Agenda
Planning Commission
City Of Edina, Minnesota
City Hall, Council Chambers

Wednesday, November 16, 2022
7:00 PM

Watch the meeting on cable TV or at EdinaMN.gov/LiveMeetings or Facebook.com/EdinaMN.

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Call 786-496-5601
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Press *1 on your telephone keypad when you would like to get in the queue to speak
An operator will introduce you when it is your turn

I. Call To Order

II. Roll Call

III. Approval Of Meeting Agenda

IV. Approval Of Meeting Minutes

A. Draft Minutes of Regular Meeting October 25, 2022

V. Community Comment

During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.

VI. Public Hearings

A. B-22-19 and B-22-20: 3517 & 3601 55th Street West-Lot Width Variances

B. B-22-21: A 9.55 foot front yard setback and a 9.6 foot 1st floor height variance request for 4905 Sunnyslope Rd

VII. Chair And Member Comments

VIII. Staff Comments

IX. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.

CITY OF EDINA

4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: November 16, 2022

Agenda Item #: IV.A.

To: Planning Commission

Item Type: Minutes

From: Liz Olson, Administrative Support Specialist

Item Activity: Action

Subject: Draft Minutes of Regular Meeting October 25, 2022

ACTION REQUESTED:
Approve the draft minutes from October 25, 2022.

INTRODUCTION:

ATTACHMENTS:

Draft Minutes from October 25, 2022

Draft Minutes☒
Approved Minutes☐
Approved Date: ___, 2022

Minutes
City Of Edina, Minnesota
Planning Commission
Edina City Hall Council Chambers
October 25, 2022

I. Call To Order

Chair Agnew called the meeting to order at 7:02 PM.

II. Roll Call

Answering the roll call were: Commissioners Miranda, Strauss, Alkire, Bennett, Padilla, and Chair Agnew. Staff Present: Cary Teague, Community Development Director, and Liz Olson, Administrative Support Specialist.

Absent from the roll call: Commissioner Gandhi, Hu, Olson and Smith.

III. Approval Of Meeting Agenda

Commissioner Padilla moved to approve the October 25, 2022, agenda. Commissioner Miranda seconded the motion. Motion carried unanimously.

IV. Approval Of Meeting Minutes

A. Minutes: Planning Commission, September 28, 2022 and October 12, 2022

Commissioner Miranda moved to approve the September 28, 2022 and October 12, 2022, meeting minutes. Commissioner Strauss seconded the motion. Motion carried unanimously.

V. Community Comment

None.

Commissioner Bennett joined the meeting at 7:16 PM.

VI. Public Hearings

A. Site Plan Review and Ordinance Amendment – 4901 West 77th Street

Director Teague presented the request of 4901 West 77th Street for a Site Plan review and Ordinance Amendment. Staff recommended approval of the Site Plan review and Ordinance Amendment, as requested subject to the findings and conditions listed in the staff report.

Staff answered Commission questions.

Appearing for the Applicant

Mr. Jay Scott, Salmon Real Estate Group, Mr. Scott Laugen, First Bank and Trust, and Kyle Peterson, HTG Architects, made a presentation to the Commission and answered questions.

Public Hearing

None.

Commissioner Miranda moved to close the public hearing. Commissioner Padilla seconded the motion. Motion carried unanimously.

The Commission discussed the proposed site plan and provided the following feedback:

- Loved the enclosed drive through
- Liked the design of the building and is very striking
- Great incorporation of landscaping

Motion

Commissioner Alkire moved that the Planning Commission recommend approval to the City Council of the site plan and ordinance amendments as outlined in the staff memo subject to the conditions and findings therein. Commissioner Strauss seconded the motion. Motion carried 5 ayes, 1 nay (Miranda).

B. Subdivision with Lot Area, Width and Depth Variances – 6146 McCauley Circle

Director Teague presented the request of 6146 McCauley Circle for a subdivision with lot area, width and depth variances. Staff recommends approval of the subdivision with lot area, width and depth variances, as requested subject to the findings and conditions listed in the staff report.

Staff answered Commission questions.

Appearing for the Applicant

Mr. Dipendra Mahaseth, 6416 McCauley Circle owner, and Brianna Olsen, Realtor, addressed the Commission and answered questions.

Public Hearing

Mr. Michael Smith, 6445 McCauley Terrace, addressed the Commission and indicated his opposition to the proposed variances.

Mr. Kevin Crudden, 6720 Indian Hills Road, addressed the Commission and indicated he was not in favor of these variances.

Mr. Brett Parmenter, 6443 McCauley Terrace, addressed the Commission and explained his opposition to the proposed variances.

Mr. Michael Ramme, 6401 McCauley Circle, addressed the Commission and stated he was against this proposed variance.

Commissioner Miranda moved to close the public hearing. Commissioner Bennett seconded the motion. Motion carried unanimously.

The Commission discussed the proposed subdivision with variances and provided the following feedback:

- Interesting lot with two potential entrances on two different cul-de-sac's
- History in the area of rezoning.
- A subdivision needs to maintain the character of the neighborhood, this does not do that.
- This neighborhood is known for larger lots and should not be subdivided.
- Support creating additional opportunities for families to live in Edina.
- There are near adjacent lots of similar or smaller size with some much larger.
- Concerned about incremental environmental damage to the lake by having two buildings rather than one building.
- Recommend requiring the conservation steps staff mentioned.
- Variety of lot sizes and shapes in the area.
- The character of the neighborhood is changing

Motion

Commissioner Alkire moved that the Planning Commission recommend approval to the City Council of the subdivision with variances as outlined in the staff memo subject to the conditions and findings therein and a conservation easement be established from the top of the steep slope to the lakeshore preventing tree removal, disturbance of the slopes, no manicured lawns, and no structures in the easement. To be in place prior to the City Council approving the final plat. Commissioner Padilla seconded the motion. Motion carried 5 ayes, 1 nay (Bennett).

IX. Chair and Member Comments

Received.

X. Staff Comments

Received

XI. Adjournment

Commissioner Miranda moved to adjourn the October 25, 2022, Meeting of the Edina Planning Commission at 8:28 PM. Commissioner Strauss seconded the motion. Motion carried unanimously.

CITY OF EDINA

4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: November 16, 2022

Agenda Item #: VI.A.

To: Planning Commission

Item Type: Report and Recommendation

From: Kris Aaker, Assistant City Planner & Emily Bodeker, Assistant City Planner

Item Activity: Action

Subject: B-22-19 and B-22-20: 3517 & 3601 55th Street West- Lot Width Variances

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ACTION REQUESTED:
Two separate motions, one for each property.

Approve the lot width variance as requested at 3517 55th Street West based on the findings and conditions listed in the staff report.

Approved the lot width variance as requested at 3601 55th Street West based on the findings and conditions listed in the staff report.

INTRODUCTION:
Sustainable 9 Design Build is requesting two, 15-foot lot width variances for a pair of vacant 60-foot-wide lots located south of west 55th Street and backing up to Minnehaha Creek at 3601 and 3517 West 55th Street. A previous homeowner separated the lots and obtained individual addresses and PID numbers for Lot 1 – 3601 W 55th Street, (15,260 sq ft in area) and Lot 4 – 3517 W 55th Street, (14,812 sq ft in area). The lots are owned individually/separate owners. The previous home has been removed from the site with both lots vacant and poised for new home construction. Conforming home plans for each lot are proposed and are permit ready. The two lots conform to the minimum R-1 lot size requirements with the exception of width.

ATTACHMENTS:

Staff Report: 3517 & 3601 55th Street West

Applicant Submittal-3517 55th Street West

Engineering Memo-3517 55th Street West

Applicant Submittal-3601 55th Street West

Engineering Memo- 3601 55th Street West

Additional Information from Applicants

Site Location Map

Better Together Public Hearing Comment Report

Staff Presentation

STAFF REPORT

Date: November 16, 2022

To: Planning Commission

From: Emily Bodeker/Kris Aaker, Assistant City Planners

Subject: 15-foot Lot Width Variances – 3601 and 3517 West 55th Street

Information / Background:

Sustainable 9 Design Build is requesting two, 15-foot lot width variances for a pair of vacant 60-foot-wide lots located south of west 55th Street and backing up to Minnehaha Creek at 3601 and 3517 West 55th Street. A previous homeowner separated the lots and obtained individual addresses and PID numbers for Lot 1 – 3601 W 55th Street, (15,260 sq ft in area) and Lot 4 – 3517 W 55th Street, (14,812 sq ft in area). The lots are owned individually/separate owners. The previous home has been removed from the site with both lots vacant and poised for new home construction. Conforming home plans for each lot are proposed and are permit ready. The two lots conform to the minimum R-1 lot size requirements with the exception of width. The following are the minimum ordinance requirements for lot size in the R-1, Single Dwelling Unit zoning district:

Sec. 36-437. - Requirements for lot areas and dimensions.

Minimum lot width: **75 feet**
Minimum lot depth: 120 feet
Minimum lot area: 9,000 square feet

To accommodate the requests, the following are required:

A 15-foot Lot Width Variance for: Lot 1 – 3601 W 55th Street

A 15-foot Lot Width Variance for: Lot 4 – 3517 W 55th Street.

Surrounding Land Uses

Surrounding lots contain single-family residential homes and are Zoned R-1, single dwelling unit district.

Planning

Guide Plan designation: Single-dwelling residential
Zoning: R-1, Single-dwelling district

Lot Dimensions

	Area	Lot Width	Depth	Street Frontage
REQUIRED	9,000 s.f.	75 feet	120 feet	30 feet
Lot 1 – 3601 55th	15,260 s.f.	***60 feet****	254 feet	60 feet
Lot 4 – 3517 55th	14,812 s.f.	***60 feet****	234 feet	60 feet

Variance Required

Tree Removal

The city recently amended its tree ordinance to require that removed trees be replaced. The ordinance does not take effect until January 1, 2023. However, because there are variances being requested, and to minimize impacts to the neighborhood, staff would recommend a condition of approval be that the new ordinance must be met, with trees being replaced on the site per recommendation of the City Forester.

Engineering

The Engineering Department has reviewed the subject properties located at 3601 and 3517 W 55th Street for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections. Plans reviewed included a stormwater management plan and report, existing and proposed surveys.

Stormwater was reviewed and is consistent with City of Edina Building Policy SP-003 standards. A final grade as-built survey and inspection will be required to verify compliance with the approved stormwater plan for both properties.

The FEMA 1% annual chance floodplain is located in the rear yard of both lots, with a lowest floor elevation required at no less than 2 feet above the base flood elevation. Both properties comply with low floor requirements.

Proposed Site Features

Sustainable 9 Design Build has sold Lot-4, at 3517 West 55th Street to Andrew and Brandy Morris who intend to have Sustainable 9 build a new single-family home on their lot. Building plans are attached for the address, are permit ready and conform to all zoning ordinance requirements as indicated on the following compliance table:

Compliance Table-3517 West 55th Street

	City Standard	Proposed
North Side – Front Yard	37.6 feet	\ 40 feet
West Side – Side Yard	12 feet total, with no less than 5 feet on one side	6 feet
South Side – Rear Yard	50 feet from OHWM	Greater than 50 feet
East Side – Side Yard	12 feet total, with no less than 5 feet on one side	6.2 feet
Building Height	30 feet	29.42 feet
Building Coverage	25%	23.18%
Impervious Surface Coverage	50%	40.98%

First Floor Elevation	876.4	872.56

The remaining Lot-1, at 3601 West 55th Street is still owned by Sustainable 9 Design Build and a new single family spec home has been designed to be built on the lot conforming to all zoning ordinance requirements as indicated on the following compliance table:

Compliance Table-3601 West 55th Street

	City Standard	Proposed
North Side – Front Yard	37.6 feet	\ 42.6 feet
West Side – Side Yard	12 feet total, with no less than 5 feet on one side	6 feet
South Side – Rear Yard	50 feet from OHWM	Greater than 50 feet
East Side – Side Yard	12 feet total, with no less than 5 feet on one side	6.6 feet
Building Height	30 feet	26.5 feet
Building Coverage Lots greater than 9,000sf	25%	15.83%
Impervious Surface Coverage	50%	22.85%
First Floor Elevation	876.4	875.2

Primary Issues

- **Are the findings for lot width variances met?**

  Yes. Staff believes that the findings for lot width Variances are met.

  Per state law and the Zoning Ordinance, a variance should not be granted unless it is found that the enforcement of the ordinance would cause practical difficulties in complying with the zoning ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal meets the variance standards, when applying the three conditions:

a) Will the proposal relieve practical difficulties that prevent a reasonable use from complying with the ordinance requirements?

Yes. Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

The practical difficulty is caused by the current ordinance requiring a 75-foot lot width that was amended after the underlying plat was originally established with 60-foot lot widths. The two individual lots have separate ownership. Conforming homes have been designed for each property and can be built without requesting additional variances from the zoning ordinance. The minimum 75-foot lot width requirement is a practical difficulty preventing each lot owner reasonable use of their property.

b) There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?

The circumstances unique to this property, are the size and shape of the lots that were not created by the applicant. Both lots have individual PID numbers, separate addresses and are owned by different parties. Variances are only needed to resolve lot widths for both properties, which are an existing condition that was not self-created by the applicant or property owners.

c) Will the variance alter the essential character of the neighborhood?

No. The proposed improvements requested by the variances would not alter the essential character of the neighborhood. Two new compliant single-family homes will be constructed on the lots that have similar widths as other properties in the neighborhood.

Approval

Recommend the Planning Commission approve the proposed Lot Width Variances for each property. Approval is based on the following findings:

1. Lots within this area were consistently platted with 60-foot widths prior to the current requirement of 75 feet.

2. The lots exceed the lot depth and area requirements and are similar to other lots within this area, including width.

3. The practical difficulty is caused by the current ordinance lot width minimum. The 60-foot-wide lots were originally platted prior to the current 75-foot lot width minimum.

4. The 60-foot-wide lots are reasonable in context with neighboring property. Each lot is individually owned with an address and PID number for each lot with variances from the lot width allowing for new home construction which is a reasonable use of each lot .

5. House plans are proposed for each lot requiring no additional variances and will not alter the essential character of the neighborhood.

Staff Recommendation

Staff recommends individual approval of the following lot width variances subject to the findings and conditions listed above:

A 15-foot lot width variance for 3601 West 55th Street, (Lot-1), PID 2002824220118

A 15-foot lot width variance for 3517 West 55th Street, (Lot-4), PID 2002824220119

Approval shall be subject to the following conditions:

Subject to Surveys submitted for both properties date stamped October 14, 2022.

Compliance with the Engineering memos for each property date stamped October 28, 2022.

Compliance with the newly adopted tree ordinance, with all replacement trees planted on site.

Deadline for a City Decision: December 14, 2022

3517 W 55th St, Edina, MN 55410 – PID 2002824220119

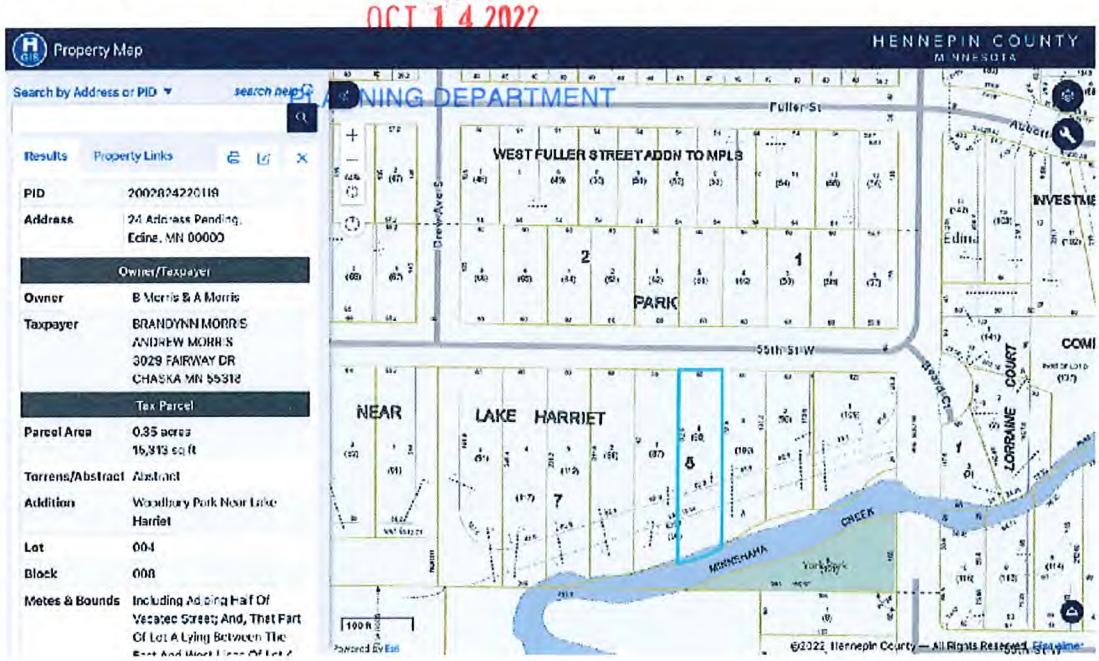
VARIANCE APPLICATION:

SUMMARY: A double wide lot of 120ft wide with one single family home was split into two new legal parcels each at 60ft wide by the previous homeowner and purchased as such by Sustainable 9 Design Build. Sustainable 9 Design Build has since sold one of the new lots (3517 W 55th St, Edina, MN 55410 with PID 2002824220119) to our clients who intend to build a new single family home, Andrew and Brandy Morris. The remaining lot (3601 W 55th St, Edina, MN 55410 with PID 2002824220118) is still owned by S9 and a new single family spec home has been designed. A demolition permit was already pulled and the old existing home has been removed.

