d. Building coverage shall include all principal or accessory buildings, including, but not limited to: 1. Decks and patios. The first 150 square feet of an unenclosed deck or patio shall not be included when computing building coverage. 2. Gazebos. 3. Balconies. 4. Breezeways. 5. Porches. 6. Accessory recreational facilities constructed above grade, such as paddle tennis courts.

The following improvements shall be excluded when computing building coverage: 1. Driveways and sidewalks, but not patios, subject to subsection (1)d.1 of this section. 2. Parking lots and parking ramps. 3. Accessory recreational facilities not enclosed by solid walls and not covered by a roof, including outdoor swimming pools, tennis courts and shuffleboard courts. 4. Unenclosed steps and stoops less than 50 square feet. 5. Overhanging eaves and roof projections not supported by posts or pillars.

Sec. 36-439. - Special requirements.

In addition to the general requirements described in article XII, division 2 of this chapter, the following special requirements shall apply in the Single Dwelling Unit District (R-1):

(1) Special setback requirements for single dwelling unit lots. a. Established front street setback. When more than 25 percent of the lots on one side of a street between street intersections, on one side of a street that ends in a cul-de-sac, or on one side of a dead-end street, are occupied by dwelling units, the front street setback for any lot shall be determined as follows: 1. If there is an existing dwelling unit on an abutting lot on only one side of the lot that has a front street setback on the same street, the front street setback requirement shall be the same as the front street setback of the dwelling unit on the abutting lot on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections. 2. If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections. b. Side street setback. The required side street setback shall be increased to that required for a front street setback where there is an adjoining interior lot facing on the same street. The required side street setback for a garage shall be increased to 20 feet if the garage opening faces the side street. c. Rear yard setback, interior lots. If the rear lot line is less than 30 feet in length, or if the lot forms a point at the rear and there is no rear lot line, then, for setback purposes, the rear lot line shall be deemed to be a straight line segment within the lot not less than 30 feet in length, perpendicular to a line drawn from the midpoint of the front lot line to the junction of the interior lot lines, and at the maximum distance from the front lot line. d. Rear yard setback, corner lots required to maintain two front street setbacks. The owner of a corner lot required to maintain two front street setbacks may designate any interior lot line measuring 30 feet or more in length as the rear lot line for setback purposes. In the alternative, the owner of a corner lot required to maintain two front street setbacks may deem the rear lot line to be a straight line segment within the lot not less than 30 feet in length, perpendicular to a line drawn from the junction of the street frontages to the junction of the interior lot lines, the line segment being the maximum distance from the junction of the street frontages. e. Through lots. For a through lot, the required setback for all buildings and structures from the street upon which the single dwelling unit building does not front shall be not less than 25 feet.

24194 - 6716 Arrowhead Pass
Retaining Wall Exhibit
As Located and Staked
Civil Site Group
4-17-2024

NOTE: EXISTING HOME FFE = 899.5, NEW HOUSE FFE TO BE NO GREATER THAN 1 FOOT FROM EXISTING FFE.
Minimum allowable low floor = 881.9. Minimum lowest opening allowed = 879.0, per city engineering department.

PROPOSED ELEVATIONS
GARAGE FLOOR = 897.5 (DOWN 2.14 from top foundation)
TOP OF BLOCK = 899.64
PROPOSED FFE = 800.0
PROPOSED LOW FLOOR (10.5' WALLS) = 889.44
PROPOSED FFE = 800.14 (UP 6" FROM TOP FOUNDATION)
PROPOSED LOW FLOOR (12' WALLS, flex room) = 887.94

AS-BUILT ELEVATIONS (meas. 10/14/2021)

GARAGE FLOOR = not poured
TOP OF BLOCK = 899.7
LOW FLOOR = 888.0 (MEAS. 05/30/23)
LOW FLOOR (13' WALLS, flex room) = 887.0 (ASSUMED, FOOTING = 886.7)

- NOTES**
- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.
 - CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
 - HOUSE PLACEMENT & ELEVATIONS SET BY OWNER.
 - HOUSE STAKED IN FIELD ON 09/08/2021.

AREA CALCULATIONS:
- TOTAL PROPERTY AREA = 24,681± SQ.FT.
- EXISTING HOUSE, SIDEWALK, STOOP, POOL, CONCRETE SHED, DECK AND BITUMINOUS DRIVEWAY = 5,363± SQ.FT. (PRIOR TO 2021 NEW HOME CONSTRUCTION)
- PROPOSED HOUSE = 3,554± SQ.FT (24,681 x 0.25 = 6,170 allowed)
- PROPOSED DRIVEWAY = 2,491± SQ.FT.
*OVERALL PROPOSED IMPERVIOUS = 10,586 SQ.FT. (43%)
AS-BUILT AREAS:
TOTAL IMPERVIOUS = 1885+3465+30+71+45+460+238+862=7056 SQ.FT. + RETAINING WALLS (roughly 400 lineal feet x 2 wide = 800) = 7,856 sq.ft./24681 = 30.6% impervious

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES UTILITY POLE
- DENOTES UTILITY BOX
- ⊗ DENOTES SANITARY SEWER MANHOLE
- DENOTES CATCH BASIN
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING FENCE
- ×1011.2 DENOTES EXISTING ELEVATION.
- 1011.2 DENOTES PROPOSED ELEVATION.
- DENOTES BUILDING SETBACK LINE
- ⊗ DENOTES TREE TO BE REMOVED
- ⊗ DENOTES EXISTING TREE
- DENOTES CATCH BASIN
- 1011.2 DENOTES PROPOSED ELEVATION.
- 1011.2 DENOTES EXISTING ELEVATION.
- DENOTES DIRECTION OF DRAINAGE.
- ⊗ DENOTES WOOD HUB/METAL SPIKE

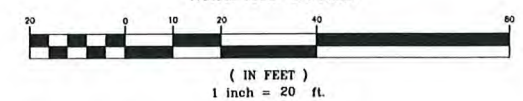
NOTES

- Bearing's shown are on assumed datum.
- Field survey conducted on 11/26/20 & 12/10/20 & 02/08/21. House staked 09/08/21. Foundation asbuilt completed 10/14/2021. Grading asbuilt completed in June, 2023.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

BENCHMARK

TOP NUT FIRE HYDRANT AT NE QUADRANT OF MCCAULEY TRAIL SO. & INDIAN HILLS ROAD. ELEVATION = 880.03 (PER CITY OF EDINA BENCHMARK WEBSITE)

GRAPHIC SCALE



LEGAL DESCRIPTION

Lot 1 and that part of Lot 2, all in Block 1, REPLAT OF LOT 3, MCCAULEY HEIGHTS FIRST ADDITION, Hennepin County, Minnesota, described as beginning at the southeast corner thereof; thence southeasterly along the southeasterly line of said Lot 2 distant 73.28 feet to the southerly corner thereof; thence northeasterly along a non-tangential curve with a radius of 50.00 feet and an arc length of 12.00 feet; thence northwesterly to a point on the northwesterly line of said Lot 2 distant 16.00 feet northeasterly from the point of beginning.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

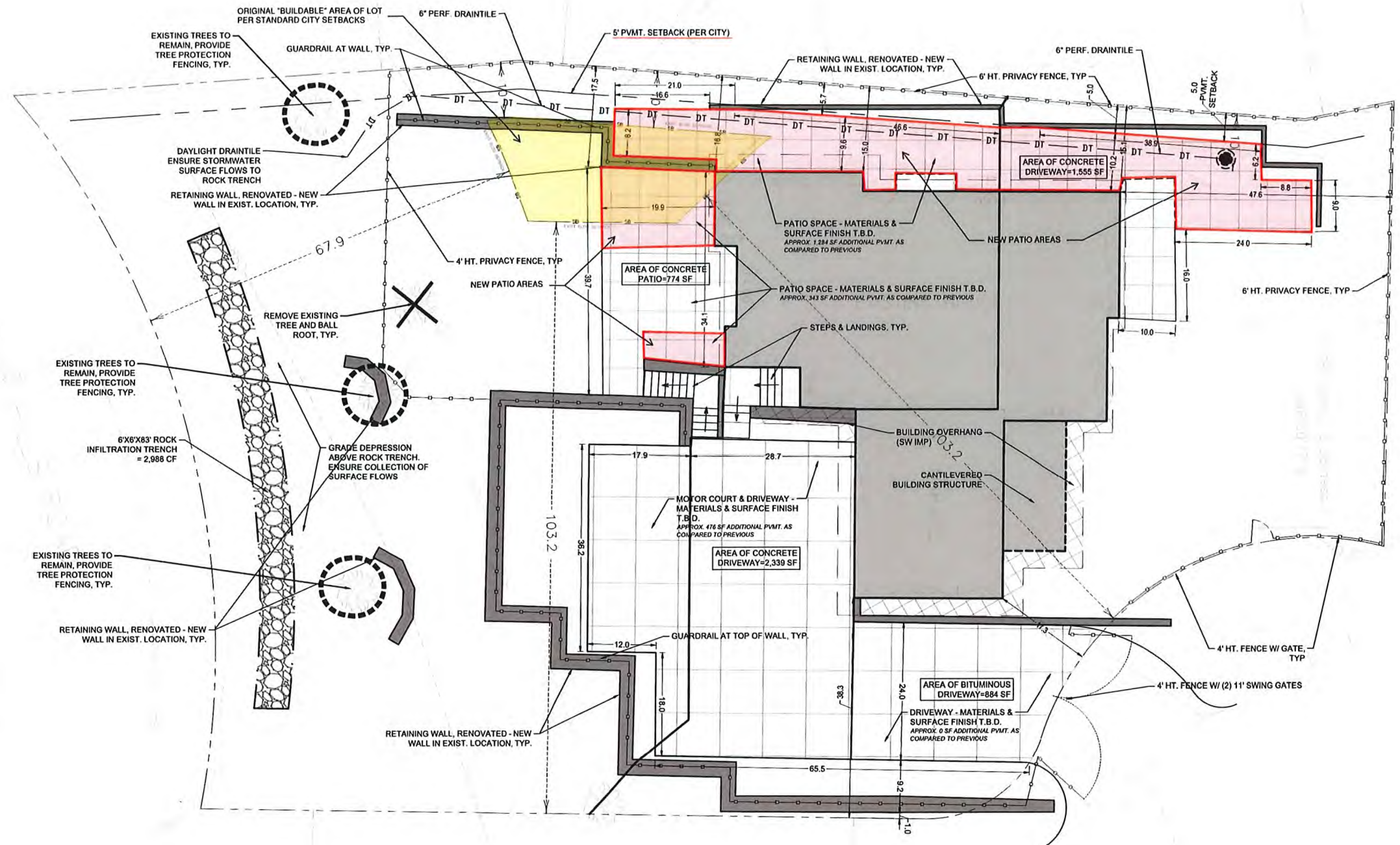
JUN 14 2024

08/01/2023

PLANNING DEPARTMENT

ERIC R. VICKARYOUS

Date: August 1st, 2023_Reg. No. 44125



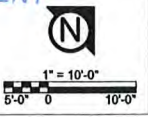
SITE PLAN LEGEND:

- BUILDING COVERAGE
- PATIOS/DRIVEWAY
- RETAINING WALL
- ADDITIONAL OVERHANG
- PROPERTY LINE

CITY OF EDINA

JUN 14 2024

PLANNING DEPARTMENT



SITE IMPERVIOUS CALCULATIONS:

BUILDING COVERAGE= 3,714 SF
 PATIO/DRIVEWAY= 5,765 SF
 RETAINING WALL= 942 SF
 SITE TOTAL= 10,421 SF

STORMWATER AREA CALCULATIONS:

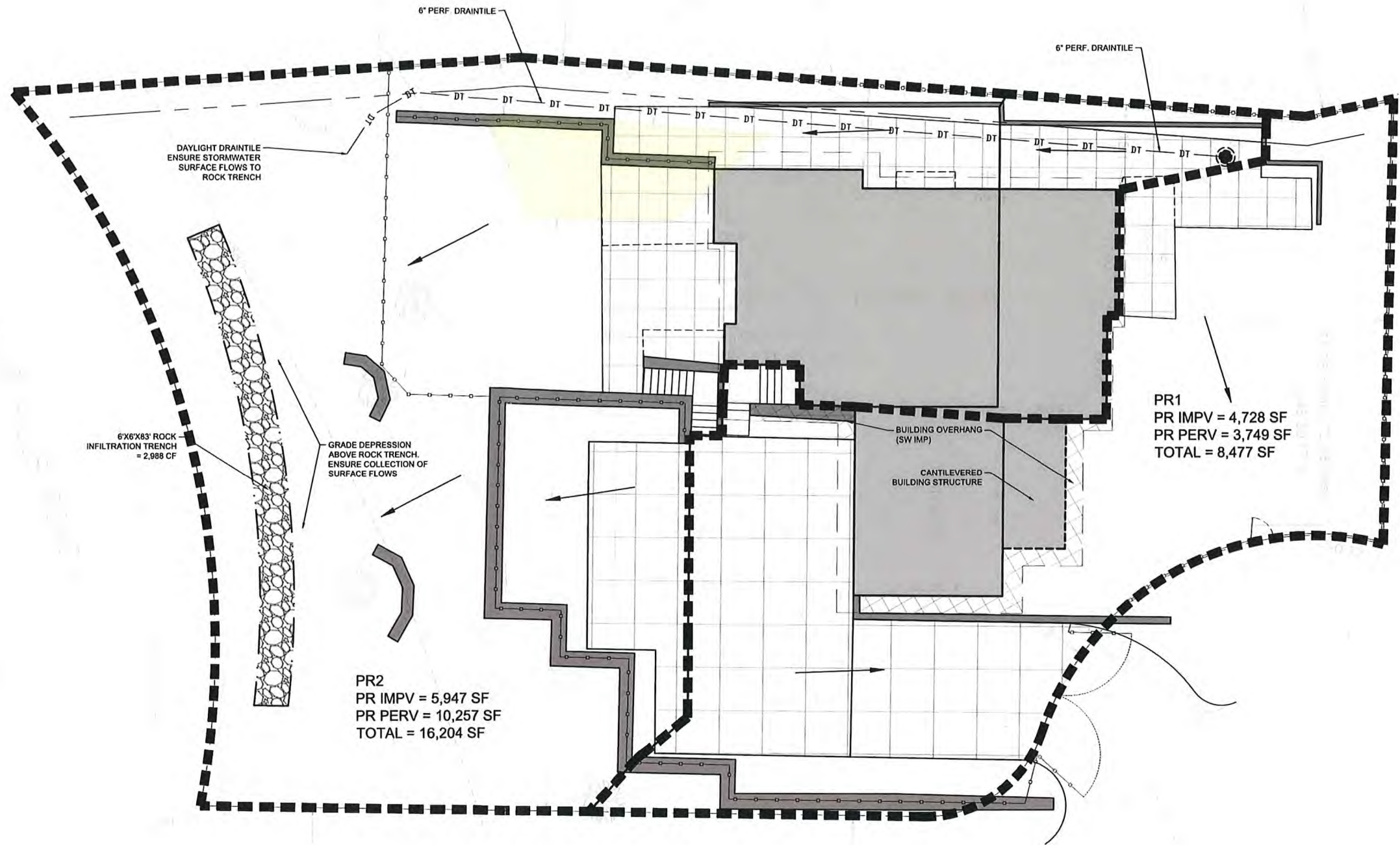
BUILDING COVERAGE= 3,714 SF
 PATIO/DRIVEWAY= 5,765 SF
 RETAINING WALL= 942 SF
 ADDITIONAL OVERHANG 309 SF
 TOTAL= 10,730 SF

SITE IMPERVIOUS AREA= 10,421 SF
 LOT AREA= 24,682 SF
 PERCENT COVERAGE= 42 %

PREVIOUSLY SUBMITTED EXISTING AREA CALCULATIONS (BY CIVIL METHODS, INC. DATED 07-29-2021):

AREA CALCULATIONS:
 - TOTAL PROPERTY AREA = 24,681± SQ.FT.
 - EXISTING HOUSE, SIDEWALK, STOOP, POOL, CONCRETE, SHED, DECK AND BITUMINOUS DRIVEWAY = 5,363± SQ.FT.
 (PRIOR TO 2021 NEW HOME CONSTRUCTION)

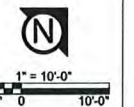
VOLUME CONTROL
 INCREASE IN IMP. AREA=10,730SF-5,363SF=5,367SF
 VOLUME REQUIRED= 1.1INX5,367SF= 492 CF
 VOLUME PROPOSED=6LFX6LFX83LF=2988 CF



SITE PLAN LEGEND:

- BUILDING COVERAGE
- PATIOS/DRIVEWAY
- RETAINING WALL
- ADDITIONAL OVERHANG
- PROPERTY LINE

CITY OF EDINA
 JUN 14 2024
 PLANNING DEPARTMENT





CODE	COMMON / BOTANICAL NAME	QTY	SIZE	NATIVE PLANT	COLLAPTION FRIENDLY
SOILS					
S1	Blue River Sod	1	4' x 8'	NO	NO
ORNAMENTAL TREES					
T1	Emerald Green Arborvitae	1	12"	NO	NO
T2	Arctic Fire Dogwood	1	12"	NO	NO
T3	Green Sheen Japanese Pachysandra	1	12"	NO	NO
SHRUBS					
S1	Regent Serviceberry	3	12"	NO	NO
S2	Magnus Purple Coneflower	5	12"	NO	NO
S3	Arctic Fire Dogwood	8	12"	NO	NO
S4	Pow Wow Wildberry Coneflower	5	12"	NO	NO
S5	Goldsturm Coneflower	3	12"	NO	NO
S6	Heavy Metal Switch Grass	3	12"	NO	NO
S7	Calmint	7	12"	NO	NO
S8	Dwarf Joe Pye Weed	3	12"	NO	NO
S9	Sombrero Salsa Red Coneflower	3	12"	NO	NO
S10	Annabelle Hydrangea	21	12"	NO	NO
S11	Grace Smoke Tree	1	12"	NO	NO
S12	Elijah Blue Fescue	44	12"	NO	NO
S13	Pom Pom Scotch Pine	3	12"	NO	NO
S14	Feather Reed Grass	18	12"	NO	NO
S15	Blue Heaven Little Bluestem	20	12"	NO	NO
S16	All Gold Japanese Forest Grass	50	12"	NO	NO
S17	Emerald Green Arborvitae	33	12"	NO	NO
S18	Muskingham Gray Dogwood	28	12"	NO	NO
GRASSES					
G1	Green Sheen Japanese Pachysandra	792	12"	NO	NO
G2	Synthetic Turf	1663	12"	NO	NO
G3	Rock Mulch	767	12"	NO	NO
G4	Rock Mulch	287	12"	NO	NO
G5	Rock Mulch	155	12"	NO	NO
G6	Rock Mulch	884	12"	NO	NO
BERBERIS					
B1	Blue River Sod	1	4' x 8'	NO	NO
GRADES					
GR1	Concrete	2339	12"	NO	NO
GR2	Bituminous	884	12"	NO	NO

SYMBOL	COMMON / BOTANICAL NAME	QTY	SIZE
[Pattern]	Concrete	2339	12"
[Pattern]	Bituminous	884	12"
[Pattern]	Rock Mulch	155	12"
[Pattern]	Rock Mulch	884	12"