ISSUE: The standard allowable width for new Edina lots is 75ft. Both of these new lots are only 60ft wide. Thus, we have been informed only recently that the lot split (which Sustainable 9 had been told was complete at the time of the original land purchase) will not be deemed official and complete until a variance is filed and approved.

PROPOSAL: We believe this variance should be approved primarily because it corrects an extraordinary circumstance and the result is more in keeping with the essential character of the neighborhood then what was there previously. All of the adjacent neighbors and vast majority of the surrounding neighborhood is set at 60ft or less for their lot width. At our neighborhood meeting for the demolition, the neighbor to the east of the two lots in question noted his support of this variance, Eric Michael at 3511 55th St W, Edina, MN 55410 with PID 2002824220108. We all believe this variance would create a cohesive street of nice homes on 60ft wide lots.

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT



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ARCHITECTURE

MORRIS RESIDENCE

for ANDREW & BRANDY MORRIS
3517 WEST 55TH ST
EDINA, MN 55410

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

VARIANCE SUBMITTAL

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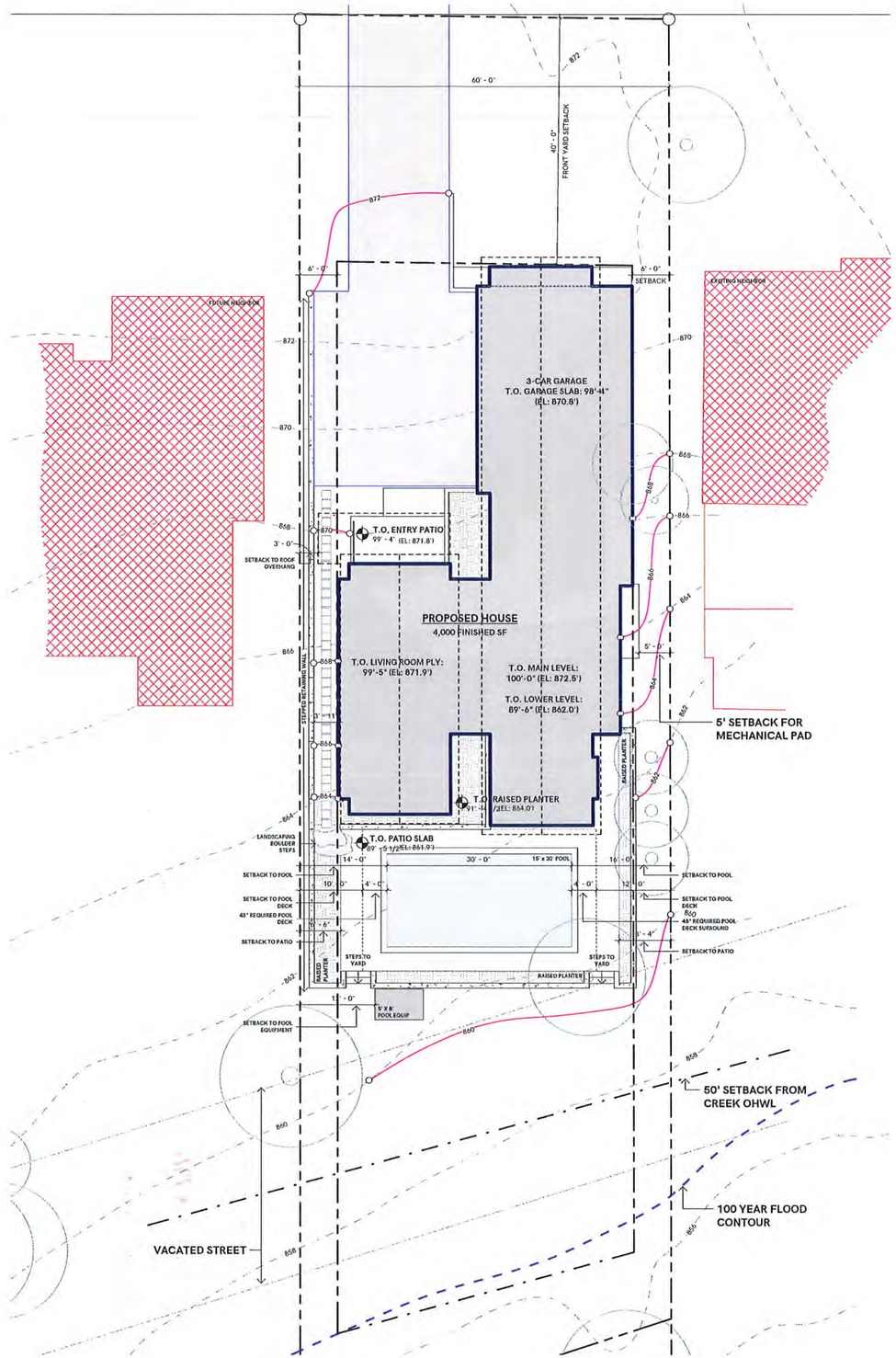
PROJECT NUMBER 2207

SHEET NAME
COVER SHEET

SHEET NUMBER
A001



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (EXISTING)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
- PROPOSED STRUCTURE ROOF OVERHANG
- PROPOSED ACCESSORY STRUCTURE
- GASLINE
- WATER/SANITARY
- PROPOSED DRIVEWAY
- ROAD
- TREELINE
- OBJECT REMOVAL
- TREE TRUNK PROTECTION
- PATIO COVERAGE
- LANDSCAPED AREA
- SILT FENCING
- EROSION CONTROL
- PRINCIPAL ENTRANCE

ZONING INFORMATION

TOTAL LOT AREA: 14,812 SF

BUILDING COVERAGE:

ALLOWABLE (25%):	3,703.50 SF
ACTUAL: (23.18%) :	3,434.00 SF

HARDCOVER:

ALLOWABLE (50%):	7,406.00 SF
ACTUAL (40.98%)	6,070.00 SF
- BUILDING FOOTPRINT:	2,583.00 SF
- ADDITIONAL HARDSCAPE:	3,487.00 SF

MAX BUILDING HEIGHT:

ALLOWABLE:	30.0'
ACTUAL:	29.5'
AVG. EXTG GRADE:	*870'*

LOWER LEVEL CALCULATION

TOTAL LINEAR FEET OF WALL:	**203 LF**

Measuring from Top of Lower Level Slab to Top of Main Level Ply

- 40' Linear Feet @ 11' 8 3/4" (11.73') =	469.2 SF
- 33' Linear Feet @ 9'-11" (9.92') =	327.4 SF
- 130' Linear Feet @ 10'-6" (10.5') =	1,365.0 SF
TOTAL SURFACE AREA OF WALL:	**2,162.0 SF**
SURFACE AREA BELOW GRADE:	**1,210.2 SF (56%)**
SURFACE AREA ABOVE GRADE:	**951.8 SF (44%)**

NORTH

10 5 0 10 20 30

NOTE: ARCHITECTURAL SITE PLAN IS SCHEMATIC ONLY. REVIEW RESIDENCE LOCATION, SITE SETBACKS, GRADING, AND APPLICABLE LOCAL CODES WITH A LICENSED CIVIL ENGINEER.

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
ARCHITECTURAL SITE PLAN

SHEET NUMBER
A003

DIMENSION NOTE:
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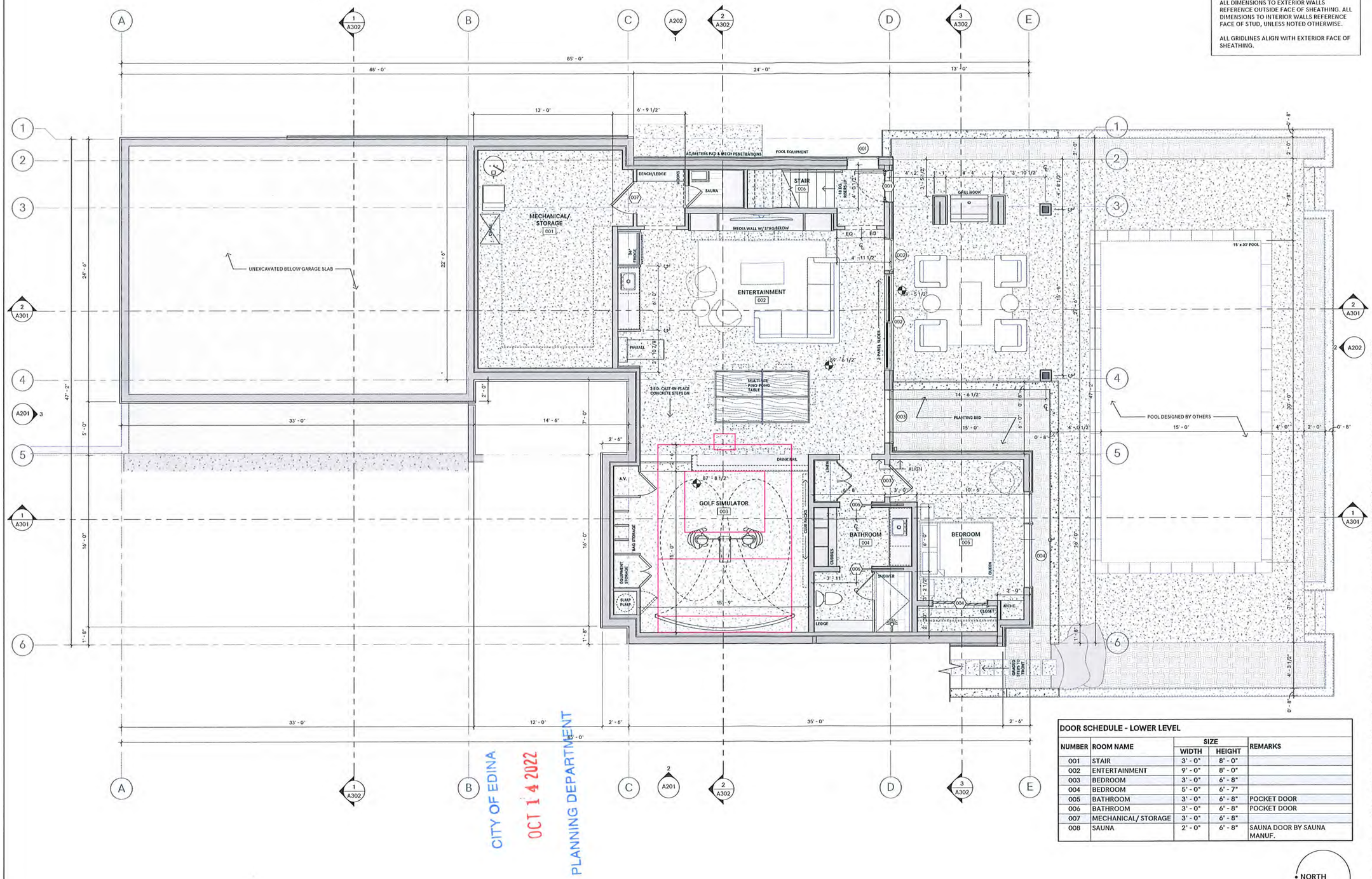

DOOR SCHEDULE - LOWER LEVEL				
NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
001	STAIR	3' - 0"	8' - 0"	
002	ENTERTAINMENT	9' - 0"	8' - 0"	
003	BEDROOM	3' - 0"	6' - 8"	
004	BEDROOM	5' - 0"	6' - 7"	
005	BATHROOM	3' - 0"	6' - 8"	POCKET DOOR
006	BATHROOM	3' - 0"	6' - 8"	POCKET DOOR
007	MECHANICAL/ STORAGE	3' - 0"	6' - 8"	
008	SAUNA	2' - 0"	6' - 8"	SAUNA DOOR BY SAUNA MANUF.

NORTH

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

1 02_T.O. LOWER LEVEL SLAB
1/4" = 1'-0"

SPACE RESERVED FOR AHJ STAMP

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
LOWER LEVEL FLOOR PLAN

SHEET NUMBER
A101

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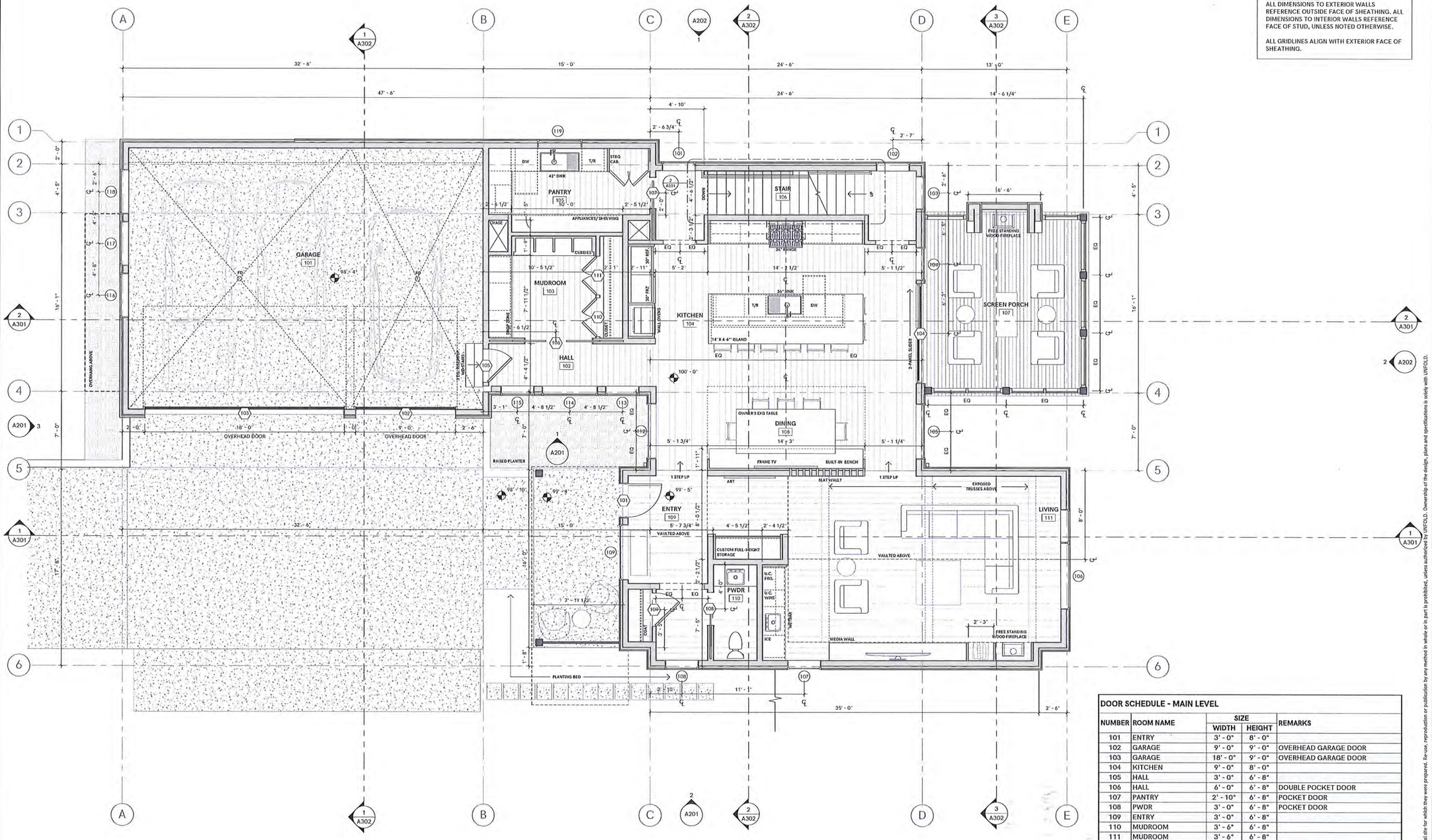

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DOOR SCHEDULE - MAIN LEVEL

NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
101	ENTRY	3' - 0"	8' - 0"	
102	GARAGE	9' - 0"	9' - 0"	OVERHEAD GARAGE DOOR
103	GARAGE	18' - 0"	9' - 0"	OVERHEAD GARAGE DOOR
104	KITCHEN	9' - 0"	8' - 0"	
105	HALL	3' - 0"	6' - 8"	
106	HALL	6' - 0"	6' - 8"	DOUBLE POCKET DOOR
107	PANTRY	2' - 10"	6' - 8"	POCKET DOOR
108	PWDR	3' - 0"	6' - 8"	POCKET DOOR
109	ENTRY	3' - 0"	6' - 8"	
110	MUDROOM	3' - 6"	6' - 8"	
111	MUDROOM	3' - 6"	6' - 8"	

NORTH

1 03_T.O. MAIN LEVEL PLY.
1/4" = 1'-0"