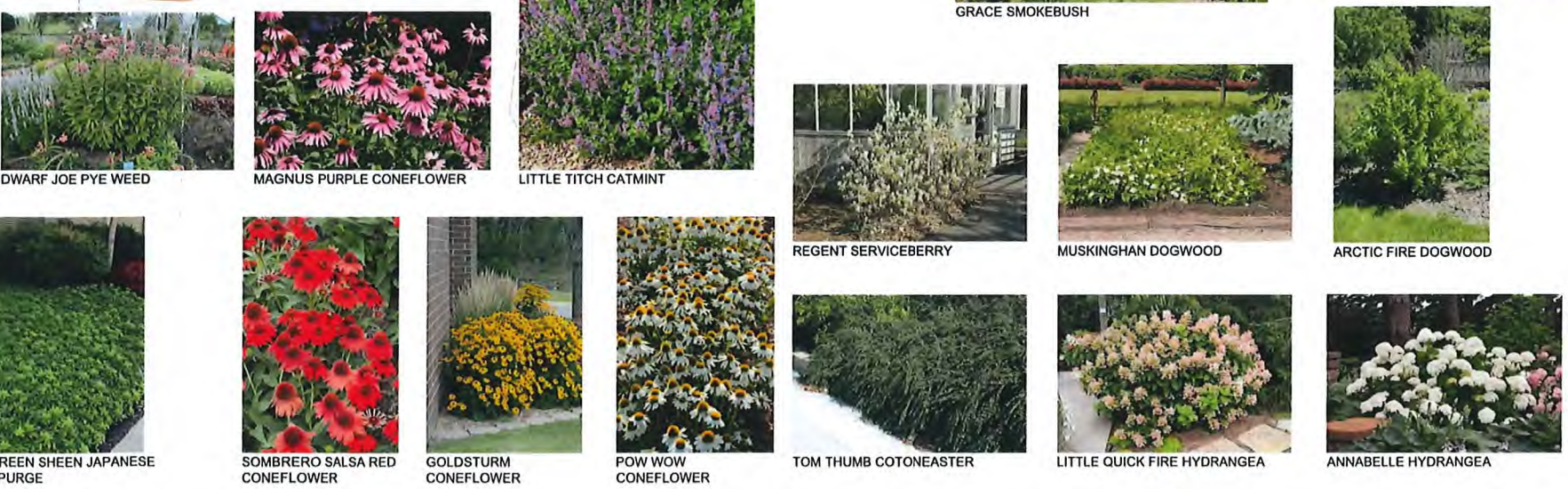


EMERALD GREEN ARBORVITEA SCOTCH PINE POM POM



GRACE SMOKEBUSH

CITY OF EDINA
 JUN 14 2024
 PLANNING DEPARTMENT



LANDSCAPE PLAN

RESOLUTION NO. B-21-09

**RESOLUTION APPROVING A VARIANCE
TO Edina City Code Chapter 36 Article VII Districts and District Regulations at
6716 Arrowhead Pass.**

BE IT RESOLVED by the Planning Commission of the City of Edina, Minnesota, as follows:

Section 1. BACKGROUND.

- 1.01 Peter Wilson, Allied Partners, requested an 81.4-foot variance to the required 98.7-foot front yard setback requirement for a new home at 6716 Arrowhead Pass.
- 1.02 The property is legally described as follows: BLOCK 001, REPLAT OF LOT 3 MCCAULEY HEIGHTS FIRST ADDITION, HENNEPIN COUNTY, MINNESOTA.
- 1.03 City Code Chapter 36 requires a 98.7-foot front yard setback.
- 1.04 The 81.4-foot variance allows the new home to have a 17.3-foot front yard setback off of Arrowhead Pass.
- 1.05 Minnesota Statutes, Section 462.354, Subdivision 12, and City Code Section 850.04 authorizes the Board of Adjustment and Appeals to grant variances.
- 1.06 On August 25, 2021, the Edina Planning Commission, acting as the Board of Adjustments and Appeals, held a public hearing on this application. The applicant was provided the opportunity to present information. The Board considered all of the hearing testimony and the staff report, which are incorporated by reference into this resolution

Section 2. STANDARDS.

- 2.01 Section 850.04.Subd.1.F. states that the Board shall not grant a petition for a variance unless it finds that the variance would be in harmony with the general purposes and intent of this Section; that the variance would be consistent with the comprehensive plan; and that there are practical difficulties in complying with this Section. "Practical Difficulties" means that (i) the property owner proposes to use the property in a reasonable manner

not permitted by this section; (ii) the plight of the petitioner is due to circumstances unique to the petitioner's property and the unique circumstance were not created by the petitioner; and (iii) the variance, if granted, will not alter the essential character of the property or its surroundings. Economic considerations alone shall not constitute an undue hardship if reasonable use for the petitioner's property exists under the terms of this Section.

Section 3. FINDINGS.

- 3.01 The proposal meets the variance criteria. The practical difficulty is caused by the placement of the two existing homes on Arrowhead pass and the existing non-conforming setback of the existing home. The unique shaped lot and required setbacks greatly affect the buildable area.
- 3.02 The circumstances are unique to the subject property and are not self-created. The unique shape of the lot and the limitations of the required setbacks are not similar to every similarly zone property.
- 3.03 Granting the variance will not alter the character of the neighborhood.

Section 4. BOARD OF ADJUSTMENT AND APPEALS ACTION.

- 4.01 The Edina Planning Commission acting as the Board of Adjustment and Appeals approves the above-described variance, subject to the above findings. Approval is subject to the following conditions:
- Plans date stamped July 20, 2021, and dated July 21, 2021.
 - Comments and conditions listed in the August 4, 2021, Engineering Memo.

This variance will expire one year from the date of this approval, August 25, 2022, unless the City has issued a building permit for the project covered by this variance or approved a time extension.

Adopted by the Planning Commission acting as Zoning Board of Appeals of the City of Edina, Minnesota, on August 25, 2021.

Kate Agnew

Kate Agnew, Planning Commission Vice Chair

ATTEST:

Liz Olson, Planning Division

ACTION ON THIS RESOLUTION:

Motion for adoption: Strauss

Seconded by: Agnew

Voted in favor of: Miranda, Berube, Strauss, Olsen, Agnew, Nemerov

Voted against: None

Abstained: None

Absent: Bennett

Resolution adopted. August 25, 2021

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Board of Adjustment and Appeals of the City of Edina, Minnesota, at a duly authorized meeting held on August 25, 2021.

Liz Olson, Planning Department

CERTIFICATE OF SURVEY

PROPERTY ADDRESS: #6716 Arrowhead Pass, Edina, MN

~for~ Allied Partners

ZONING/SETBACK INFORMATION

- Total Lot Area = 24,681± sq.ft. (0.57 acres)
- PROPERTY ZONED R-1
- Requirements for building coverage, setbacks and height.

The minimum requirements for building coverage, setbacks and height in the Single Dwelling Unit District (R-1) are as follows:

(1) Building coverage. a. Lots 9,000 square feet or greater in area. Building coverage shall be not more than 25 percent for all buildings and structures. On lots with an existing conditional use, if the combined total area occupied by all accessory buildings and structures, excluding attached garages, is 1,000 square feet or greater, a conditional use permit is required. b. Lots less than 9,000 square feet in area. Building coverage shall be not more than 30 percent for all buildings and structures; provided, however, that the area occupied by all buildings and structures shall not exceed 2,250 square feet. c. Combined total area. The combined total area occupied by all accessory buildings and structures, excluding attached garages, shall not exceed 1,000 square feet for lots used for single dwelling unit buildings. d. Building coverage shall include all principal or accessory buildings, including, but not limited to: 1. Decks and patios. The first 150 square feet of an unenclosed deck or patio shall not be included when computing building coverage. 2. Gazebos. 3. Balconies. 4. Breezeways. 5. Porches. 6. Accessory recreational facilities constructed above grade, such as paddle tennis courts.

The following improvements shall be excluded when computing building coverage: 1. Driveways and sidewalks, but not patios, subject to subsection (1)d.1 of this section. 2. Parking lots and parking ramps. 3. Accessory recreational facilities not enclosed by solid walls and not covered by a roof, including outdoor swimming pools, tennis courts and shuffleboard courts. 4. Unenclosed steps and stoops less than 50 square feet. 5. Overhanging eaves and roof projections not supported by posts or pillars.

Sec. 36-439. - Special requirements.

In addition to the general requirements described in article XII, division 2 of this chapter, the following special requirements shall apply in the Single Dwelling Unit District (R-1):

(1) Special setback requirements for single dwelling unit lots. a. Established front street setback. When more than 25 percent of the lots on one side of a street between street intersections on one side of a street that ends in a cul-de-sac or on one side of a dead-end street are occupied by dwelling units, the front street setback for any lot shall be determined as follows: 1. If there is an existing dwelling unit on an abutting lot on only one side of the lot that has a front street setback on the same street, the front street setback requirement shall be the same as the front street setback of the dwelling unit on the abutting lot on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections. 2. If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections. b. Side street setback. The required side street setback shall be increased to that required for a front street setback where there is an adjoining interior lot facing on the same street. The required side street setback for a garage shall be increased to 20 feet if the garage opening faces the side street. c. Rear yard setback, interior lots. If the rear lot line is less than 30 feet in length, or if the lot forms a point at the rear and there is no rear lot line, then, for setback purposes, the rear lot line shall be deemed to be a straight line segment within the lot not less than 30 feet in length, perpendicular to a line drawn from the midpoint of the front lot line to the junction of the interior lot lines, and at the maximum distance from the front lot line. d. Rear yard setback, corner lots required to maintain two front street setbacks. The owner of a corner lot required to maintain two front street setbacks may designate any interior lot line measuring 30 feet or more in length as the rear lot line for setback purposes. In the alternative, the owner of a corner lot required to maintain two front street setbacks may deem the rear lot line to be a straight line segment within the lot not less than 30 feet in length, perpendicular to a line drawn from the junction of the street frontages to the junction of the interior lot lines, the line segment being the maximum distance from the junction of the street frontages. e. Through lots. For a through lot, the required setback for all buildings and structures from the street upon which the single dwelling unit building does not front shall be not less than 25 feet.