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
MAIN LEVEL FLOOR PLAN

SHEET NUMBER
A102

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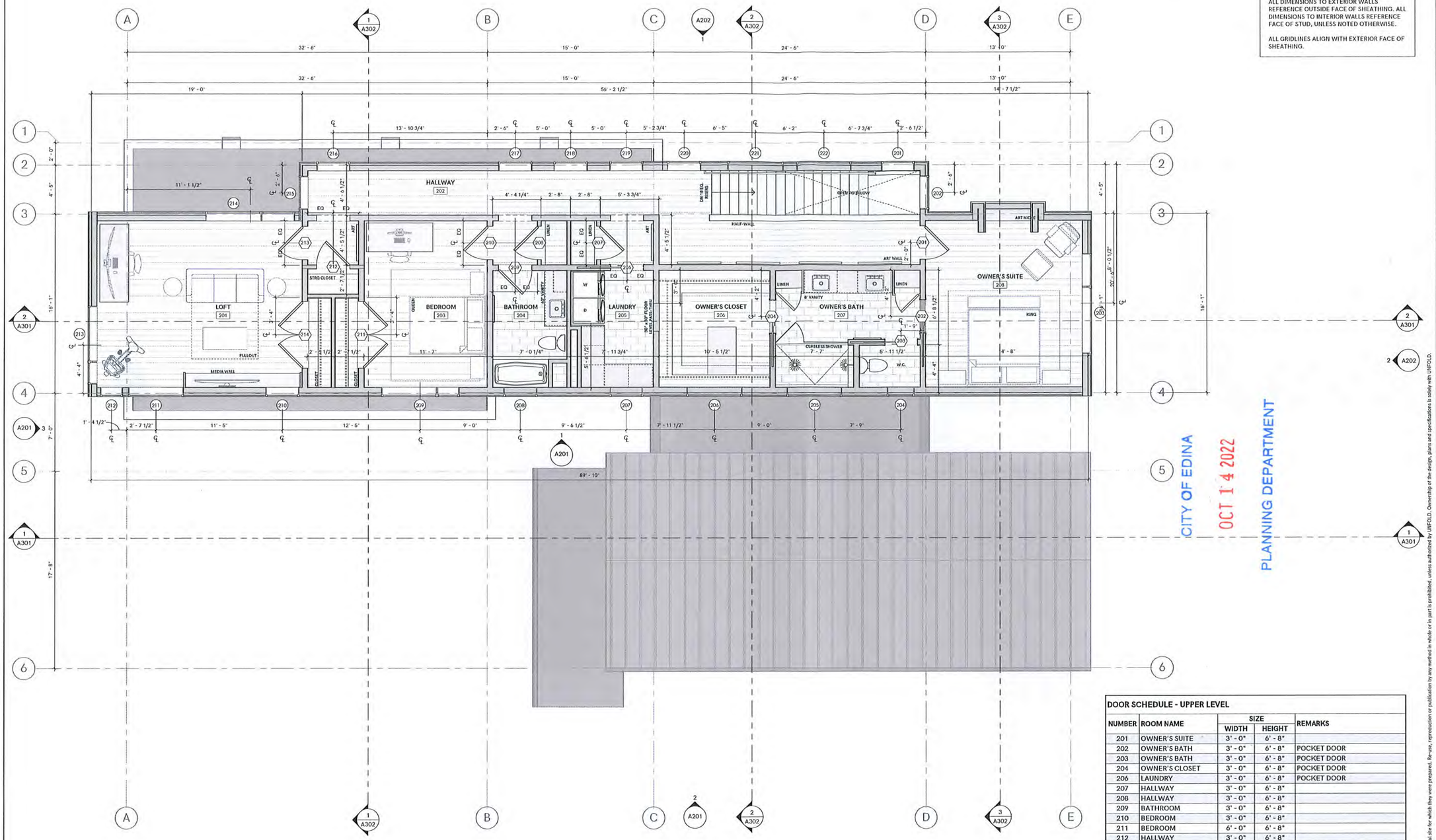


DIMENSION NOTE:
ALL DIMENSIONS TO EXTERIOR WALLS REFERENCE OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INTERIOR WALLS REFERENCE FACE OF STUD, UNLESS NOTED OTHERWISE.

ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.

DOOR SCHEDULE - UPPER LEVEL

NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
201	OWNER'S SUITE	3' - 0"	6' - 8"	
202	OWNER'S BATH	3' - 0"	6' - 8"	POCKET DOOR
203	OWNER'S BATH	3' - 0"	6' - 8"	POCKET DOOR
204	OWNER'S CLOSET	3' - 0"	6' - 8"	POCKET DOOR
206	LAUNDRY	3' - 0"	6' - 8"	POCKET DOOR
207	HALLWAY	3' - 0"	6' - 8"	
208	HALLWAY	3' - 0"	6' - 8"	
209	BATHROOM	3' - 0"	6' - 8"	
210	BEDROOM	3' - 0"	6' - 8"	
211	BEDROOM	6' - 0"	6' - 8"	
212	HALLWAY	3' - 0"	6' - 8"	
213	LOFT	3' - 0"	6' - 8"	
214	LOFT	6' - 0"	6' - 8"	

NORTH

1 04_T.O. UPPER LEVEL PLY.
1/4" = 1'-0"

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE
763.486.7779
www.unfoldarchitecture.com

CONSULTING

CONTRACTOR:
SUSTAINABLE 9 DESIGN + BUILD
3511 W 44TH STREET
MINNEAPOLIS, MN 55410
WWW.SUSTAINBLE9.COM

STRUCTURAL ENGINEER:
THE HANSON GROUP
3407 WILMER LAYE NORTH
PLYMOUTH, MN 55446
WWW.HANSONGROUPMN.COM

CIVIL ENGINEER & SURVEYOR:
DEMARC LAND SURVEYING & ENG
7601 73RD AVE N.
MINNEAPOLIS, MN 55428
WWW.DEMARCINC.COM

MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

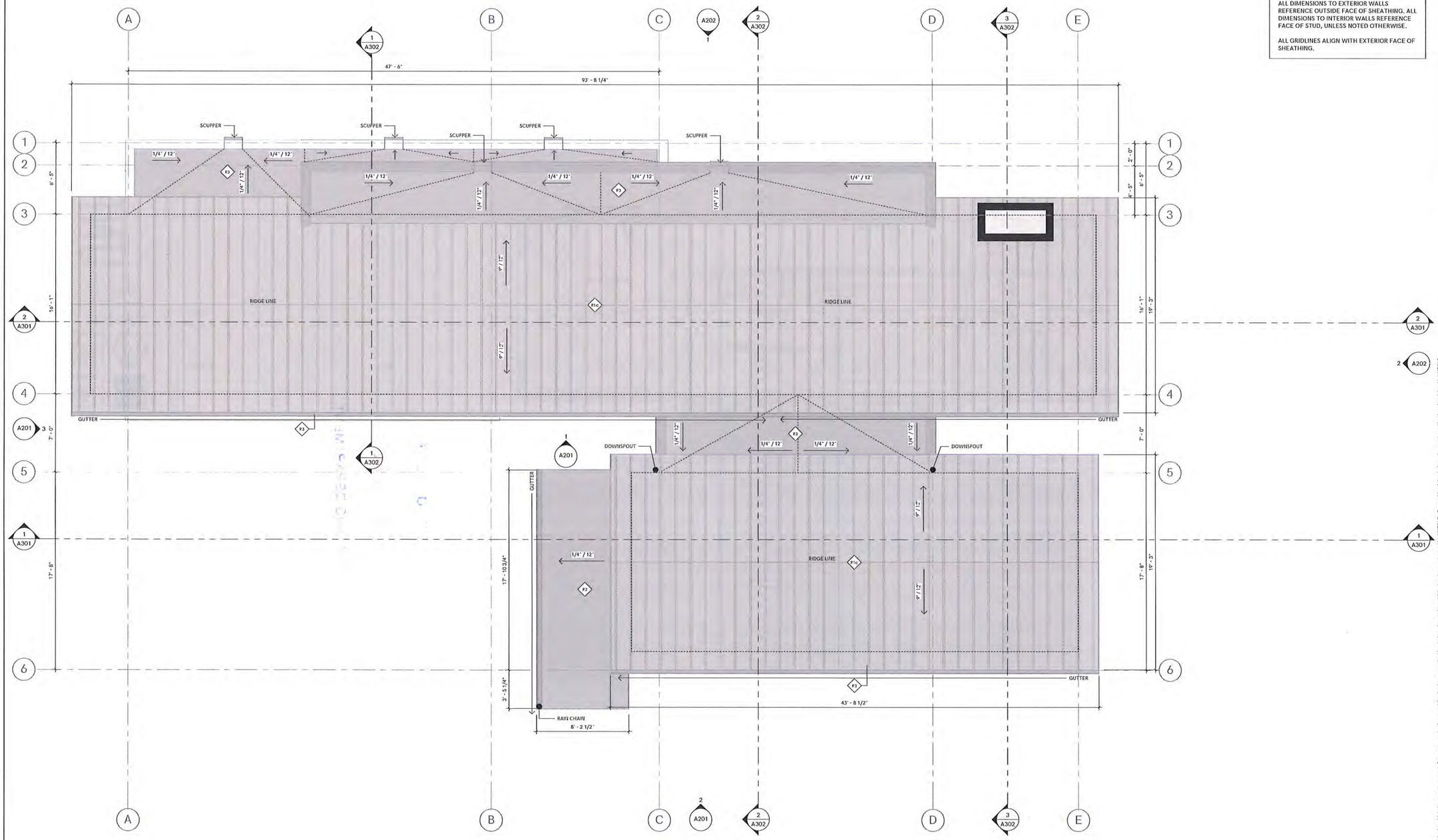
SHEET NAME
UPPER LEVEL FLOOR PLAN

SHEET NUMBER
A103

The use of these plans and specifications is restricted to the original site for which they were prepared. Re-use, reproduction or publication by any method in whole or in part is prohibited, unless authorized by UNFOLD. Ownership of the design, plans and specifications is solely with UNFOLD.

DIMENSION NOTE:
ALL DIMENSIONS TO EXTERIOR WALLS REFERENCE OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INTERIOR WALLS REFERENCE FACE OF STUD, UNLESS NOTED OTHERWISE.

ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.



1 ROOF PLAN
1/4" = 1'-0"

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WWW.DEMARCINC.COM

MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207
SHEET NAME
ROOF LEVEL PLAN

SHEET NUMBER
A104

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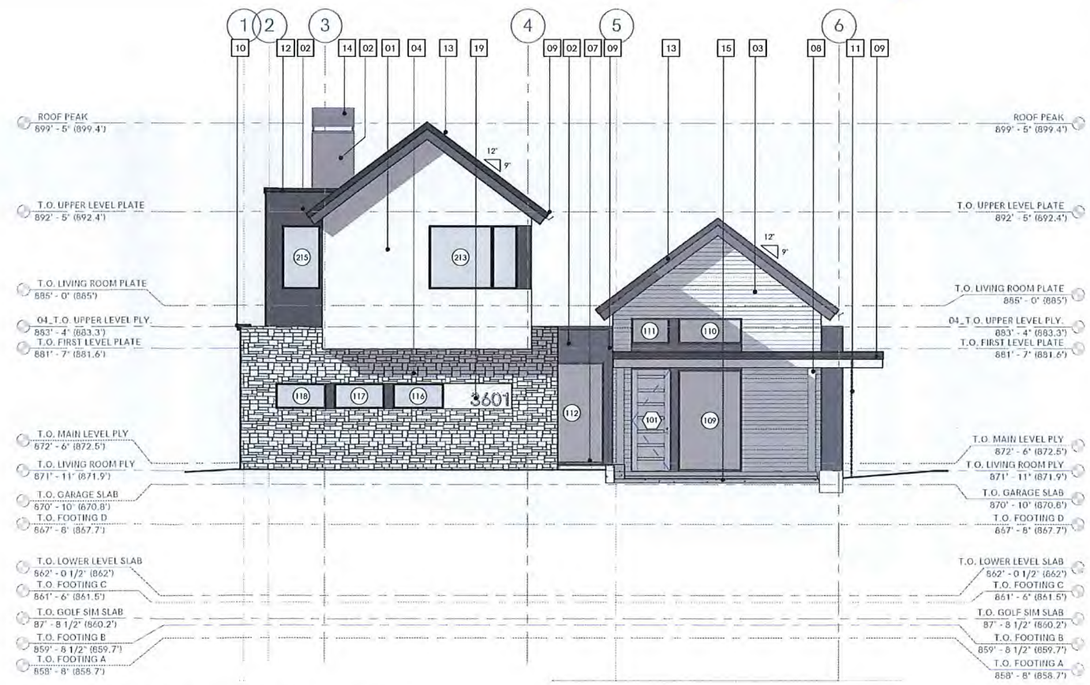
2 EXTERIOR ELEVATION - WEST
3/16" = 1'-0"

1 EXTERIOR ELEVATION - WEST PARTIAL
3/16" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"

MATERIAL KEYNOTE LEGEND

KEY VALUE	MATERIAL DESCRIPTION
01	LIGHT STUCCO
02	HARDIE PANELING (DARK FINISH)
03	WOOD LOOK SIDING
04	STONE VENEER (LIGHT FINISH)
05	STANDING SEAM METAL ROOFING (DARK FINISH)
06	SCREEN PORCH
07	CONCRETE RETAINING WALL
08	TIMBER POST & BEAM CONSTRUCTION
09	DARK PREFINISHED METAL DOWNSPOUT/GUTTER
10	DARK PREFINISHED MINIMAL METAL SCUPPER. TYPICAL
11	RAIN CHAIN
12	PREFINISHED METAL COPING (DARK FINISH)
13	2x6 HARDIE FASCIA BOARD (DARK FINISH)
14	POWDER COATED CHIMNEY SHROUD (DARK FINISH)
15	CAST-IN-PLACE CONCRETE PORCH
16	WOOD SLAT SCREEN WALL
17	PREFINISHED METAL OVERHEAD GARAGE DOORS (DARK FINISH)
18	STEPPED CONCRETE PAVERS
19	ADDRESS SIGNAGE ON WOOD PANELING

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

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CONSULTING

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SUSTAINABLE 9 DESIGN + BUILD
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MINNEAPOLIS, MN 55410
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STRUCTURAL ENGINEER:
THE HANSON GROUP
3407 KIMER LANE NORTH
PLYMOUTH, MN 55446
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CIVIL ENGINEER & SURVEYOR:
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7601 73RD AVE N.
MINNEAPOLIS, MN 55428
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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

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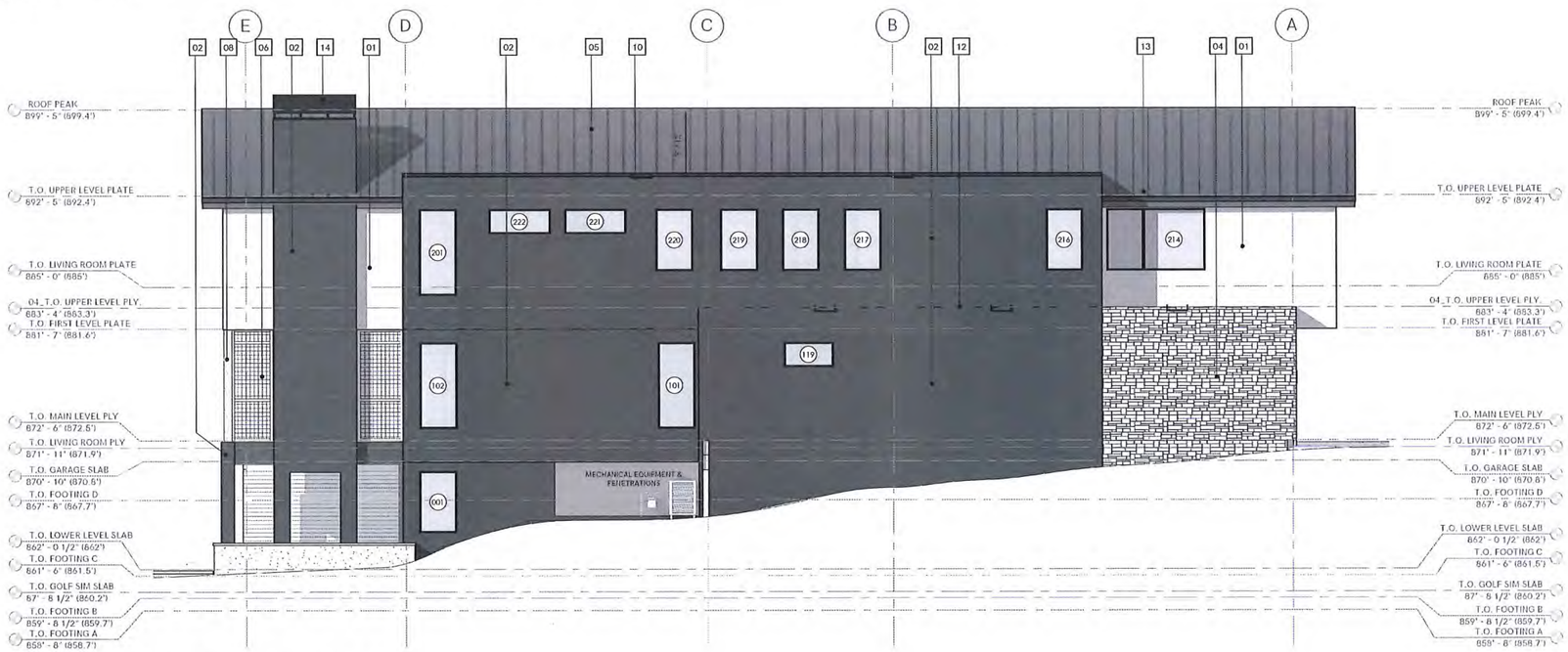
2 EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"



1 EXTERIOR ELEVATION - EAST
3/16" = 1'-0"

MATERIAL KEYNOTE LEGEND

KEY VALUE	MATERIAL DESCRIPTION
01	LIGHT STUCCO
02	HARDIE PANELING (DARK FINISH)
03	WOOD LOOK SIDING
04	STONE VENEER (LIGHT FINISH)
05	STANDING SEAM METAL ROOFING (DARK FINISH)
06	SCREEN PORCH
07	CONCRETE RETAINING WALL
08	TIMBER POST & BEAM CONSTRUCTION
09	DARK PREFINISHED METAL DOWNSPOUT/GUTTER
10	DARK PREFINISHED MINIMAL METAL SCUPPER. TYPICAL
11	RAIN CHAIN
12	PREFINISHED METAL COPING (DARK FINISH)
13	2x6 HARDIE FASCIA BOARD (DARK FINISH)
14	POWDER COATED CHIMNEY SHROUD (DARK FINISH)
15	CAST-IN-PLACE CONCRETE PORCH
16	WOOD SLAT SCREEN WALL
17	PREFINISHED METAL OVERHEAD GARAGE DOORS (DARK FINISH)
18	STEPPED CONCRETE PAVERS
19	ADDRESS SIGNAGE ON WOOD PANELING

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

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7601 73RD AVE N.
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WWW.DEMARCINC.COM

MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A202

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3517 WEST 55TH STREET

3601 WEST 55TH STREET

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

763.486.7779
www.unfoldarchitecture.com

CONSULTING

CONTRACTOR:
SUSTAINABLE 9 DESIGN + BUILD
3511 W 44TH STREET
MINNEAPOLIS, MN 55410
WWW.SUSTAINBLE9.COM

STRUCTURAL ENGINEER:
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3407 KILMER LANE NORTH
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CIVIL ENGINEER & SURVEYOR:
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7601 73RD AVE N.
MINNEAPOLIS, MN 55428
WWW.DEMARCINC.COM

MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
RENDERING

SHEET NUMBER
A203

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Surveyors Certificate

Existing Conditions Survey For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

3517 W 55th St

Basis for bearings is assumed

● Denotes Found Iron Monument

○ Denotes Iron Monument

Denotes Existing Contours

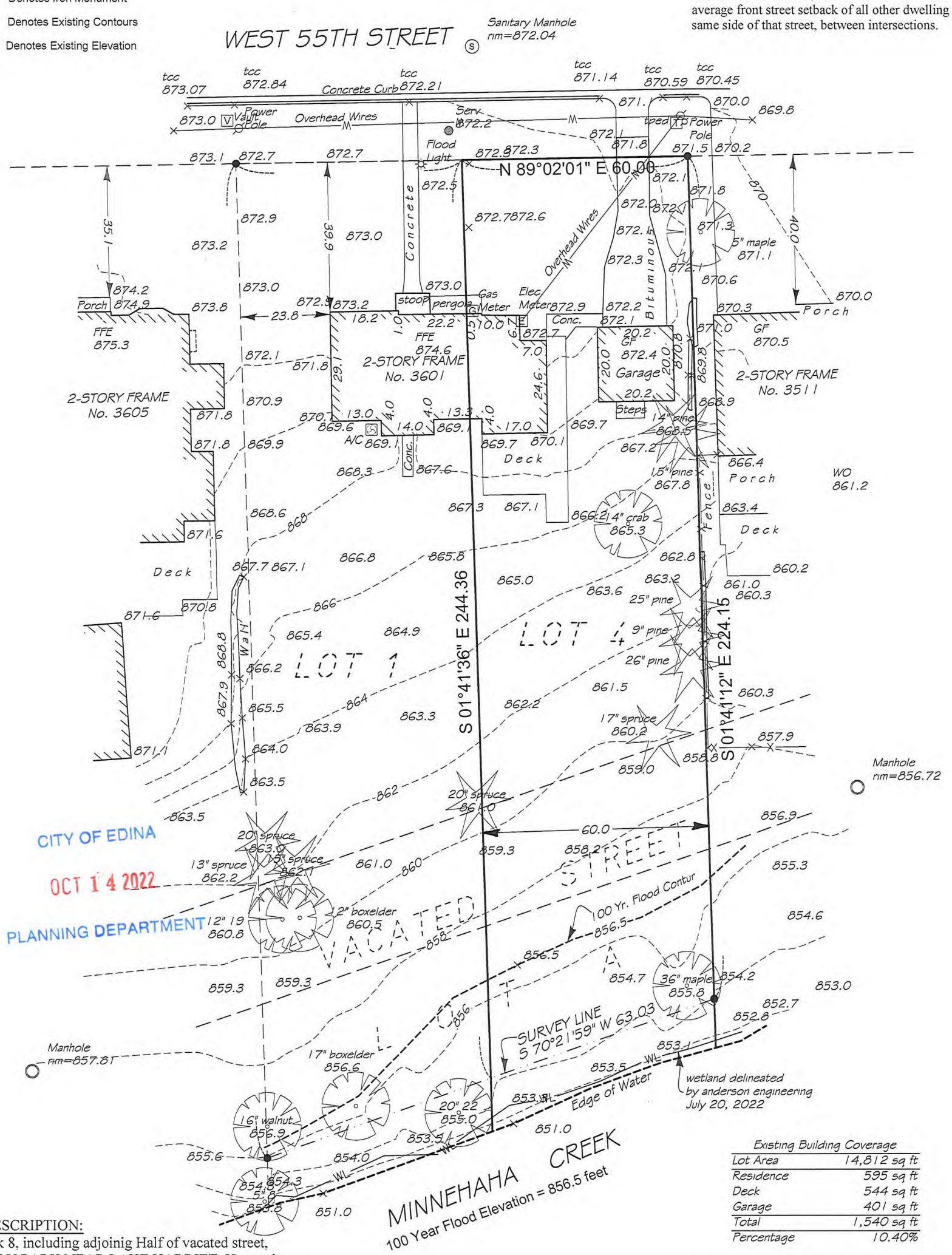
x000.0 Denotes Existing Elevation

Benchmark
Hydrant
TNH=875.84

Property Zoned R-1, Residential

Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.



Existing Building Coverage	
Lot Area	14,812 sq ft
Residence	595 sq ft
Deck	544 sq ft
Garage	401 sq ft
Total	1,540 sq ft
Percentage	10.40%

The only easements shown are from plats of record or information provided by client.

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Project No. 90033	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: Address Pending, Edina, MN	
PID No.: 20-028-24-22-0119	
rev 08.8.22 wetland delineation	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
Surveyed this 6th day of July 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarclnc.com

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

F:\survey\woodbury park near lake harriet - hennepin\1-7 woodbury park near lake harriet\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg

Surveyors Certificate

Proposed Site Plan Survey For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

- ● Denotes Found Iron Monument
- ○ Denotes Iron Monument
- ⊡ Denotes Wood Hub Set for excavation only
- Denotes Existing Contours
- Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- (000.0) Denotes Proposed Elevation
- Denotes Surface Drainage

Property Zoned R-1, Residential

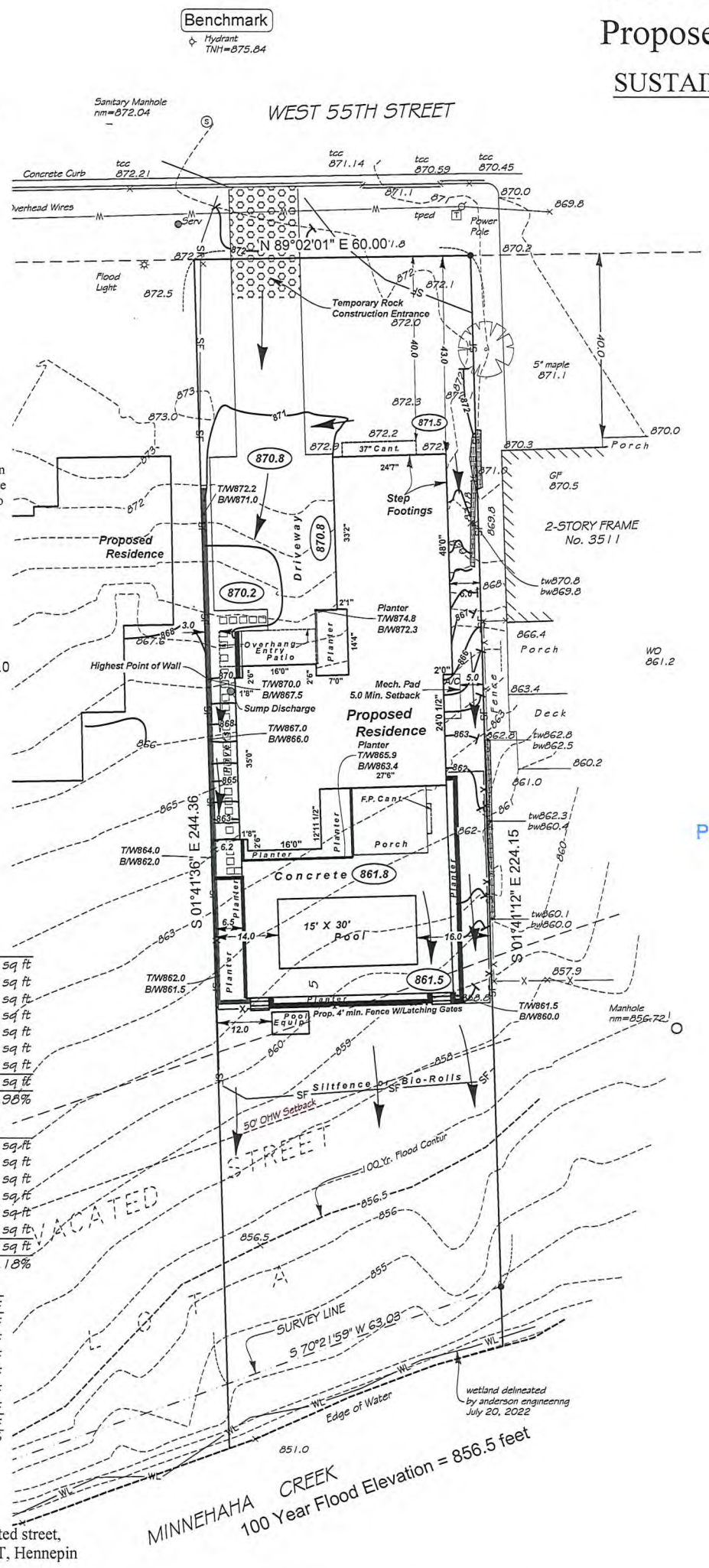
Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.

1,210.2 sf of basement below grade = 56%
951.8 sf of basement above grade = 44%

Average Existing Grade at Front of Existing House = 870.0

Basis for bearings is assumed



Proposed Hardcover	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Pavers	48 sq ft
Pool/Patio	1,412 sq ft
Driveway	1,664 sq ft
Total	6,070 sq ft
Percentage	40.98%

Building Coverage Summary	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Entry Allowance	-50 sq ft
Pool/Patio (Does not include Pool and 4' Surrounding Patio)	538 sq ft
Total	3,434 sq ft
Percentage	23.18%

Existing Hardcover	
Lot Area	14,812 sq ft
Residence	595 sq ft
Deck	544 sq ft
Garage	401 sq ft
Driveway	560 sq ft
Pergola	20 sq ft
Concrete	68 sq ft
Total	2,188 sq ft
Percentage	14.77%

900.0	Proposed Ridge Height
872.56	Proposed First Floor
870.8	Proposed Garage Floor
862.0	Proposed Basement Floor
860.2	Proposed Golf Simulator Slab

Type of Building
Full Basement Walkout

NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.

NOTE: The relationship between proposed floor elevations to be verified by builder.

NOTE: The only easements shown are from plats of record or information provided by client.

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

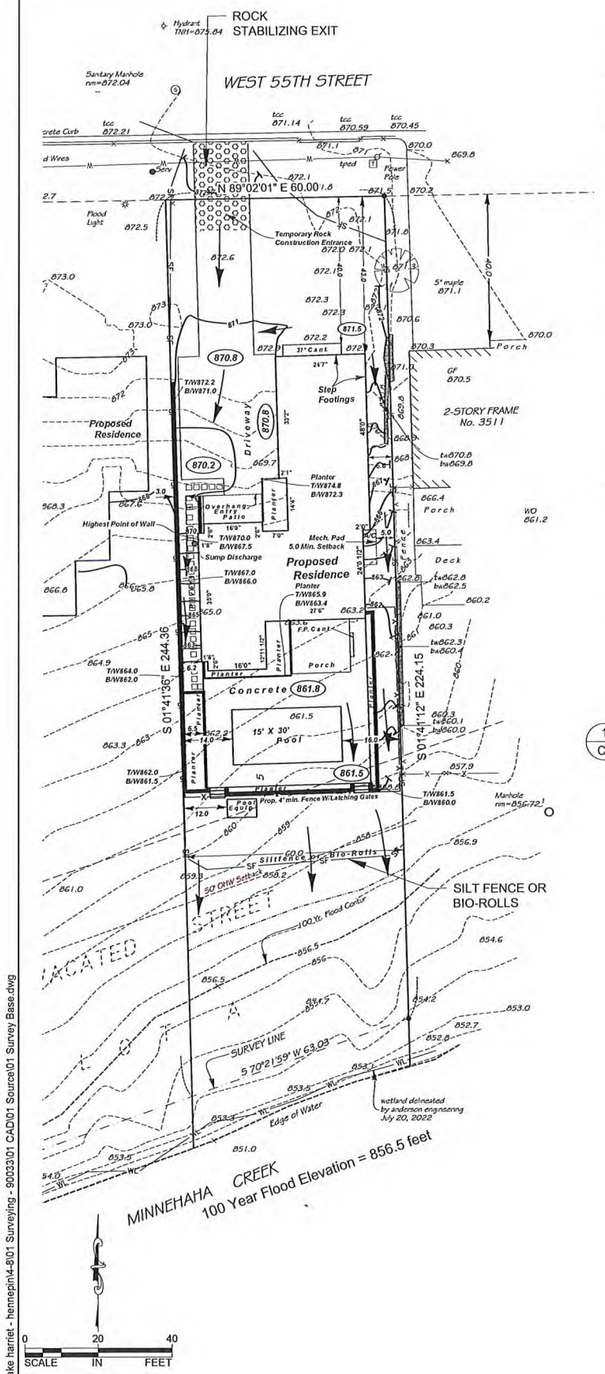
Project No. 90033B	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: 3517 W 55th Street, Edina, MN	
PID: 20-028-24-22-0119	
rev 10.07.22 city comments	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
Prepared this 30th day of September 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
DemarcInc.com

F:\survey\woodbury park near lake harriet - hennepin\4-8\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg



Proposed Hardcover	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Pavers	48 sq ft
Pool/Patio	1,412 sq ft
Driveway	1,664 sq ft
Total	6,070 sq ft
Percentage	40.98%

Existing Hardcover	
Lot Area	14,812 sq ft
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Garage	401 sq ft
Driveway	560 sq ft
Pergola	20 sq ft
Concrete	68 sq ft
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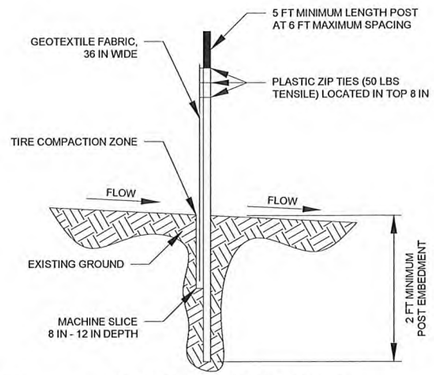
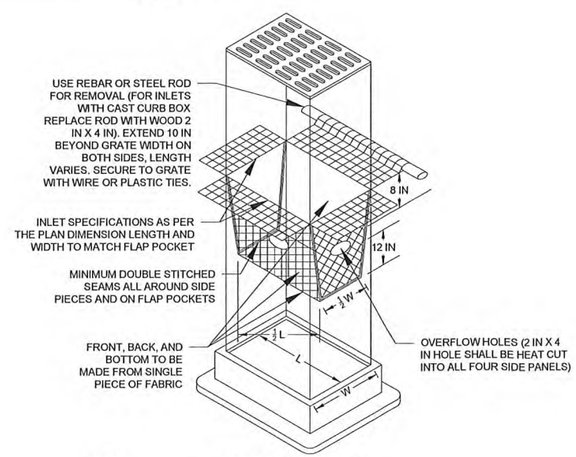
Percentage	14.77%



1 / C1 SILT FENCE (MACHINE SLICED)
NOT TO SCALE



2 / C1 INLET PROTECTION
NOT TO SCALE

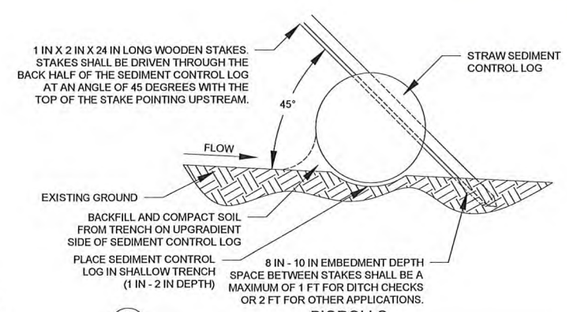
GENERAL GRADING NOTES:

1. THE STANDARD SPECIFICATIONS FOR THE CITY OF EDINA SHALL APPLY EXCEPT WHERE MODIFIED BY THESE DOCUMENTS.
2. "GOPHER STATE ONE CALL" (1-800-252-1166) SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS PRIOR TO ANY EXCAVATION.
3. PRIOR TO ANY CONSTRUCTION, THE GRADING CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY WITH ANY CONFLICTS.
4. THE GRADING CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE ON THE SITE AT ALL TIMES.
5. EXISTING TOPSOIL SHALL BE SALVAGED TO PROVIDE 4" TOPSOIL COVERAGE OVER ALL DISTURBED AREAS TO BE REVEGETATED.
6. THE BUILDING PAD MUST BE PROVIDED WITH POSITIVE DRAINAGE. THIS WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
7. AFTER THE SILT FENCE HAS BEEN REMOVED REMAINING SEDIMENT SHALL BE SMOOTHED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED OR SODDED AS DIRECTED BY THE CITY ENGINEER.
8. NO FINISHED SLOPE SHALL EXCEED 4H : 1V UNLESS OTHERWISE NOTED.
9. PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT.