BUILDING SETBACK DETAIL:

HATCHED AREA = 647 SQ.FT. WHICH EQUALS BUILDABLE AREA. BUILDING OUTSIDE OF HATCHED AREA REQUIRES A VARIANCE FOR BUILDING SETBACKS.



NORTH

NOTE: EXISTING HOME FFE = 899.5, NEW HOUSE FFE TO BE NO GREATER THAN 1 FOOT FROM EXISTING FFE.
 Minimum allowable low floor = 881.9. Minimum lowest opening allowed = 879.0, per city engineering department.

PROPOSED ELEVATIONS
 GARAGE FLOOR = 897.5 (DOWN 2.14 from top foundation)
 TOP OF BLOCK = 899.64
 PROPOSED FFE = 900.0
 PROPOSED LOW FLOOR (10.5' WALLS) = 889.44
 PROPOSED FFE = 900.14 (UP 6" FROM TOP FOUNDATION)
 PROPOSED LOW FLOOR (12' WALLS, flex room) = 887.94

CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES UTILITY POLE
- DENOTES UTILITY BOX
- ⊗ DENOTES SANITARY SEWER MANHOLE
- ⊠ DENOTES CATCH BASIN
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING FENCE
- ×1011.2 DENOTES EXISTING ELEVATION.
- DENOTES PROPOSED ELEVATION.
- DENOTES BUILDING SETBACK LINE
- ⊗ DENOTES TREE TO BE REMOVED
- ⊗ DENOTES EXISTING TREE

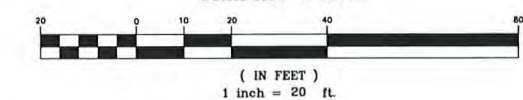
NOTES

- Bearing's shown are on assumed datum.
- Field survey conducted on 11/26/20 & 12/10/20 & 02/08/21.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

BENCHMARK

TOP NUT FIRE HYDRANT AT NE QUADRANT OF MCCAULEY TRAIL SO. & INDIAN HILLS ROAD. ELEVATION = 880.03 (PER CITY OF EDINA BENCHMARK WEBSITE)

GRAPHIC SCALE



LEGAL DESCRIPTION

Lot 1 and that part of Lot 2, all in Block 1, REPLAT OF LOT 3, MCCAULEY HEIGHTS FIRST ADDITION, Hennepin County, Minnesota, described as beginning at the southwest corner thereof; thence southeasterly along the westerly line of said Lot 2 distant 73.28 feet to the southerly corner thereof; thence northeasterly along a non-tangential curve with a radius of 50.00 feet and an arc length of 12.00 feet; thence northwesterly to a point on the northwesterly line of said Lot 2 distant 16.00 feet northeasterly from the point of beginning.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS

Date: July 15th, 2021, Reg. No. 44125

AREA CALCULATIONS:
 - TOTAL PROPERTY AREA = 24,681± SQ.FT.
 - EXISTING HOUSE, SIDEWALK, STOOP, POOL, CONCRETE, SHED, DECK AND BITUMINOUS DRIVEWAY = 5,363± SQ.FT.
 - PROPOSED HOUSE = 3,554± SQ.FT.
 - PROPOSED DRIVEWAY = 2,641± SQ.FT.
 6,195/24,681 = 25.1%

NOTES

- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.
- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR.
- HOUSE PLACEMENT & ELEVATIONS SET BY OWNER.
- NO GRADING PLAN EXISTS FOR THIS PROPERTY. BUILDER RESPONSIBILITY TO RESEARCH GROUND WATER AND SOILS OF SITE. SOIL BORINGS MAY BE WARRANTED HOWEVER IS BUILDERS RESPONSIBILITY.

GENERAL EXTERIOR NOTES:

1. ALL EXT. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE.
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.
9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICE/WATER BARRIER.
10. HOLD STONE OFF GRADE MINIMUM OF 3".
11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
12. GARAGE BUCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
14. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.



NOTE:
ALL SOFFITS TO
BE NATURAL WOOD

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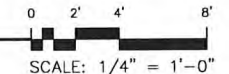
EXTERIOR MATERIAL KEY	
4"x8" ALUMINUM PANELS -MATERIAL: ALUMINUM, VERIFY W/ SPEC. * PANEL HEIGHT = 2" UNLESS OTHERWISE SPECIFIED *	
4" HORIZONTAL SIDING -MATERIAL: CHARRED WOOD, VERIFY W/ SPEC.	
2" HORIZONTAL PANELS -MATERIAL: ALUMINUM, VERIFY W/ SPEC.	
STUCCO -MATERIAL: CEMENT COMPOSITE, VERIFY W/ SPEC.	

CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

1 FRONT/EAST ELEVATION
SCALE: 1/4" = 1'-0"







REVISION: ISSUE FOR BID, NOT FOR CONSTRUCTION MULTIPLE CHANGES PER OWNER'S REQUEST	REV. DATE: 2-9-21 6-29-21	DRAWING TITLE: 6716 ARROWHEAD PASS BID SET LOCATION: 6716 ARROWHEAD PASS, EDINA MN	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2021		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE: 6-29-21	PAGE LA1D	PAGE DESCRIPTION: FRONT ELEVATION SCALED PRINT @ 24X36
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GENERAL EXTERIOR NOTES:

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EXTERIOR MATERIAL KEY	
4"x2" ALUMINUM PANELS -MATERIAL: ALUMINUM, VERIFY W/ SPEC *PANEL HEIGHT = 2" UNLESS OTHERWISE SPECIFIED *	
4" HORIZONTAL SIDING -MATERIAL: CHARRED WOOD, VERIFY W/ SPEC.	
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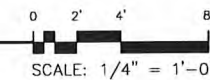


CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

2 SOUTH/RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REVISION:	REV. DATE:
ISSUE FOR BID, NOT FOR CONSTRUCTION MULTIPLE CHANGES PER OWNER'S REQUEST	2-9-21 6-29-21

DRAWING TITLE:
6716 ARROWHEAD PASS BID SET
LOCATION: 6716 ARROWHEAD PASS, EDINA MN

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WINSTED, MN

CURRENT DATE:
6-29-21







PAGE DESCRIPTION:
RIGHT SIDE ELEVATION
SCALED PRINT @ 24X36

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NOTE:
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ALL SOFFITS TO BE NATURAL WOOD



CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

8'
-0"

1 NORTH/LEFT ELEVATION
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

REVISION:
ISSUE FOR BID, NOT FOR CONSTRUCTION
MULTIPLE CHANGES PER OWNER'S REQUEST

REV. DATE:
2-9-21
6-29-21

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6716 ARROWHEAD PASS BID SET
LOCATION:
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CURRENT DATE:
6-29-21





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A3D

PAGE DESCRIPTION:
LEFT SIDE ELEVATION
SCALED PRINT @ 24X36

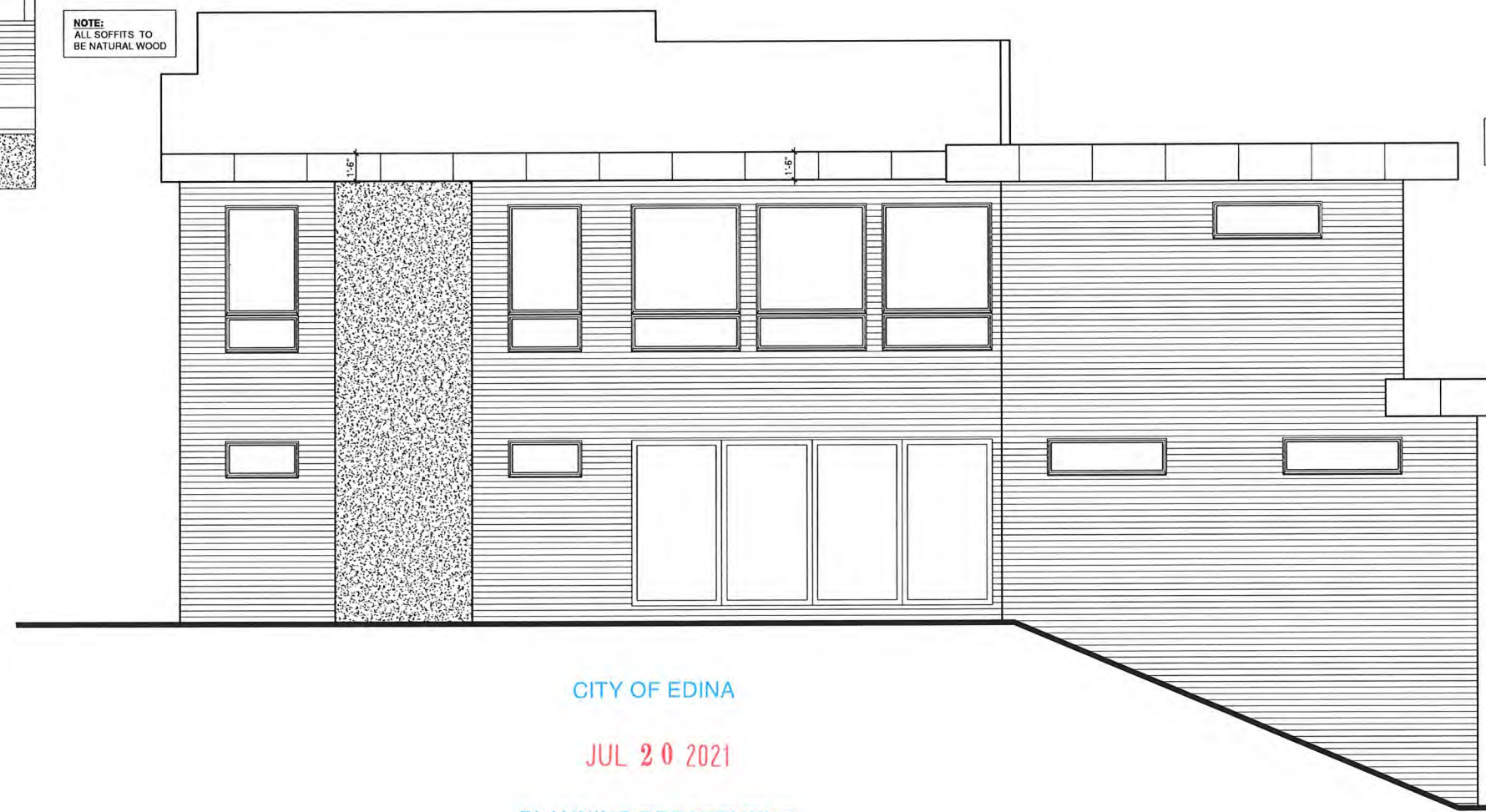
GENERAL EXTERIOR NOTES:

1. ALL EXT. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCUPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE.
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.

9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICE/WATER BARRIER.
10. HOLD STONE OFF GRADE MINIMUM OF 3".
11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
12. GARAGE BUCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
14. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

EXTERIOR MATERIAL KEY	
4"x2" ALUMINUM PANELS -MATERIAL: ALUMINUM, VERIFY W/ SPEC * PANEL HEIGHT = 2" UNLESS OTHERWISE SPECIFIED *	
4" HORIZONTAL SIDING -MATERIAL: CHARRED WOOD, VERIFY W/ SPEC.	
2" HORIZONTAL PANELS -MATERIAL: ALUMINUM, VERIFY W/ SPEC.	
STUCCO -MATERIAL: CEMENT COMPOSITE, VERIFY W/ SPEC.	

NOTE:
ALL SOFFITS TO BE NATURAL WOOD



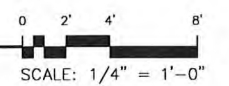
NOTE:
ALL SOFFITS TO BE NATURAL WOOD

CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

2 REAR/WEST ELEVATION
SCALE: 1/4" = 1'-0"



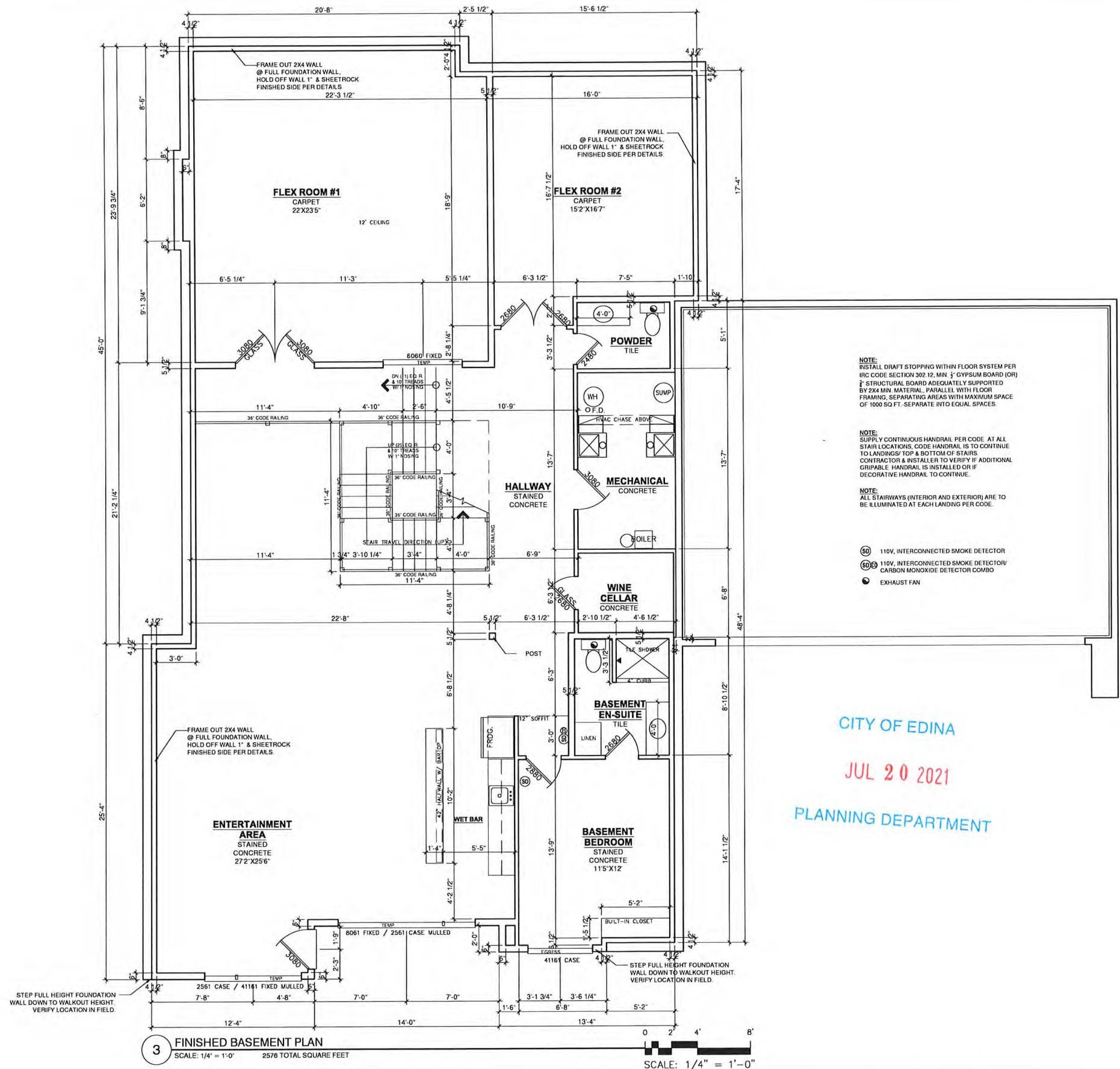
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ISSUE FOR BID, NOT FOR CONSTRUCTION MULTIPLE CHANGES PER OWNER'S REQUEST	2-9-21 6-29-21	6716 ARROWHEAD PASS BID SET LOCATION: 6716 ARROWHEAD PASS, EDINA MN				6-29-21	A4D	REAR ELEVATION SCALED PRINT @ 24X36

GENERAL FOUNDATION NOTES:

1. FOUNDATIONS TO BE POURED PER SITE SOIL CONDITION.
2. ALL REINFORCING IS TO BE INSTALLED PER IRC REGULATED STRUCTURAL DESIGN BY CONCRETE TRADES.
3. PROVIDE 1/2" ANCHOR BOLTS EMBEDDED 8" MIN., SPACED PER CODE AND 12" MAX FROM EACH END OF SILLPLATE, MIN 2 PER SILL.
4. PROVIDE CONTROL JOINTS PER PLAN, JOIST TO CONSIST OF HIDDEN ZIP STRIP EMBEDDED INTO THE SLABS.
5. ALL ANGLED WALLS ARE TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
6. SLOPE CONCRETE TO FLOOR DRAINS WITHIN 5' OF DRAINS.
7. ALL WOOD MATERIAL CONTACTING DIRECTLY TO CONCRETE MUST BE TREATED OR DESIGNED TO CONTACT CONCRETE.
8. STEP FOOTINGS PER PLAN SPECIFICATIONS.
9. PROVIDE DRAINTILE AROUND PERIMETER AS SHOWN. LATERAL SOIL PRESSURE ASSUMED TO BE 45 PSF/FT.

-WINDOW & DOOR SIZE NOTES (EXAMPLES):

- SH3050 = SINGLE HUNG 3'0" BY 5'0"
- FX2646 = FIXED 2'6" BY 4'6"
- CASE3050 = CASEMENT 3'0" BY 5'0"
- 2868 @ DOOR = 2'8" WIDE BY 6'8" TALL
- 2880 @ DOOR = 2'8" WIDE BY 8'0" TALL



NOTE:
INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. 1/2" GYPSUM BOARD (OR) 5/8" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL, PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ. FT. SEPARATE INTO EQUAL SPACES.

NOTE:
SUPPLY CONTINUOUS HANDRAIL PER CODE. AT ALL STAIR LOCATIONS, CODE HANDRAIL IS TO CONTINUE TO LANDINGS, TOP & BOTTOM OF STAIRS. CONTRACTOR & INSTALLER TO VERIFY IF ADDITIONAL GRIPABLE HANDRAIL IS INSTALLED OR IF DECORATIVE HANDRAIL TO CONTINUE.

NOTE:
ALL STAIRWAYS (INTERIOR AND EXTERIOR) ARE TO BE ILLUMINATED AT EACH LANDING PER CODE.