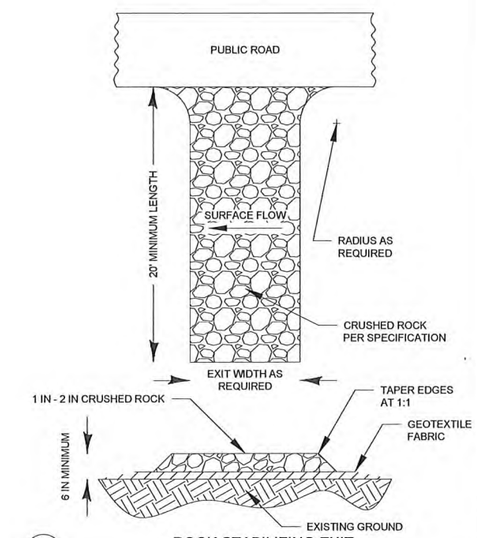
EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL BMP'S (I.E. SILT FENCE, BIO-ROLLS, ROCK CONSTRUCTION EXIT, INLET PROTECTION, ETC.) SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
2. INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (FLOODING / FREEZING) HAS BEEN IDENTIFIED. THE PERMITTED MUST RECEIVE WRITTEN CORRESPONDENCE FROM THE CITY ENGINEER VERIFYING THE NEED FOR REMOVAL.
3. INSTALL SEDIMENT CONTROL BMP'S, SUCH AS SILT FENCE, AROUND ALL STOCKPILES.
4. RETAIN AND PROTECT AS MUCH NATURAL VEGETATION AS FEASIBLE. WHEN VEGETATION IS REMOVED DURING DEVELOPMENT, THE EXPOSED CONDITION OF LAND SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME, BUT NOT LONGER THAN 60 DAYS. ANY EXPOSED AREAS EXCEEDING THIS TIME-FRAME SHALL BE TEMPORARILY STABILIZED (STRAW MULCH, WOODCHIPS, ROCK). AREAS BEING USED FOR MATERIAL STORAGE AND AREAS UNDER CONSTRUCTION ARE EXEMPT FROM TEMPORARY STABILIZATION.
5. ANY STEEP SLOPES (3H : 1V OR STEEPER) EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH TEMPORARY VEGETATION, MULCHING OR BY OTHER MEANS ACCEPTABLE TO THE BUILDING OFFICIAL WITHIN 14 DAYS OF CEASING LAND DISTURBING ACTIVITIES ON THE STEEP SLOPES. STOCKPILES MAY BE PROTECTED BY AN ANCHORED TARP OR PLASTIC SHEET.
6. PROVIDE DUST CONTROL AS NECESSARY. DUST CONTROL CAN INCLUDE WATER.
7. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC PAVEMENT AREAS ON A DAILY BASIS OR AS NEEDED.
8. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED EVERY 7 DAYS, OR WITHIN 24 HOURS OF ALL RAIN EVENTS GREATER THAN 1.0" IN 24 HOURS. CORRECTIVE ACTION REQUIRED SHALL BE INITIATED WITHIN 24 HOURS.
9. SILT FENCE, BIO-ROLLS AND INLET PROTECTION DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW.
10. AFTER FINAL GRADING HAS BEEN COMPLETED, EXPOSED SOILS MUST BE PERMANENTLY STABILIZED AS SOON AS POSSIBLE. PERMANENT STABILIZATION SHALL CONSIST OF 4 INCHES TOPSOIL, AND SEED, MULCH AND FERTILIZER APPLIED BY METHODS AND RATES RECOMMENDED IN MN/DOT SPECIFICATION 2575 AND MN/DOT SEEDING MANUAL, OR SOD. THE SEED MIX SHALL BE MN/DOT 25-151.
11. NO CONCRETE WASHOUT ALLOWED ON SITE, TRUCK BASED SELF CONTAINMENT WASHOUT DEVICES REQUIRED.
12. OIL STAINS ON CITY STREETS SHALL BE CLEANED UP WITH FLOOR DRY, AND DISPOSED OF AS A HAZARDOUS WASTE MATERIAL.
13. ALL HAZARDOUS WASTE SHALL BE STORED CLEANED UP AND DISPOSED OF PER EPA STANDARDS.
14. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE AFTER PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
16. TEMPORARY PUMPED DISCHARGE POLLUTION PREVENTION TECHNIQUES: "DANDY DEWATERING BAG" BROCK WHITE CO. USA.
17. CONTACT PERSON FOR SITE CLEANLINESS AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROLS: Jake Nau (612)-250-9491.

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT



3 / C1 BIOROLLS
NOT TO SCALE



4 / C1 ROCK STABILIZING EXIT
NOT TO SCALE

F:\survey\woodbury park near lake harriet - hennepin\4-8\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg

DESIGNED BY:	JAP
DRAWN BY:	JWL
CHECKED BY:	GRP

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JEFFREY A. PRASCH, P.E.

DATE: 09.30.22 LIC. NO.: 52706

REVISIONS	
10.07.22	CITY COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarcinc.com

SUSTAINABLE 9 DESIGN & BUILD
3511 W 44TH STREET
MINNEAPOLIS 55410

LOT 4, BLOCK 8
WOODBURY PARK NEAR LAKE HARRIET
3517 WEST 55TH STREET
EDINA, MN

EROSION AND SEDIMENT CONTROL PLAN

PROJECT: 90033B

SHEET NO. C1 OF C1

Surveyors Certificate

Tree Preservation Plan For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

Basis for bearings is assumed

Tree Removals Tree #	To be Removed	To Be Preserved	To Be Replaced
(5) 36" Silver Maple			✓
(8) 20" Spruce			✓
(9) 17" Spruce	✓		
(10) 26" Pine	✓		
(11) 9" Pine	✓		
(12) 25" Pine	✓		
(13) 15" Pine	✓		
(14) 14" Pine	✓		
(15) 14" Crab	✓		

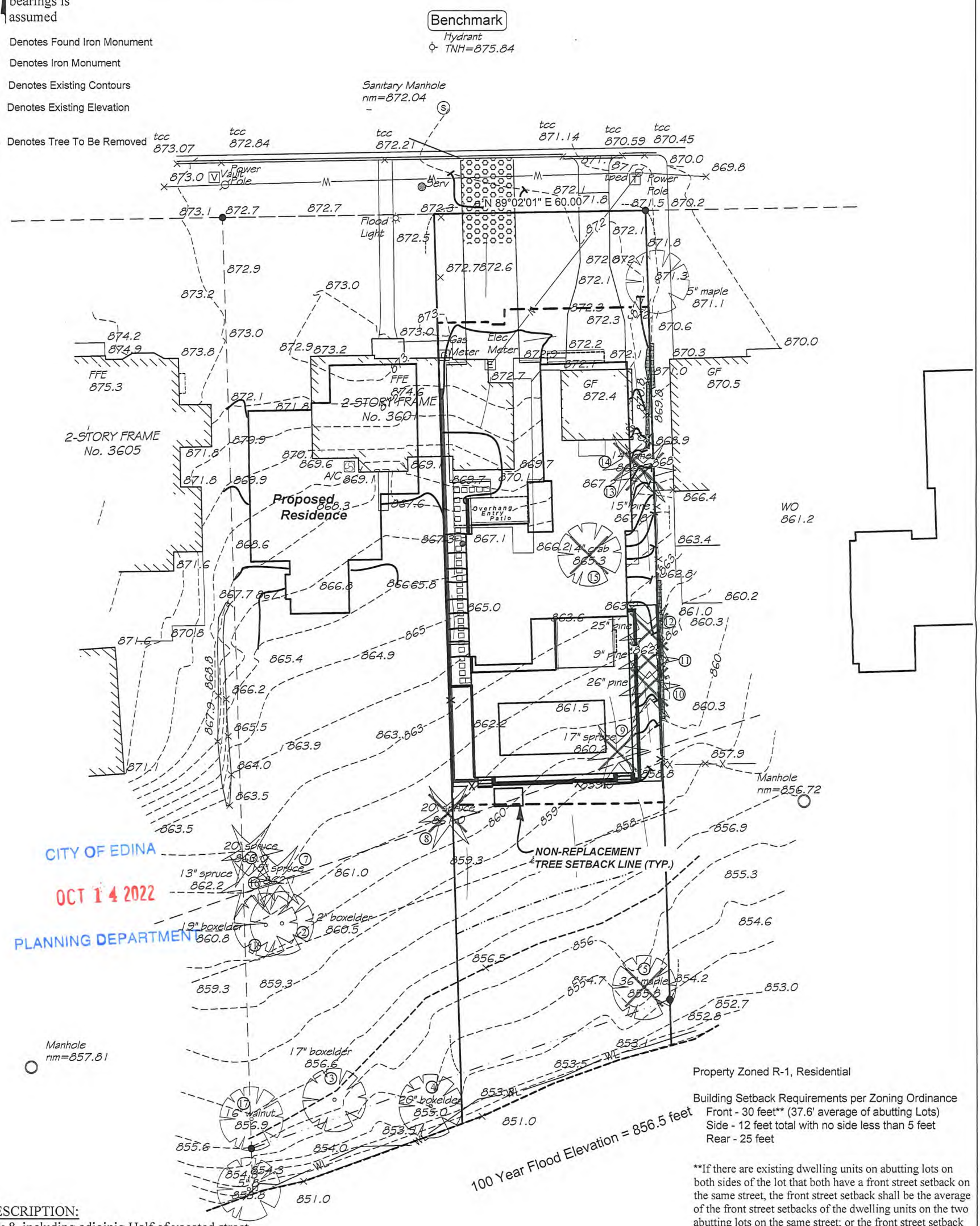
● Denotes Found Iron Monument

○ Denotes Iron Monument

Denotes Existing Contours

x000.0 Denotes Existing Elevation

Denotes Tree To Be Removed



CITY OF EDINA

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Property Zoned R-1, Residential

Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

The only easements shown are from plats of record or information provided by client.

Project No. 90033A	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: 3517 West 55th Street, Edina, MN	
PID No.: 20-028-24-22-0119	
rev 10.13.22 tree removals	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Surveyed this 6th day of July 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

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Minneapolis, Minnesota 55428
(763) 560-3093
DemarcInc.com

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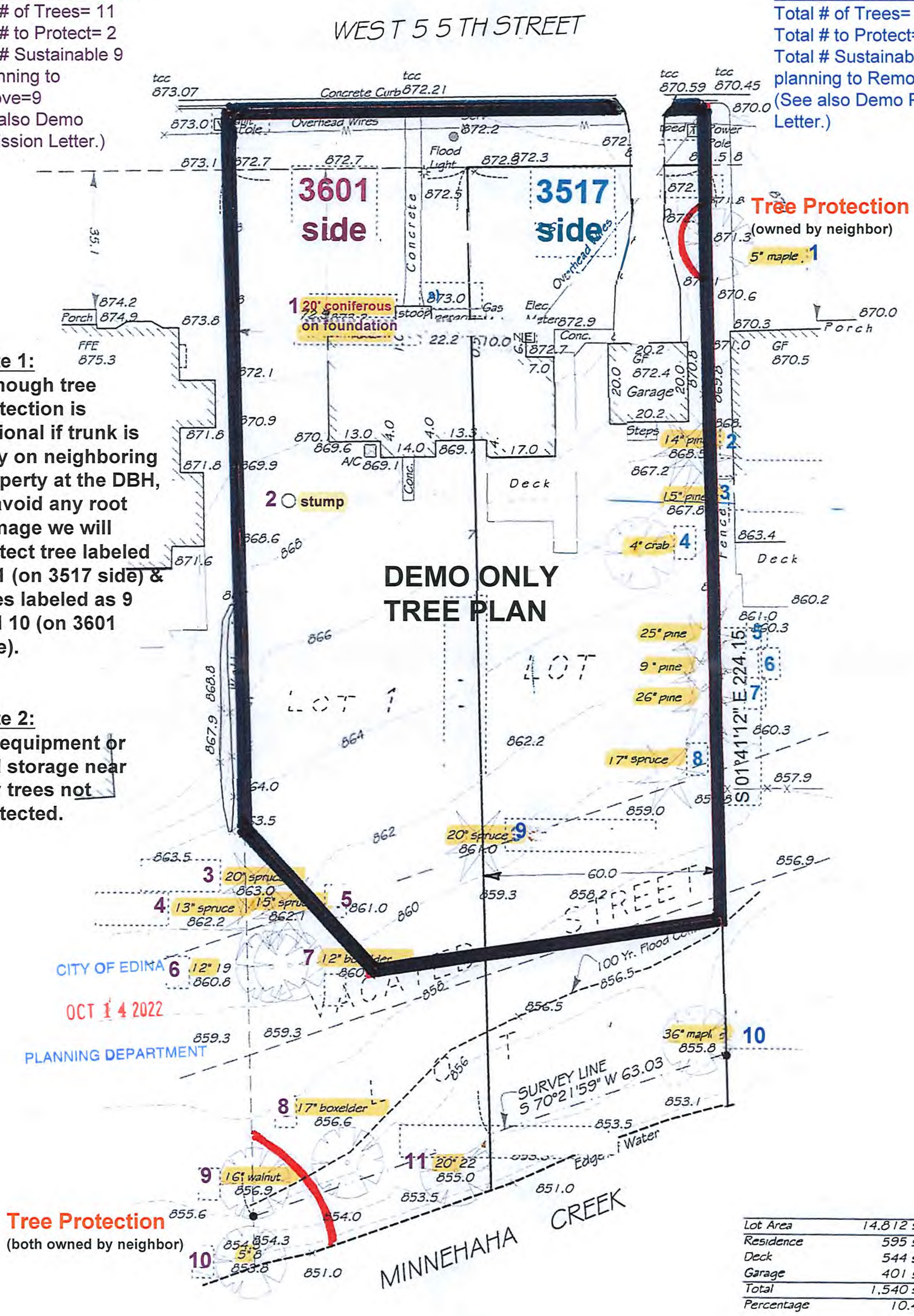
*TREE PLAN SUBMITTED AND APPROVED FOR DEMO PERMIT
~ REFERENCE ONLY ~

3601 W 55th St To
Total # of Trees= 11
Total # to Protect= 2
Total # Sustainable 9 is planning to Remove=9
(See also Demo Permission Letter.)

3517 W 55th St
Total # of Trees= 10
Total # to Protect= 1
Total # Sustainable 9 is planning to Remove= 9
(See also Demo Permission Letter.)



Note 1:
Although tree protection is optional if trunk is fully on neighboring property at the DBH, to avoid any root damage we will protect tree labeled as 1 (on 3517 side) & trees labeled as 9 and 10 (on 3601 side).

Note 2:
No equipment or soil storage near any trees not protected.

Lot Area	14,812 sq
Residence	595 sq
Deck	544 sq
Garage	401 sq
Total	1,540 sq
Percentage	10.4

CITY OF EDINA

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*PRE-DEMOLITION (Demo is now complete)

EAST NEIGHBOR

CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

STORMWATER MANAGEMENT PLAN

Lot 4, Block 8, Woodbury Park Near Lake Harriet

3517 West 55th Street

Edina, Minnesota

September 30th, 2022

Rev. – October 7th, 2022

Prepared By:

DEMARC

LAND SURVEYING & ENGINEERING

Prepared For:

Sustainable 9 Design & Build
3511 West 44th Street
Minneapolis, Minnesota 55410

I hereby certify that this Plan, Specification or Report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jeffrey A. Prasch, PE Project Engineer	52706 License Number	09.30.22 Date

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2.0 Design Considerations ii

3.0 Subcatchment Analysis ii

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Appendix A – Figures

Figure 1 - Drainage Areas Existing Conditions

Figure 2 - Drainage Areas Proposed Conditions

CITY OF EDINA
OCT 14 2022

PLANNING DEPARTMENT

1.0 Project Overview

A new house with driveway is being proposed at 3517 West 55th Street in the City of Edina (City). The proposed house is located on a new lot created by a lot split of Lot 1, Block 7 Woodbury Park Near Lake Harriet (3601 W 55th Street). The lot that this project is located on is the East 60 feet of the original lot, which equates to 0.34 acres. This part of the original lot contained approximately one third of the original house along with the detached garage and driveway. There is private property located to the east and west, street to the north and Minnehaha Creek creates the south boundary for the lot. Currently, most of the site flows south directly into Minnehaha creek with part of the front yard and driveway flowing to the street and a portion of the east side yard flowing east to private property. The street and private property subcatchments flow via storm sewer into Minnehaha Creek. Minnehaha Creek is considered a regional flooding issue according to the City of Edina Engineering Department. The existing drainage conditions are shown in **Figure 1.**

The proposed improvements include a new house with attached garage, driveway, porch, and pool with surrounding patio. Because this lot originally only supported half of a residence, there will be a large increase in impervious surface. The stormwater from these impervious surfaces will be primarily drained to the creek via a side yard swale and grading of the new driveway. This will prohibit an increase in rates to private property. **Figure 2** shows the proposed drainage conditions.

2.0 Design Considerations

The site is under the jurisdiction of Minnehaha Creek Watershed District (MCWD) and the City. This project will not trigger the MCWD stormwater rule because it is the redevelopment of a single-family home. This project will trigger Category 2 of the City's Rule because it is the redevelopment of a single-family home. The on-site storm water system design is based on their guidelines:

- Rate and Volume Modeling Software – HydroCAD 10.10
- Rainfall Distribution – MSE 24-hour Type III
- Rainfall Data – NOAA Atlas 14 rainfall data as shown in **Figure 3.**
- Soil Conditions – Hydrologic Soil Group B based on web soil survey shown in **Appendix D.**

3.0 Subcatchment Analysis

The City regulates the rate of water discharged from the site. The discharge rate requirement is no increase in peak rate to private property for the 10-yr storm event. In regards to volume control, the site does not flow to structural flooding. It does flow into the regional flooding of Minnehaha Creek. **Table 3.1** shows the existing and proposed Subcatchment Analysis .