SD 110V, INTERCONNECTED SMOKE DETECTOR
SD 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO
E EXHAUST FAN

CITY OF EDINA
JUL 20 2021
PLANNING DEPARTMENT

3 FINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0" 2576 TOTAL SQUARE FEET

REVISION:	REV. DATE:	DRAWING TITLE:	CURRENT DATE:	PAGE	PAGE DESCRIPTION:
ISSUE FOR BID, NOT FOR CONSTRUCTION	2-9-21	6716 ARROWHEAD PASS BID SET	6-29-21	A6	FINISHED BASEMENT
MULTIPLE CHANGES PER OWNER'S REQUEST	6-29-21				
		LOCATION: 6716 ARROWHEAD PASS, EDINA MN			
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SCALED PRINT @ 24X36					

GENERAL FRAMING NOTES:

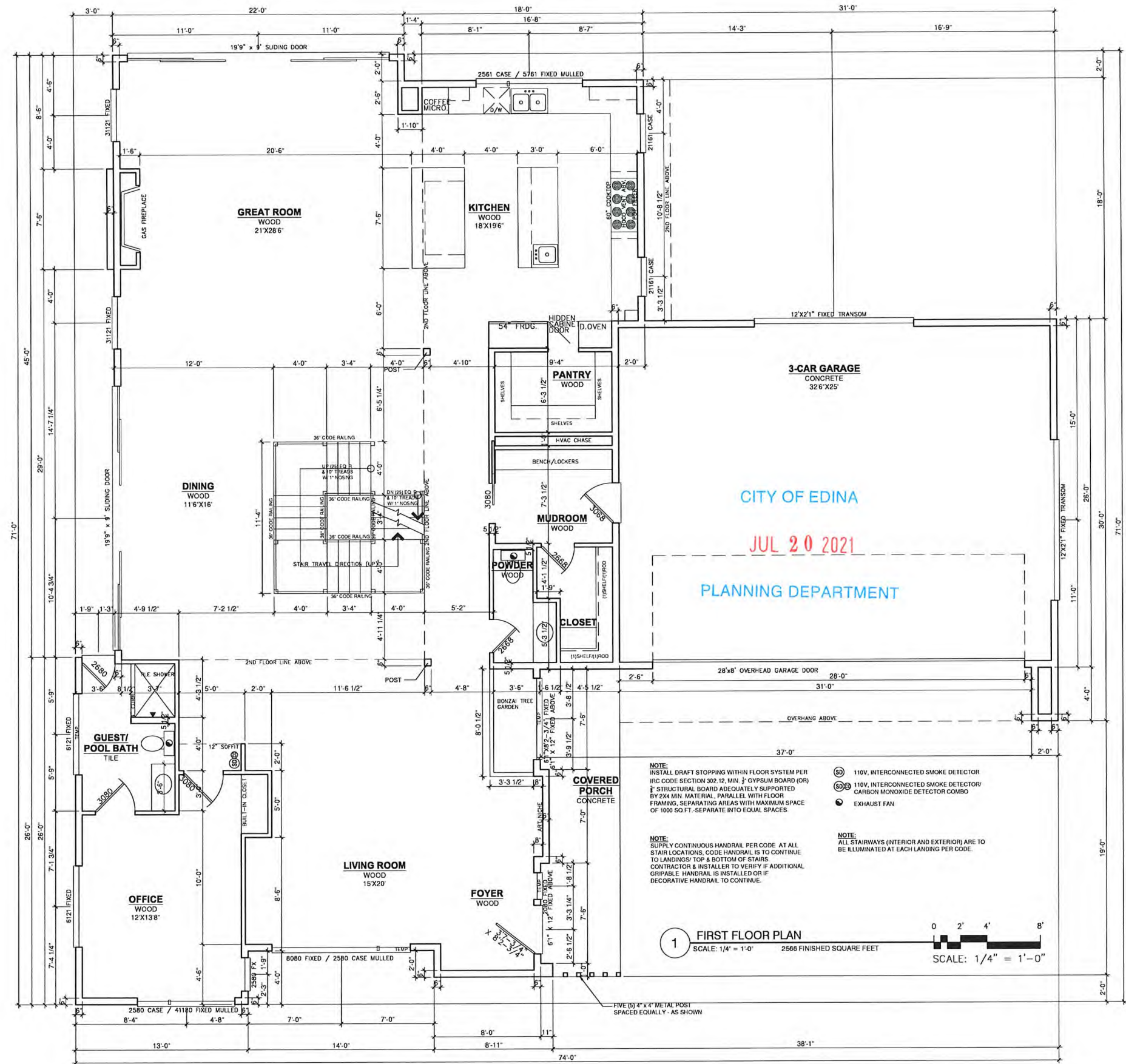
1. ALL NON-BEARING FRAMING IS TO BE 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
4. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

-WINDOW & DOOR SIZE NOTES (EXAMPLES):

- SH3050 = SINGLE HUNG 3'0" BY 5'0"
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- CASE3050 = CASEMENT 3'0" BY 5'0"
- 2868 @ DOOR = 2'8" WIDE BY 6'8" TALL
- 2880 @ DOOR = 2'8" WIDE BY 8'0" TALL

STRUCTURAL NOTES:

1. ALL HEADERS TO BE SUPPORTED BY A MINIMUM OF (1) TRIMMER. (UNLESS NOTED OTHERWISE)
2. ALL HEADERS TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED).
3. ALL STUD CALLOUTS @ SIDES OF WINDOWS/DOORS ARE TRIMMERS, MINIMUM (1) KING STUDS @ SAID LOCATIONS TO BE INCLUDED AS WELL.
4. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANUFACTURER.
5. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT.
6. ALL HANGERS & CONNECTORS PER TRUSS MANUFACTURER, SUPPLIERS & CONTRACTOR.
7. ALL EXTERIOR SHEATHING TO BE 7/16" OSB OR PLYWOOD SHEATHING & NAILED PER CODE (MAY BE REFERRED TO AS 1/2" NOMINAL THICKNESS).
8. ROOF DECKING TO BE 1/2" NOMINAL (OR 15/32") OSB DECKING W/ CLIPS, NAILED TO ROOF FRAMING W/ MIN. 8d COMMON NAILS, 6" O.C. @ EDGES/12" O.C. @ FIELD.
9. FLOOR DECKING TO BE 3/4" PLYWOOD DECKING, NAILED OR SCREWED TO FLOOR SYSTEM PER CODE W/ ADHESIVE PER SPEC. (OR) MIN. 6d COMMON NAILS 6" O.C. @ EDGES/12" O.C. @ FIELD (CODE MINIMUM).
10. REFER TO WALL BRACING PLANS FOR ADDITIONAL FRAMING INFORMATION.



NOTE:
 INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. 1/2" GYPSUM BOARD (OR) 1/2" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ FT. SEPARATE INTO EQUAL SPACES.

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110V, INTERCONNECTED SMOKE DETECTOR
 110V, INTERCONNECTED SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR COMBO
 EXHAUST FAN

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 2566 FINISHED SQUARE FEET
 SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:	DRAWING TITLE:	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2021		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE:	PAGE	PAGE DESCRIPTION:
ISSUE FOR BID, NOT FOR CONSTRUCTION	2-9-21	6716 ARROWHEAD PASS BID SET				6-29-21	A7	FIRST FLOOR PLAN
MULTIPLE CHANGES PER OWNER'S REQUEST	6-29-21	LOCATION: 6716 ARROWHEAD PASS, EDINA MN				6-29-21		SCALED PRINT @ 24X36

GENERAL FRAMING NOTES:

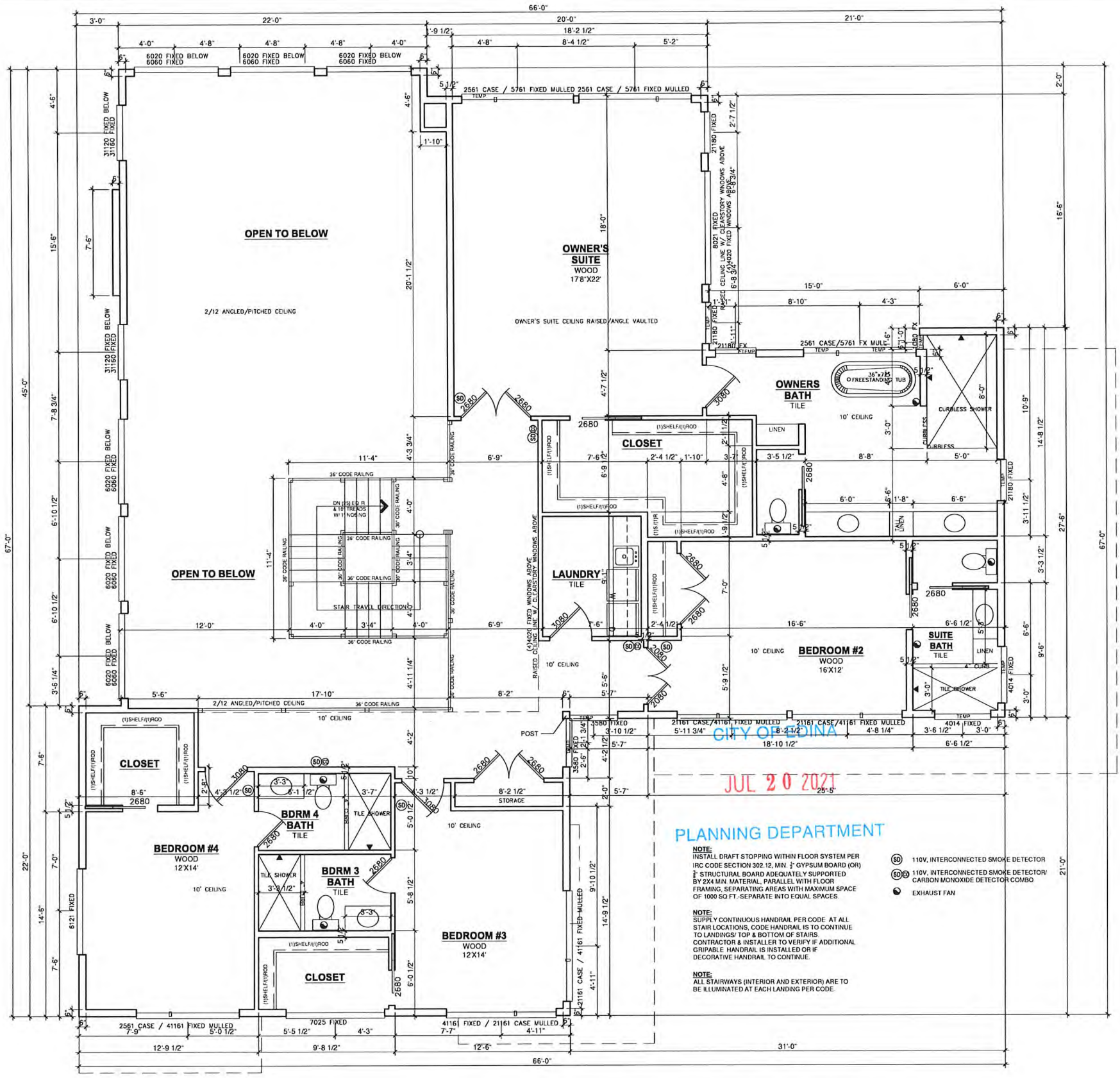
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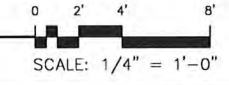
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10. REFER TO WALL BRACING PLANS FOR ADDITIONAL FRAMING INFORMATION.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 2133 FINISHED SQUARE FEET