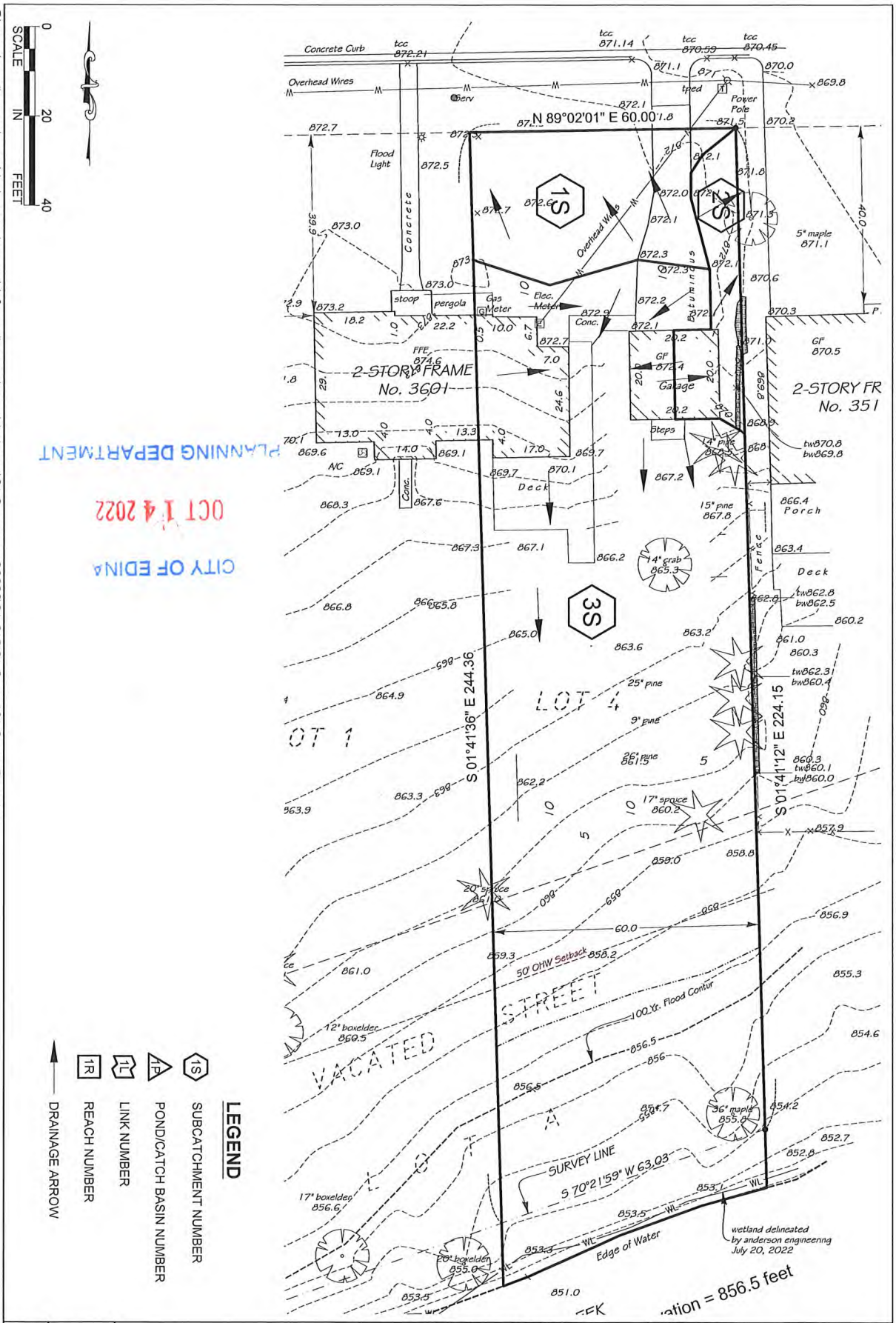
Table 3.1 – Subcatchment Area Summary

Subcatchment	Impervious Area [sf]		Total Area [sf]	
	Pre-	Post-	Pre-	Post-
Street (1S)	313	631	1,622	1,914
Private Property (2S)	672	0	672	471
Minnehaha Creek (3S)	1,674	5,439	12,518	12,427

As shown in the table above, the discharge rates to private property will not increase because of the decrease in impervious area and decrease in total area flowing to private property.

Appendix A

Figures



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CITY OF EDINA

LEGEND

- 1S SUBCATCHMENT NUMBER
- 1P POND/CATCH BASIN NUMBER
- 1L LINK NUMBER
- 1R REACH NUMBER
- DRAINAGE ARROW

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09.30.2022	FIGURE 1	DRAINAGE AREAS EXISTING CONDITIONS	**LOT 4, BLOCK 8 WOODBURY PARK NEAR LAKE HARRIET** 3517 WEST 55TH STREET EDINA, MN

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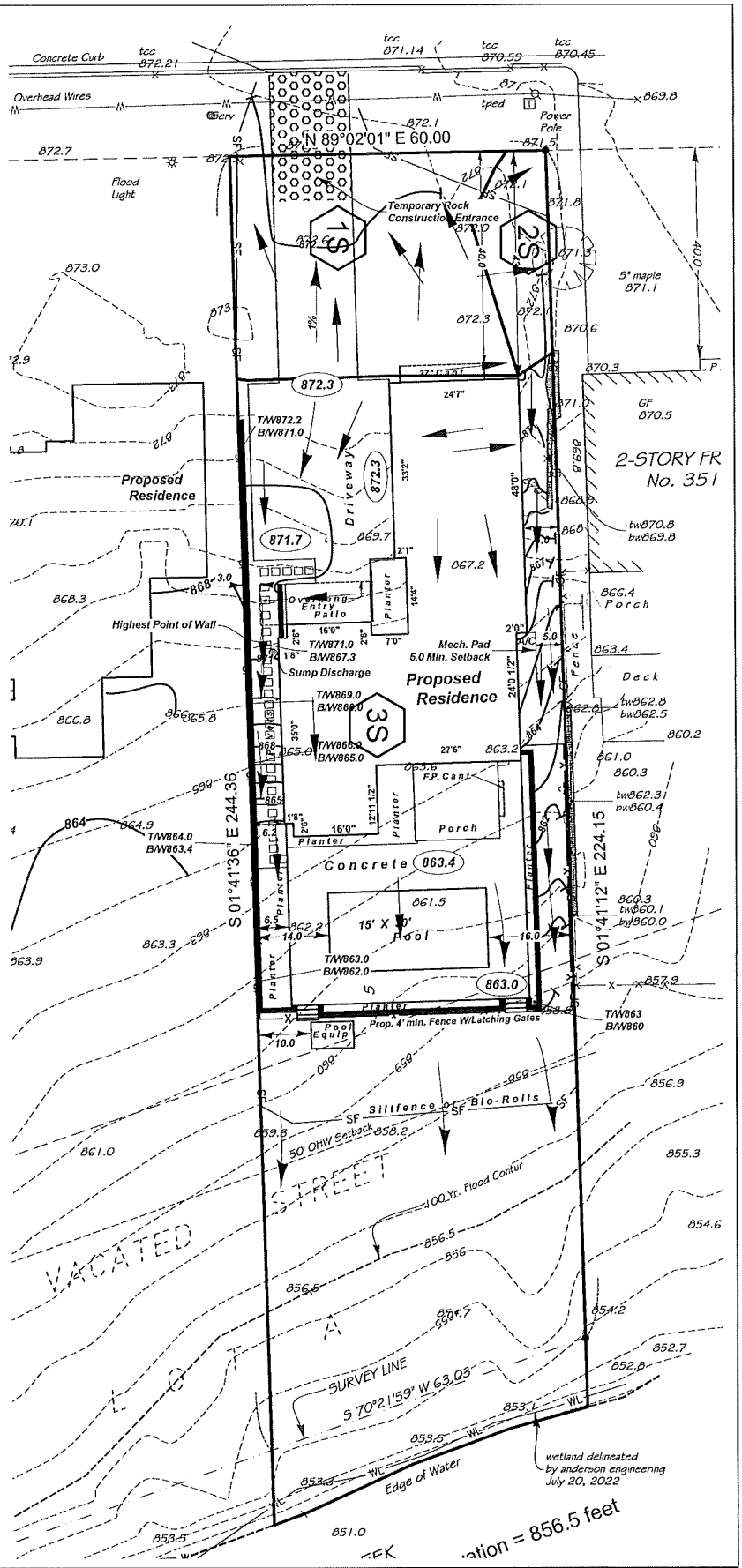

SCALE 0 20 40 IN FEET

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LEGEND

- 1S SUBCATCHMENT NUMBER
- 1P POND/CATCH BASIN NUMBER
- 1L LINK NUMBER
- 1R REACH NUMBER
- DRAINAGE ARROW

09.30.2022	FIGURE 2	DRAINAGE AREAS PROPOSED CONDITIONS	LOT 4, BLOCK 8 WOODBURY PARK NEAR LAKE HARRIET 3517 WEST 55TH STREET EDINA, MN

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FIGURE 3 - PRECIPITATION DATA

NOAA Atlas 14, Volume 8, Version 2
Location name: Minneapolis, Minnesota, USA*
Latitude: 44.9126°, Longitude: -93.3445°
Elevation: 919.99 ft**
* source: ESRI Maps
** source: USGS

CITY OF EDINA

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

OCT 14 2022

NOAA, National Weather Service, Silver Spring, Maryland

PF_tabular | PF_graphical | Maps_&_aerials

PLANNING DEPARTMENT

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)[1]

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.353 (0.288-0.438)	0.419 (0.342-0.520)	0.532 (0.432-0.662)	0.630 (0.509-0.788)	0.773 (0.605-1.00)	0.889 (0.677-1.17)	1.01 (0.741-1.35)	1.14 (0.798-1.56)	1.31 (0.884-1.85)	1.45 (0.949-2.07)
10-min	0.517 (0.422-0.642)	0.613 (0.501-0.762)	0.778 (0.633-0.970)	0.923 (0.746-1.15)	1.13 (0.886-1.47)	1.30 (0.992-1.71)	1.48 (1.09-1.98)	1.67 (1.17-2.29)	1.92 (1.30-2.71)	2.13 (1.39-3.03)
15-min	0.630 (0.515-0.783)	0.748 (0.610-0.929)	0.949 (0.772-1.18)	1.13 (0.909-1.41)	1.38 (1.08-1.79)	1.59 (1.21-2.08)	1.80 (1.32-2.42)	2.03 (1.43-2.79)	2.35 (1.58-3.31)	2.60 (1.70-3.69)
30-min	0.891 (0.729-1.11)	1.07 (0.870-1.32)	1.36 (1.11-1.70)	1.62 (1.31-2.03)	2.00 (1.56-2.59)	2.30 (1.75-3.01)	2.61 (1.92-3.50)	2.94 (2.07-4.05)	3.40 (2.29-4.79)	3.77 (2.46-5.36)
60-min	1.16 (0.950-1.44)	1.39 (1.13-1.72)	1.78 (1.45-2.22)	2.15 (1.74-2.69)	2.70 (2.13-3.54)	3.17 (2.42-4.19)	3.67 (2.70-4.95)	4.21 (2.96-5.82)	4.99 (3.36-7.05)	5.61 (3.66-7.98)
2-hr	1.43 (1.18-1.77)	1.70 (1.40-2.10)	2.21 (1.81-2.73)	2.68 (2.18-3.33)	3.41 (2.71-4.46)	4.04 (3.12-5.32)	4.73 (3.51-6.36)	5.48 (3.89-7.54)	6.57 (4.47-9.25)	7.46 (4.90-10.5)
3-hr	1.60 (1.32-1.96)	1.89 (1.56-2.33)	2.46 (2.02-3.03)	3.00 (2.45-3.71)	3.87 (3.10-5.07)	4.63 (3.60-6.10)	5.48 (4.09-7.36)	6.41 (4.58-8.82)	7.78 (5.33-10.9)	8.91 (5.89-12.5)
6-hr	1.88 (1.56-2.29)	2.21 (1.83-2.70)	2.86 (2.36-3.50)	3.51 (2.88-4.31)	4.56 (3.69-5.96)	5.49 (4.30-7.20)	6.53 (4.92-8.74)	7.69 (5.54-10.5)	9.41 (6.49-13.2)	10.8 (7.21-15.1)
12-hr	2.13 (1.78-2.58)	2.53 (2.11-3.06)	3.27 (2.72-3.97)	3.98 (3.29-4.86)	5.09 (4.12-6.56)	6.06 (4.76-7.85)	7.11 (5.38-9.41)	8.28 (5.99-11.2)	9.97 (6.92-13.8)	11.4 (7.62-15.8)
24-hr	2.49 (2.09-3.00)	2.86 (2.40-3.45)	3.58 (2.99-4.32)	4.29 (3.56-5.19)	5.41 (4.41-6.92)	6.39 (5.06-8.23)	7.49 (5.71-9.85)	8.71 (6.35-11.7)	10.5 (7.34-14.4)	12.0 (8.09-16.5)
2-day	2.90 (2.45-3.46)	3.25 (2.74-3.88)	3.94 (3.31-4.72)	4.63 (3.87-5.57)	5.76 (4.74-7.32)	6.76 (5.39-8.64)	7.88 (6.05-10.3)	9.13 (6.72-12.2)	11.0 (7.75-15.0)	12.5 (8.53-17.1)
3-day	3.17 (2.68-3.76)	3.52 (2.98-4.19)	4.23 (3.56-5.04)	4.93 (4.13-5.90)	6.06 (5.00-7.66)	7.07 (5.66-9.00)	8.20 (6.33-10.7)	9.47 (7.00-12.6)	11.3 (8.03-15.4)	12.9 (8.82-17.5)
4-day	3.37 (2.87-4.00)	3.76 (3.19-4.46)	4.50 (3.80-5.35)	5.22 (4.39-6.23)	6.38 (5.27-8.01)	7.40 (5.93-9.36)	8.52 (6.59-11.0)	9.78 (7.24-12.9)	11.6 (8.25-15.7)	13.1 (9.02-17.8)
7-day	3.88 (3.31-4.57)	4.38 (3.74-5.16)	5.27 (4.48-6.23)	6.09 (5.14-7.22)	7.31 (6.02-9.04)	8.34 (6.69-10.4)	9.44 (7.31-12.1)	10.6 (7.89-13.9)	12.3 (8.78-16.5)	13.7 (9.46-18.5)
10-day	4.37 (3.74-5.13)	4.95 (4.24-5.82)	5.96 (5.08-7.01)	6.83 (5.79-8.08)	8.11 (6.67-9.93)	9.15 (7.34-11.3)	10.2 (7.93-13.0)	11.4 (8.45-14.8)	13.0 (9.26-17.3)	14.2 (9.87-19.1)
20-day	5.94 (5.12-6.92)	6.67 (5.74-7.77)	7.86 (6.74-9.19)	8.86 (7.56-10.4)	10.3 (8.45-12.4)	11.3 (9.13-13.8)	12.4 (9.67-15.5)	13.5 (10.1-17.3)	15.0 (10.8-19.7)	16.1 (11.3-21.6)
30-day	7.33 (6.34-8.50)	8.19 (7.07-9.50)	9.56 (8.23-11.1)	10.7 (9.14-12.5)	12.2 (10.1-14.6)	13.3 (10.8-16.2)	14.5 (11.3-17.9)	15.6 (11.7-19.8)	17.0 (12.3-22.2)	18.1 (12.7-24.1)
45-day	9.13 (7.93-10.5)	10.2 (8.84-11.8)	11.9 (10.2-13.7)	13.2 (11.3-15.3)	14.9 (12.3-17.7)	16.2 (13.1-19.5)	17.4 (13.6-21.4)	18.5 (13.9-23.4)	19.9 (14.4-25.8)	20.9 (14.8-27.7)
60-day	10.7 (9.30-12.3)	12.0 (10.4-13.8)	13.9 (12.1-16.1)	15.5 (13.3-17.9)	17.4 (14.4-20.5)	18.8 (15.2-22.5)	20.1 (15.7-24.6)	21.2 (16.0-26.7)	22.6 (16.4-29.2)	23.5 (16.7-31.1)

[1] Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

Back to Top

DATE: 10/28/2022
TO: Cary Teague – Planning Director
FROM: Zuleyka Marquez, PE – Graduate Engineer
RE: **3517 55th St W - Subdivision Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections.

This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application. Plans reviewed included a stormwater management plan and report, existing and proposed surveys.

Summary of Work
The applicant proposes a lot split to build two homes. The existing home has already been demolished.

Survey & Easements
The benchmark is based on a hydrant in a recent reconstruction area. The benchmark may not be accurate.

A 24" sanitary sewer main is located in the rear yard. Surveyor must show on survey. A 20'-wide easement centered on the pipe shall be provided. Recorded easement required for permit closeout.

Grading and Drainage
The site drains to the street and Minnehaha Creek in both the existing and proposed condition. The existing conditions sheet drained slightly SE towards private property. Swales are proposed along the narrow east property line to drain south directly towards the creek.

Stormwater Mitigation
Stormwater was reviewed and is consistent with City of Edina Building Policy SP-003 standards. A final grade as-built survey and inspection will be required to verify compliance with the approved stormwater plan.

Floodplain Development
The FEMA 1% annual chance floodplain is located in the rear yard, with a base flood elevation of 855.9'. Thus, the lowest floor elevation is required at no less than 857.9'. The golf simulator slab is proposed at 860.2'.

Erosion and Sediment Control
An erosion and sediment control plan was reviewed and is consistent with City of Edina Building Policy SP-002. Suggest a double row of silt fence in the rear yard due to the steep slope.

Street and Driveway Entrance
The applicant proposes to relocate the driveway entrance. Existing driveway entrance to be closed up per standard plate 500. A driveway entrance permit will be required. The street was reconstructed in 2021. Refer to standard plates 540 and 541 for patching requirements.

Public Utilities

Water and sanitary is served from 55th St W. Sanitary is also available from the rear yard. A one-inch water service line from the curb stop to the dwelling is required per the City's policy SP-024.
Sewer and water connection fees shall be paid prior to building permit issuance.

Miscellaneous

A Minnehaha Creek Watershed District permit may be required, applicant will need to verify with the district.

Retaining walls no more than 4' are proposed. Engineering is not required.

3517 W 55th St, Edina, MN 55410 – PID 2002824220119

VARIANCE APPLICATION:

SUMMARY: A double wide lot of 120ft wide with one single family home was split into two new legal parcels each at 60ft wide by the previous homeowner and purchased as such by Sustainable 9 Design Build. Sustainable 9 Design Build has since sold one of the new lots (3517 W 55th St, Edina, MN 55410 with PID 2002824220119) to our clients who intend to build a new single family home, Andrew and Brandy Morris. The remaining lot (3601 W 55th St, Edina, MN 55410 with PID 2002824220118) is still owned by S9 and a new single family spec home has been designed. A demolition permit was already pulled and the old existing home has been removed.

ISSUE: The standard allowable width for new Edina lots is 75ft. Both of these new lots are only 60ft wide. Thus, we have been informed only recently that the lot split (which Sustainable 9 had been told was complete at the time of the original land purchase) will not be deemed official and complete until a variance is filed and approved.

PROPOSAL: We believe this variance should be approved primarily because it corrects an extraordinary circumstance and the result is more in keeping with the essential character of the neighborhood then what was there previously. All of the adjacent neighbors and vast majority of the surrounding neighborhood is set at 60ft or less for their lot width. At our neighborhood meeting for the demolition, the neighbor to the east of the two lots in question noted his support of this variance, Eric Michael at 3511 55th St W, Edina, MN 55410 with PID 2002824220108. We all believe this variance would create a cohesive street of nice homes on 60ft wide lots.

CITY OF EDINA
OCT 14 2022
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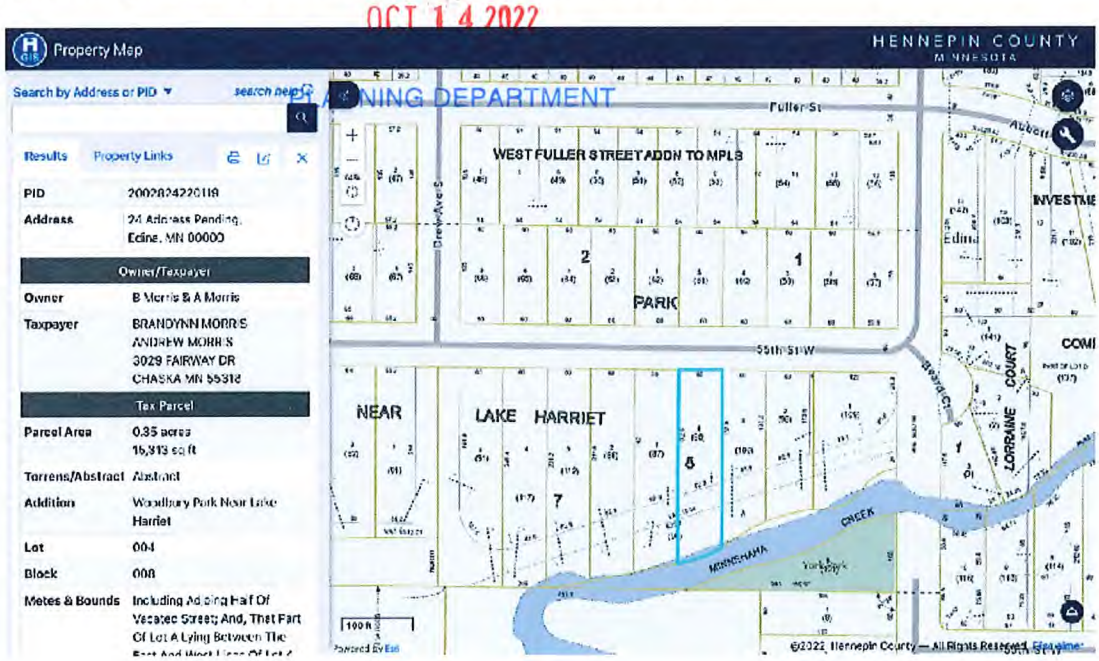

UNFOLD
ARCHITECTURE

MORRIS RESIDENCE

for ANDREW & BRANDY MORRIS
3517 WEST 55TH ST
EDINA, MN 55410

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

VARIANCE SUBMITTAL

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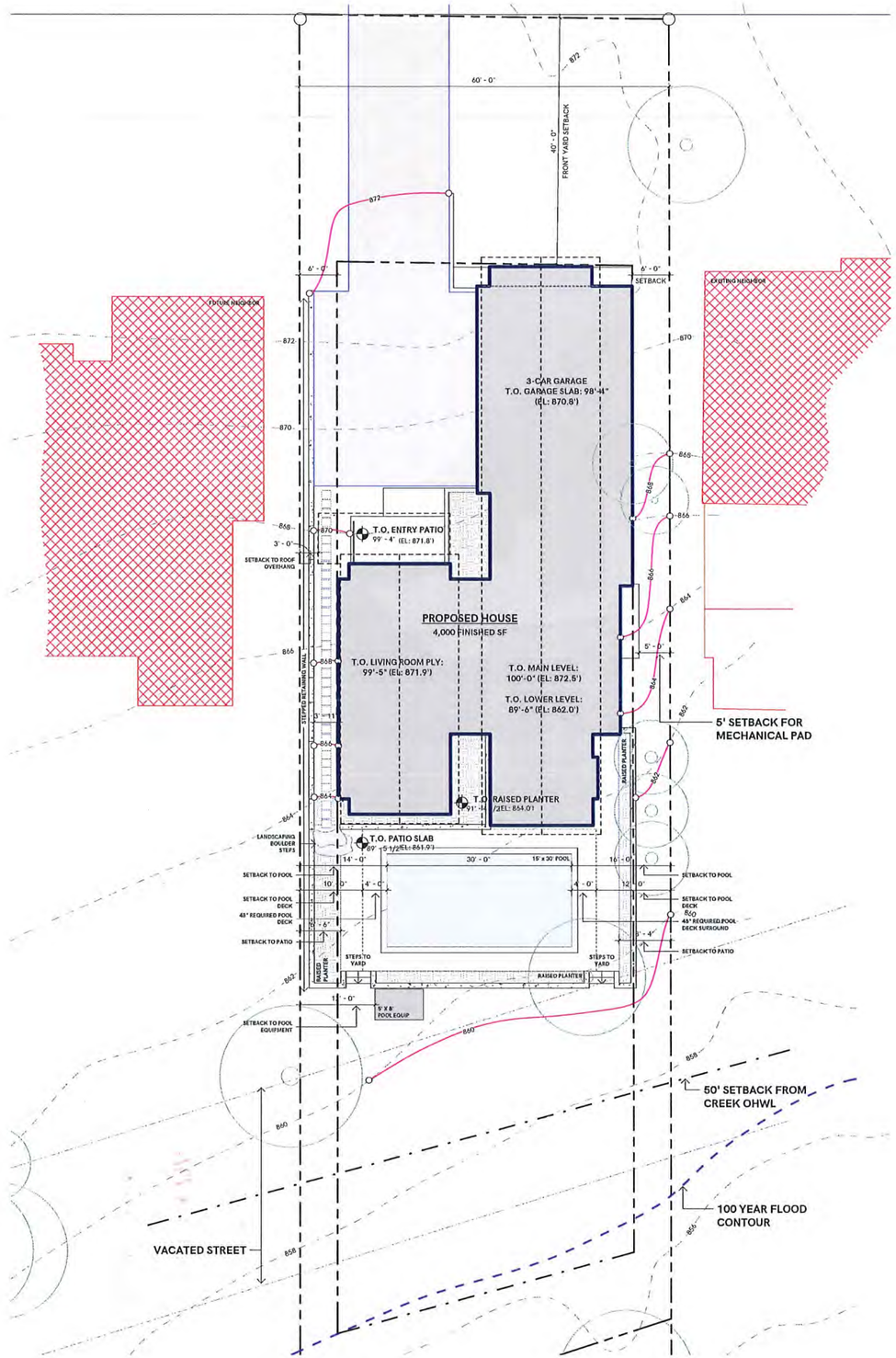
UNFOLD
ARCHITECTURE

MORRIS RESIDENCE

PROJECT NUMBER 2207

SHEET NAME
COVER SHEET

SHEET NUMBER
A001



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY (SETBACK)
- EASEMENT
- CONTOURS (EXISTING)
- CONTOURS (PROPOSED)
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- WATER BODY
- PROPOSED STRUCTURE ROOF OVERHANG
- PROPOSED ACCESSORY STRUCTURE
- GASLINE
- WATER/SANITARY
- PROPOSED DRIVEWAY
- ROAD
- TREELINE
- OBJECT REMOVAL
- TREE TRUNK PROTECTION
- PATIO COVERAGE
- LANDSCAPED AREA
- SILT FENCING
- EROSION CONTROL
- PRINCIPAL ENTRANCE

ZONING INFORMATION

TOTAL LOT AREA: 14,812 SF

BUILDING COVERAGE:

ALLOWABLE (25%):	3,703.50 SF
ACTUAL: (23.18%) :	3,434.00 SF

HARDCOVER:

ALLOWABLE (50%):	7,406.00 SF
ACTUAL (40.98%)	6,070.00 SF
- BUILDING FOOTPRINT:	2,583.00 SF
- ADDITIONAL HARDSCAPE:	3,487.00 SF

MAX BUILDING HEIGHT:

ALLOWABLE:	30.0'
ACTUAL:	29.5'
AVG. EXTG GRADE:	*870'*

LOWER LEVEL CALCULATION

TOTAL LINEAR FEET OF WALL:	**203 LF**

Measuring from Top of Lower Level Slab to Top of Main Level Ply

- 40' Linear Feet @ 11' 8 3/4" (11.73') =	469.2 SF
- 33' Linear Feet @ 9'-11" (9.92') =	327.4 SF
- 130' Linear Feet @ 10'-6" (10.5') =	1,365.0 SF
TOTAL SURFACE AREA OF WALL:	**2,162.0 SF**
SURFACE AREA BELOW GRADE:	**1,210.2 SF (56%)**
SURFACE AREA ABOVE GRADE:	**951.8 SF (44%)**

NORTH

10 5 0 10 20 30

NOTE: ARCHITECTURAL SITE PLAN IS SCHEMATIC ONLY. REVIEW RESIDENCE LOCATION, SITE SETBACKS, GRADING, AND APPLICABLE LOCAL CODES WITH A LICENSED CIVIL ENGINEER.

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SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

763.486.7779
www.unfoldarchitecture.com

CONSULTING

CONTRACTOR:
SUSTAINABLE 9 DESIGN + BUILD
3511 W 44TH STREET
MINNEAPOLIS, MN 55410
WWW.SUSTAINBLEY.COM

STRUCTURAL ENGINEER:
THE HANSON GROUP
3407 KILMER LANE NORTH
PLYMOUTH, MN 55446
WWW.HANSONGROUPMN.COM

CIVIL ENGINEER & SURVEYOR:
DEMARC LAND SURVEYING & ENG.
7601 73RD AVE N.
MINNEAPOLIS, MN 55428
WWW.DEMARCINC.COM

MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

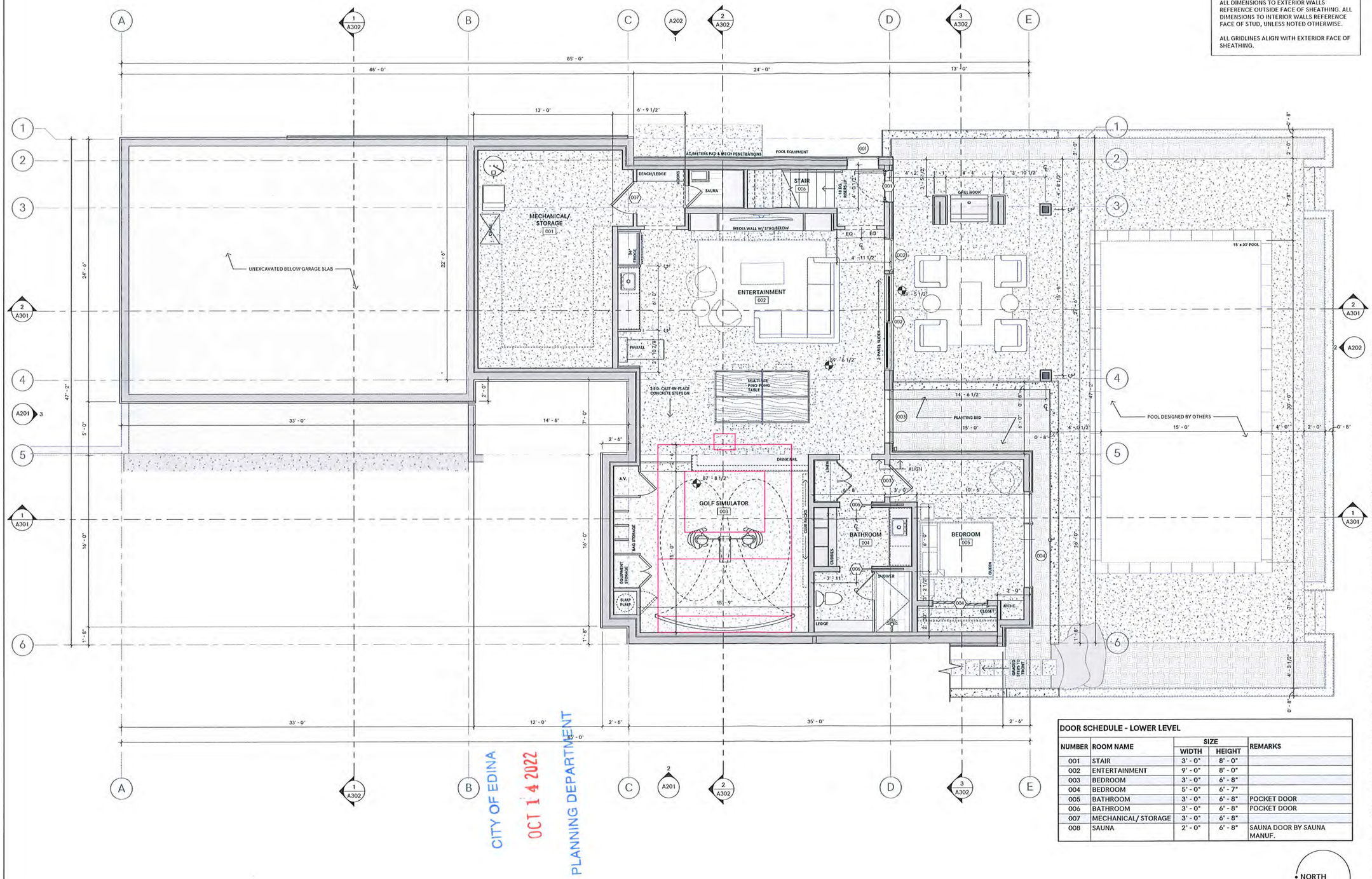
PROJECT NUMBER 2207

SHEET NAME
ARCHITECTURAL SITE PLAN

SHEET NUMBER
A003

DIMENSION NOTE:
ALL DIMENSIONS TO EXTERIOR WALLS REFERENCE OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INTERIOR WALLS REFERENCE FACE OF STUD, UNLESS NOTED OTHERWISE.

ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.



DOOR SCHEDULE - LOWER LEVEL				
NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
001	STAIR	3' - 0"	8' - 0"	
002	ENTERTAINMENT	9' - 0"	8' - 0"	
003	BEDROOM	3' - 0"	6' - 8"	
004	BEDROOM	5' - 0"	6' - 7"	
005	BATHROOM	3' - 0"	6' - 8"	POCKET DOOR
006	BATHROOM	3' - 0"	6' - 8"	POCKET DOOR
007	MECHANICAL/ STORAGE	3' - 0"	6' - 8"	
008	SAUNA	2' - 0"	6' - 8"	SAUNA DOOR BY SAUNA MANUF.