REVISION:	REV. DATE:
ISSUE FOR BID, NOT FOR CONSTRUCTION	2-9-21
MULTIPLE CHANGES PER OWNER'S REQUEST	6-29-21

DRAWING TITLE: 6716 ARROWHEAD PASS BID SET
LOCATION: 6716 ARROWHEAD PASS, EDINA MN

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CURRENT DATE: 6-29-21	PAGE LA8	PAGE DESCRIPTION: SECOND FLOOR PLANS SCALED PRINT @ 24X36
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CITY OF EDINA

Allied Partners
2262 County Road 24
Medina, MN 55340 US
(651)-247-7604

JUL 20 2021

PLANNING DEPARTMENT

Site Photos

View 1 – South Elevation



View 3 – West Elevation



CITY OF EDINA

JUL 20 2021

PLANNING DEPARTMENT

View 4 – North Elevation



View 6 – Drone Eagle View



Project Report

Better Together Edina

**6716 Arrowhead Pass, Variance for Front Yard
Setback Patio Addition**



0 comments



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A plan modification for an 85.9-foot front yard setback variance granted in 2021 from the required 103.2 feet for a 17.3-foot front yard setback for property located at 6716 Arrowhead Pass.

6716 Arrowhead Pass



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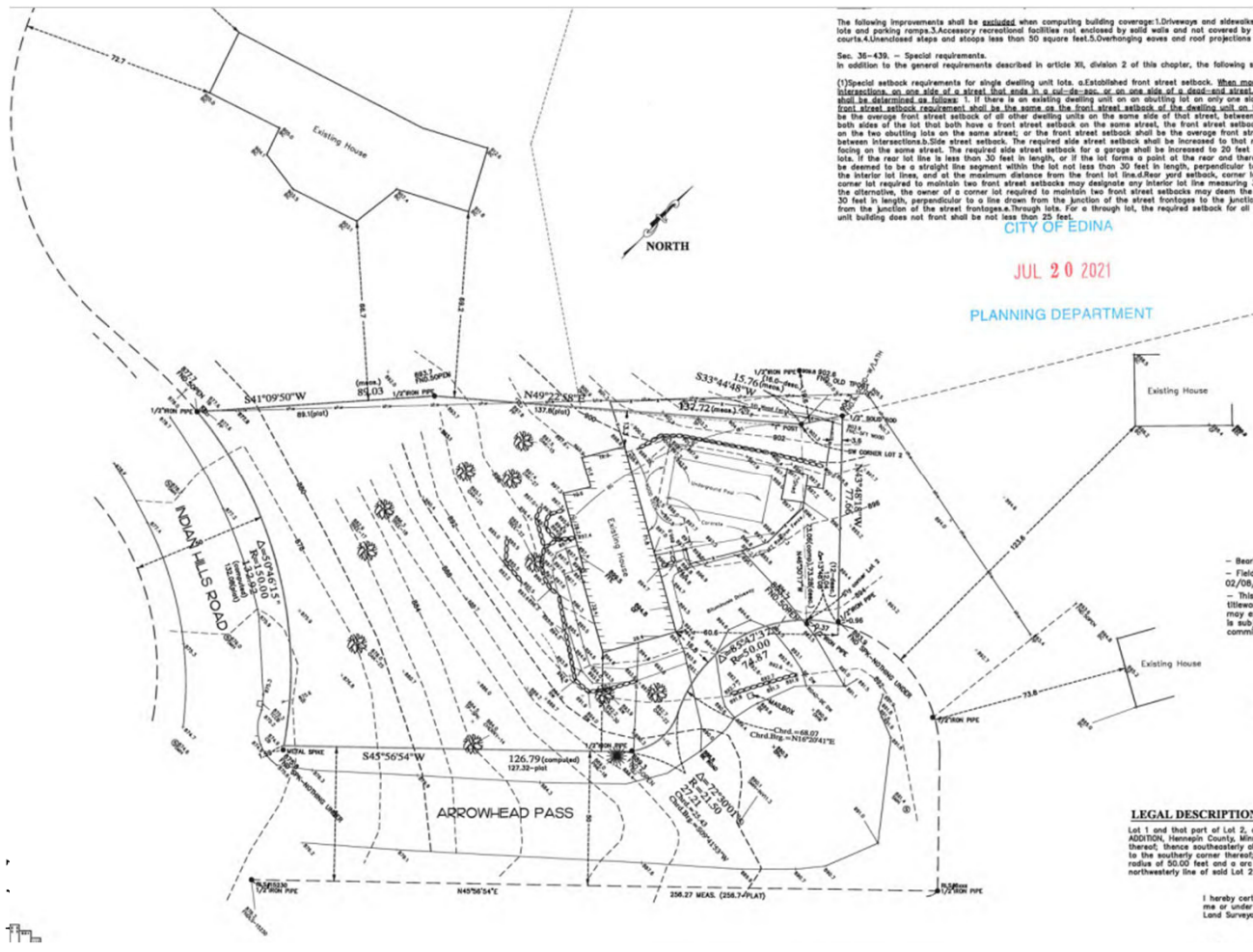


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Previous home



Required setbacks

HATCHED AREA = 647 SQ.FT. WHICH EQUALS BUILDABLE AREA. BUILDING OUTSIDE OF HATCHED AREA REQUIRES A VARIANCE FOR BUILDING SETBACKS.

BUILDING SETBACK DETAIL:



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**24194 - 6716 Arrowhead Pass
Retaining Wall Exhibit
As Located and Staked
Civil Site Group
4-17-2024**

courts.4.Unenclosed steps and stoops less than 30 square feet.Overhanging eaves and roof projections in Sec. 36-439. - Special requirements. In addition to the general requirements described in article XI, division 2 of this chapter, the following apply:

(1)Special setback requirements for single dwelling unit lots. a. Established front street setback. When more intersections on one side of a street that ends in a cul-de-sac or on one side of a dead-end street, it shall be determined as follows: 1. If there is an existing dwelling unit on an abutting lot on only one side of the street, the setback requirement shall be the same as the front street setback of the dwelling unit on the lot that both have a front street setback on the same street, the front street setback on the two abutting lots on the same street, or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between both sides of the lot that both have a front street setback on the same street, the front street setback on the two abutting lots on the same street, or the front street setback shall be the average front street setback between intersections. b. Side street setback. The required side street setback shall be increased to that reflecting on the same street. The required side street setback for a garage shall be increased to 20 feet if lots. If the rear lot line is less than 30 feet in length, or if the lot forms a point at the rear and there is deemed to be a straight line segment within the lot not less than 30 feet in length, perpendicular to the interior lot line, and of the maximum distance from the front lot line to the rear yard setback, corner lot corner lot required to maintain two front street setbacks may designate any interior lot line measuring 30 feet or more, perpendicular to a line drawn from the junction of the street frontages to the junction from the junction of the street frontages. Through lots. For a through lot, the required setback for all building does not front shall be not less than 20 feet.

NOTE: EXISTING HOME FFE = 899.5, NEW HOUSE FFE TO BE NO GREATER THAN 1 FOOT FROM EXISTING FFE.
 *Minimum allowable low floor = 881.9. Minimum lowest opening allowed = 879.0, per city engineering department.
PROPOSED ELEVATIONS
 GARAGE FLOOR = 897.5 (DOWN 2.14 from top foundation)
 TOP OF BLOCK = 899.64
 PROPOSED FFE = 900.0
 PROPOSED LOW FLOOR (10.5" WALLS) = 880.44
 PROPOSED FFE = 900.14 (UP 6" FROM TOP FOUNDATION)
 PROPOSED LOW FLOOR (12" WALLS, flex room) = 887.94

AS-BUILT ELEVATIONS (from 10/14/2021)
 GARAGE FLOOR = not poured
 TOP OF BLOCK = 899.5
 LOW FLOOR = 888.0 (MEAS. 05/30/23)
 LOW FLOOR (12" WALLS, flex room) = 887.0 (ASSUMED, FOOTING)

ELEVATIONS AND DIMENSIONS. ALL SET BY OWNER. 1/08/2021.

24,681± SQ. FT. L.K. STOOP, POOL, CONCRETE. HIS DRIVEWAY = 5,363± SQ. FT. CONSTRUCTION) SQ. FT. (24,681 ± 0.25 = 6,170 allowed) 4914 SQ. FT. (43%) PREVIOUS = 10,586 SQ. FT. (43%) 3465± 30± 71± 45± 60± 128± 862± 7056 (roughly 400 linear feet ± 2 wide = ± impervious

1 IMPERVIOUS SURFACE (FINAL IMPERVIOUS BE LESS THAN 43% AS THERE WILL BE NO PLANTINGS IN PATIO AREAS).

NOTES
 - Bearing's shown are on assumed datum.
 - Field survey conducted on 11/28/20 02/08/21. House staked 09/03/21. Fou completed 10/14/2021. Grading submitt 2023.
 - This survey was prepared without the titlework. Easement, appurtenances and may exist in addition to those shown is subject to revision upon receipt of a commitment or attorneys title opinion.

LEGAL DESCRIPTION
 Lot 1 and that part of Lot 2, all in Block 1, REP ADDITION, Hennepin County, Minnesota, described thereat thence southeasterly along the southwest to the southerly corner thereof; thence northeast by a curve of 50.00 feet and a arc length of 12.00 feet northwesterly to the center of Lot 2 distant 18.00 feet

JUN 14 2024
 I hereby certify me or under m Land Surveyor

08/01/2023
 ERIC R. VICKAR

PLANNING DEPARTMENT

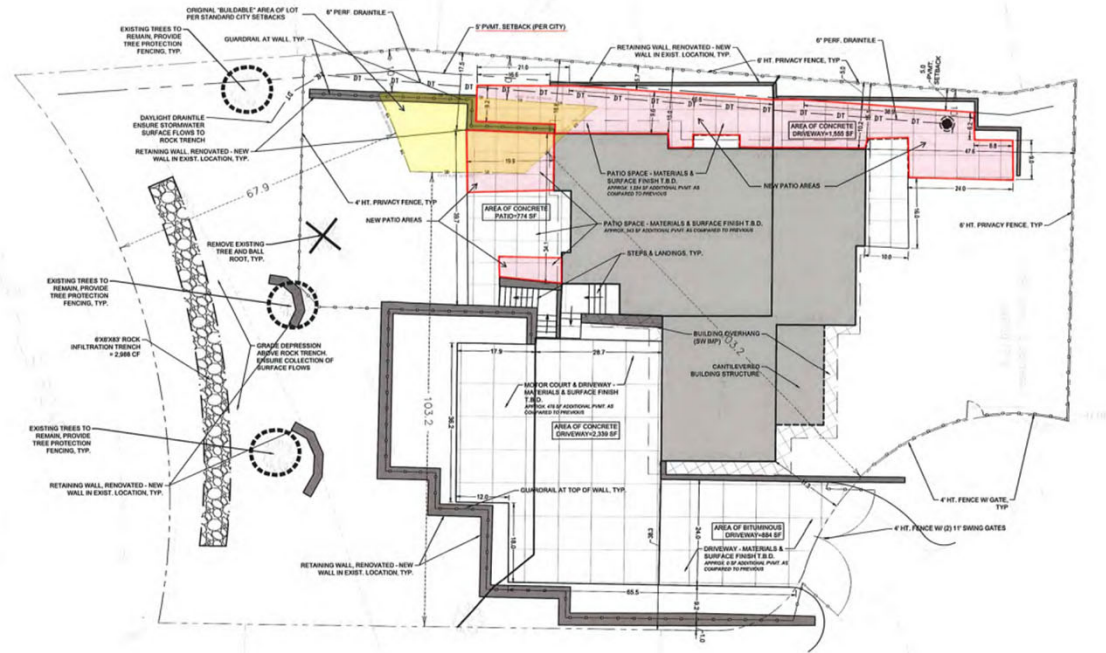


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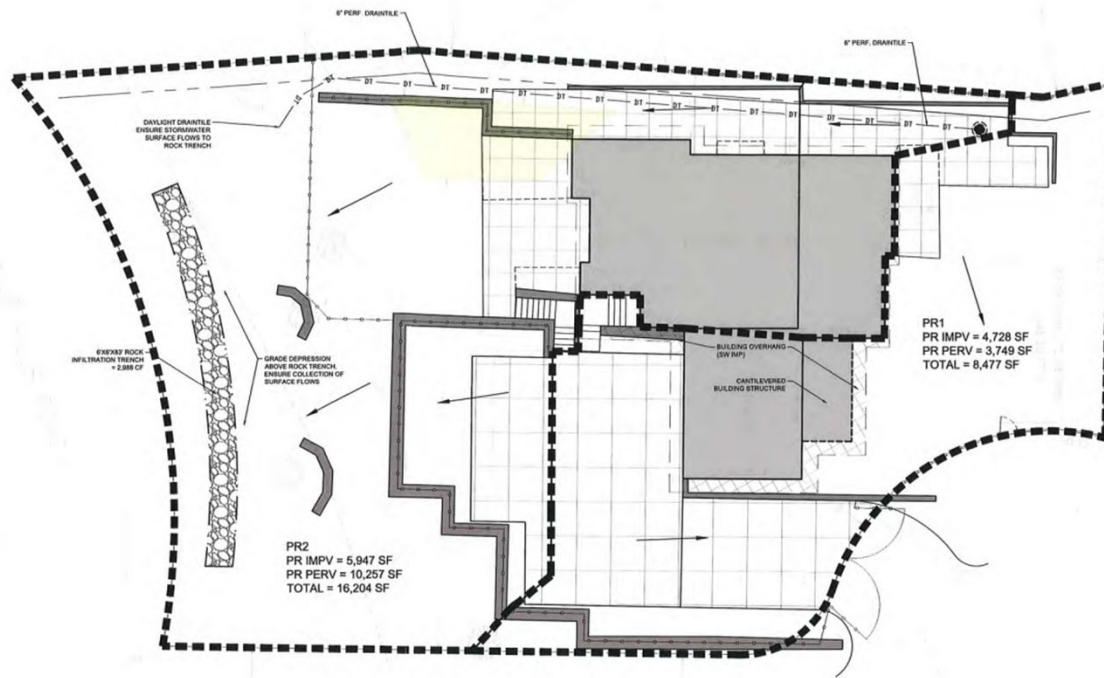
ENGINEERING
 1515 Hennepin Avenue, Suite 100
 Minneapolis, MN 55403
 Tel: 612.421.2200
 Fax: 612.421.2201
 www.edinamn.gov

JOB #20436

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The CITY of
EDINA



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EDINA



PLANT	QTY	PLANT NAME	PLANT CODE	PLANT SIZE	PLANT TYPE
1	1	Grass Snake Tree	(1)	6\"/>	

PLANT SCHEDULE	PLANT	QTY	PLANT NAME	PLANT CODE	PLANT SIZE	PLANT TYPE
1	1	Grass Snake Tree	(1)	6\"/>		



EMERALD GREEN ARBORVITAE



SCOTCH PINE POM POM



GRACE SMOKEBUSH

CITY OF EDINA
 JUN 14 2024
 PLANNING DEPARTMENT



DWARF JOE PYE WEED



MAGNUS PURPLE CONEFLOWER



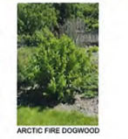
LITTLE TITCH CATMINT



REGENT SERVICEBERRY



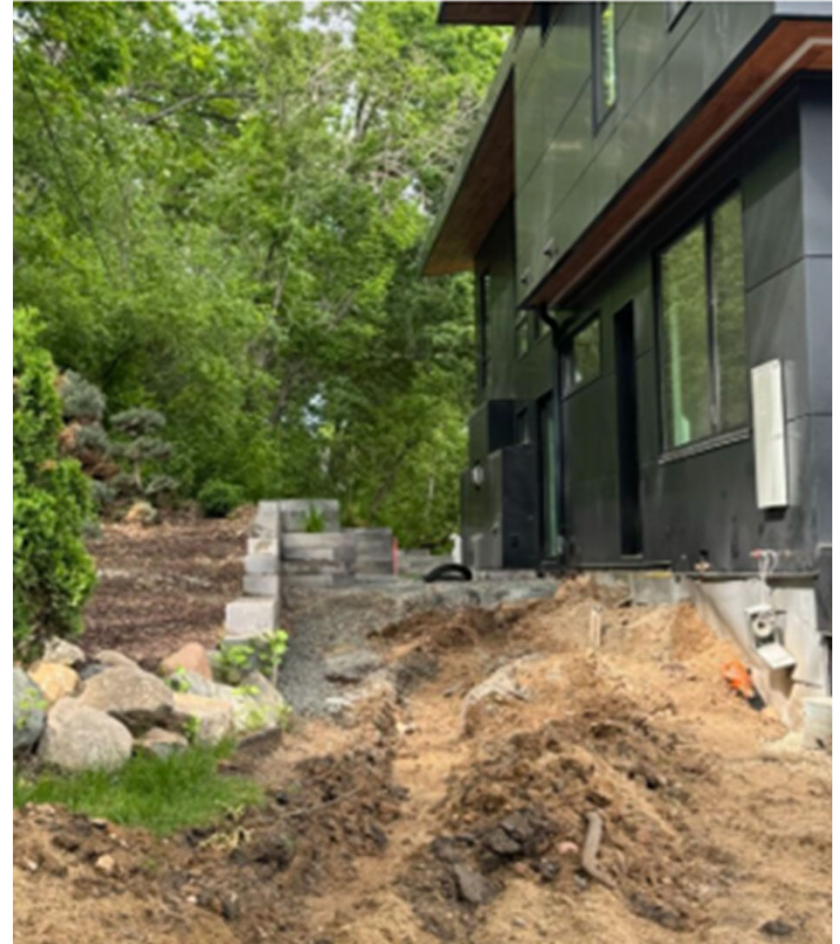
MUSKINGHAM DOGWOOD



ARCTIC FIRE DOGWOOD



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