NORTH

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

1 02_T.O. LOWER LEVEL SLAB
1/4" = 1'-0"

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STRUCTURAL ENGINEER:
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CIVIL ENGINEER & SURVEYOR:
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MINNEAPOLIS, MN 55428
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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
LOWER LEVEL FLOOR PLAN

SHEET NUMBER
A101

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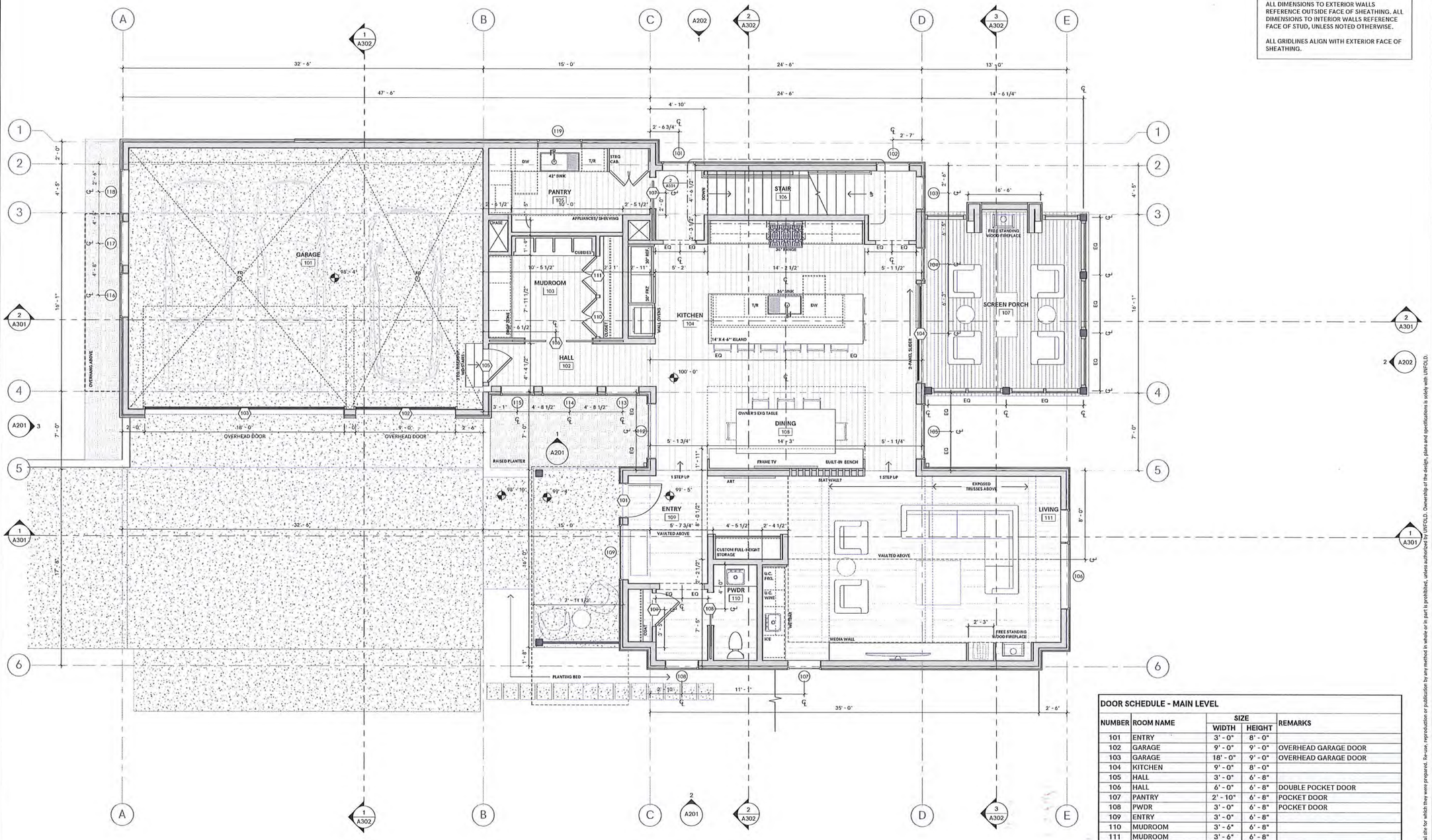

DIMENSION NOTE:
ALL DIMENSIONS TO EXTERIOR WALLS REFERENCE OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INTERIOR WALLS REFERENCE FACE OF STUD, UNLESS NOTED OTHERWISE.

ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.

DOOR SCHEDULE - MAIN LEVEL

NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
101	ENTRY	3' - 0"	8' - 0"	
102	GARAGE	9' - 0"	9' - 0"	OVERHEAD GARAGE DOOR
103	GARAGE	18' - 0"	9' - 0"	OVERHEAD GARAGE DOOR
104	KITCHEN	9' - 0"	8' - 0"	
105	HALL	3' - 0"	6' - 8"	
106	HALL	6' - 0"	6' - 8"	DOUBLE POCKET DOOR
107	PANTRY	2' - 10"	6' - 8"	POCKET DOOR
108	PWDR	3' - 0"	6' - 8"	POCKET DOOR
109	ENTRY	3' - 0"	6' - 8"	
110	MUDROOM	3' - 6"	6' - 8"	
111	MUDROOM	3' - 6"	6' - 8"	

NORTH

1 03_T.O. MAIN LEVEL PLY.
1/4" = 1'-0"

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
MAIN LEVEL FLOOR PLAN

SHEET NUMBER
A102

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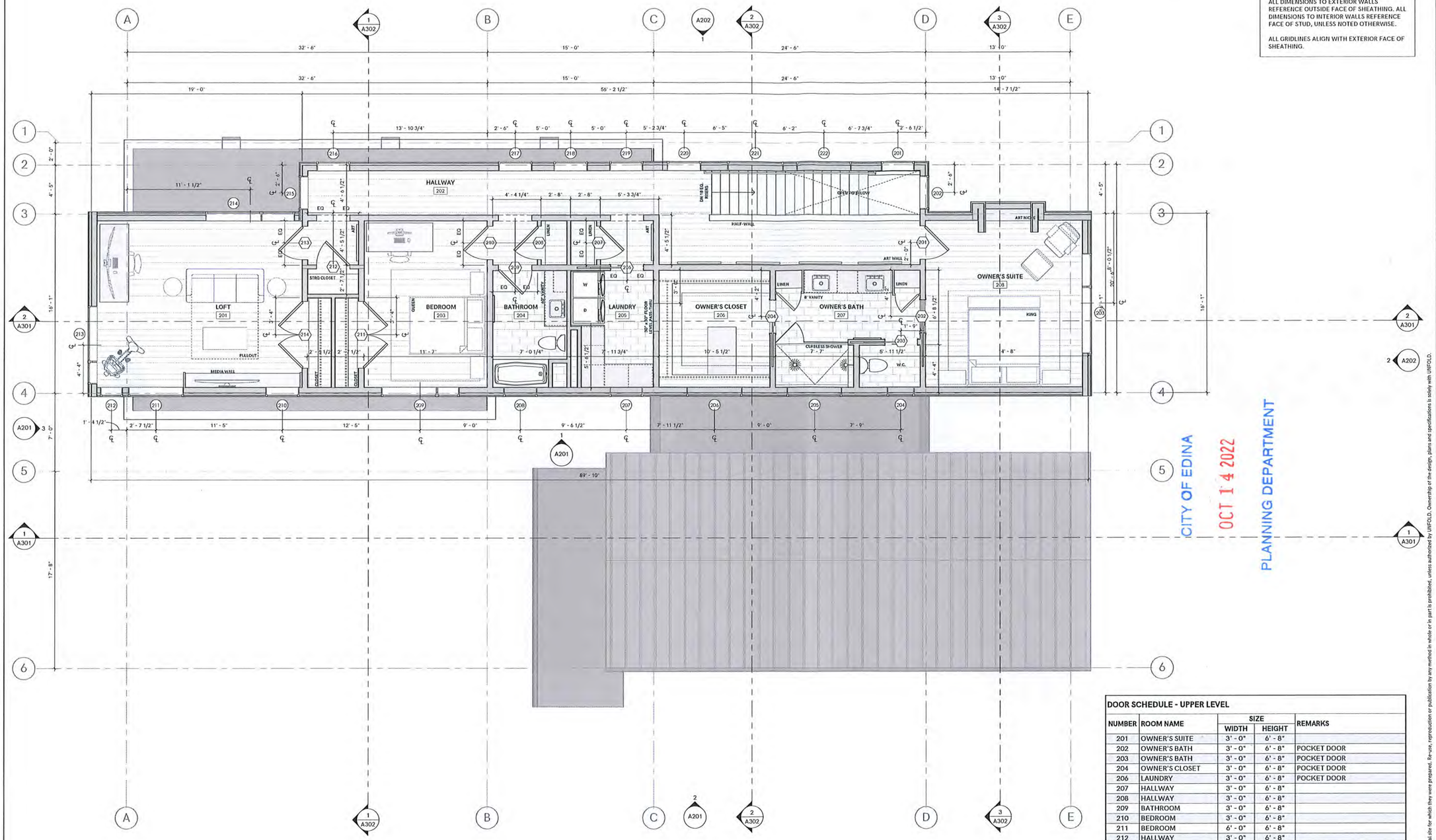

DIMENSION NOTE:
ALL DIMENSIONS TO EXTERIOR WALLS REFERENCE OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INTERIOR WALLS REFERENCE FACE OF STUD, UNLESS NOTED OTHERWISE.

ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.

DOOR SCHEDULE - UPPER LEVEL

NUMBER	ROOM NAME	SIZE		REMARKS
		WIDTH	HEIGHT	
201	OWNER'S SUITE	3' - 0"	6' - 8"	
202	OWNER'S BATH	3' - 0"	6' - 8"	POCKET DOOR
203	OWNER'S BATH	3' - 0"	6' - 8"	POCKET DOOR
204	OWNER'S CLOSET	3' - 0"	6' - 8"	POCKET DOOR
206	LAUNDRY	3' - 0"	6' - 8"	POCKET DOOR
207	HALLWAY	3' - 0"	6' - 8"	
208	HALLWAY	3' - 0"	6' - 8"	
209	BATHROOM	3' - 0"	6' - 8"	
210	BEDROOM	3' - 0"	6' - 8"	
211	BEDROOM	6' - 0"	6' - 8"	
212	HALLWAY	3' - 0"	6' - 8"	
213	LOFT	3' - 0"	6' - 8"	
214	LOFT	6' - 0"	6' - 8"	

NORTH

1 04_T.O. UPPER LEVEL PLY.
1/4" = 1'-0"

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

SPACE RESERVED FOR AHJ STAMP

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CONSULTING

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
UPPER LEVEL FLOOR PLAN

SHEET NUMBER
A103

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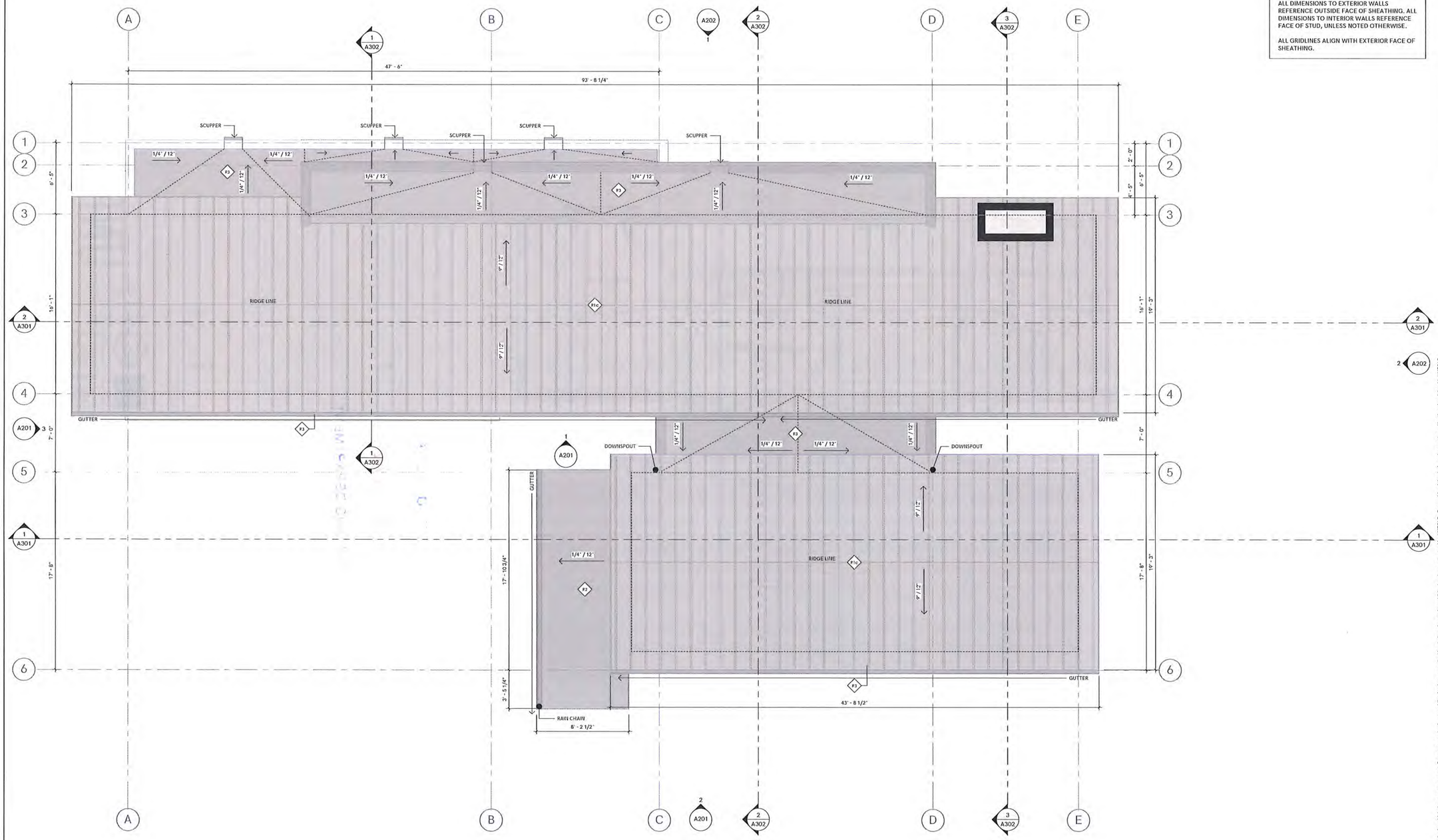
ALL GRIDLINES ALIGN WITH EXTERIOR FACE OF SHEATHING.



1 ROOF PLAN
1/4" = 1'-0"

SPACE RESERVED FOR AHJ STAMP

UNFOLD ARCHITECTURE

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CONSULTING

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207
SHEET NAME
ROOF LEVEL PLAN

SHEET NUMBER
A104

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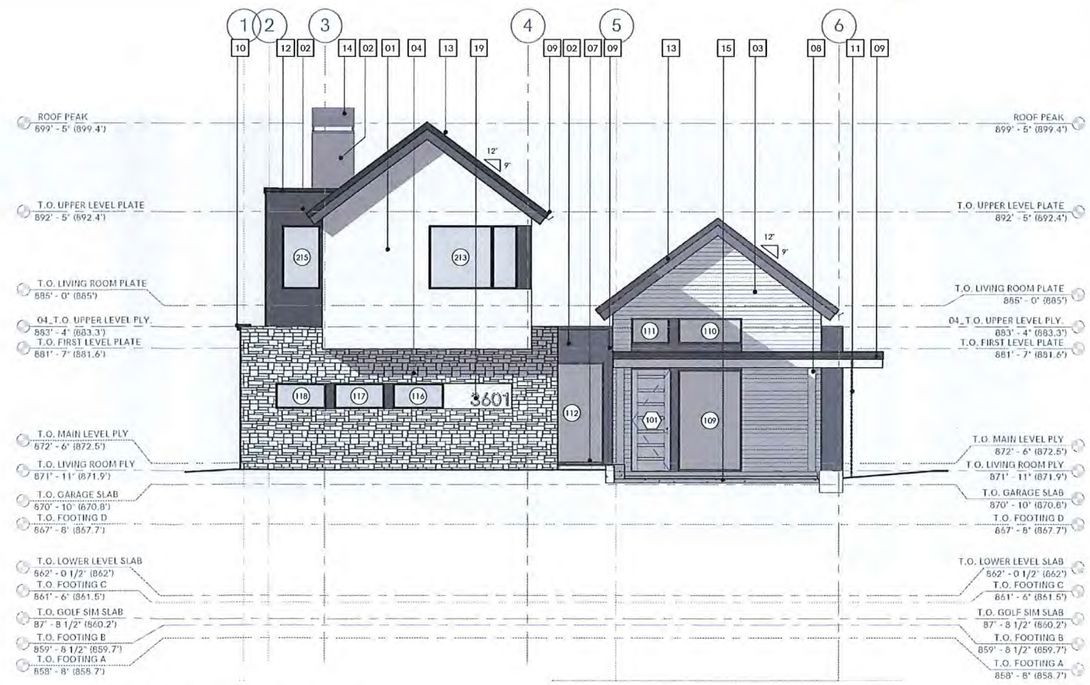
2 EXTERIOR ELEVATION - WEST
3/16" = 1'-0"

1 EXTERIOR ELEVATION - WEST PARTIAL
3/16" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"

MATERIAL KEYNOTE LEGEND

KEY VALUE	MATERIAL DESCRIPTION
01	LIGHT STUCCO
02	HARDIE PANELING (DARK FINISH)
03	WOOD LOOK SIDING
04	STONE VENEER (LIGHT FINISH)
05	STANDING SEAM METAL ROOFING (DARK FINISH)
06	SCREEN PORCH
07	CONCRETE RETAINING WALL
08	TIMBER POST & BEAM CONSTRUCTION
09	DARK PREFINISHED METAL DOWNSPOUT/GUTTER
10	DARK PREFINISHED MINIMAL METAL SCUPPER. TYPICAL
11	RAIN CHAIN
12	PREFINISHED METAL COPING (DARK FINISH)
13	2x6 HARDIE FASCIA BOARD (DARK FINISH)
14	POWDER COATED CHIMNEY SHROUD (DARK FINISH)
15	CAST-IN-PLACE CONCRETE PORCH
16	WOOD SLAT SCREEN WALL
17	PREFINISHED METAL OVERHEAD GARAGE DOORS (DARK FINISH)
18	STEPPED CONCRETE PAVERS
19	ADDRESS SIGNAGE ON WOOD PANELING

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

SPACE RESERVED FOR AHJ STAMP

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MINNEAPOLIS, MN 55428
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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

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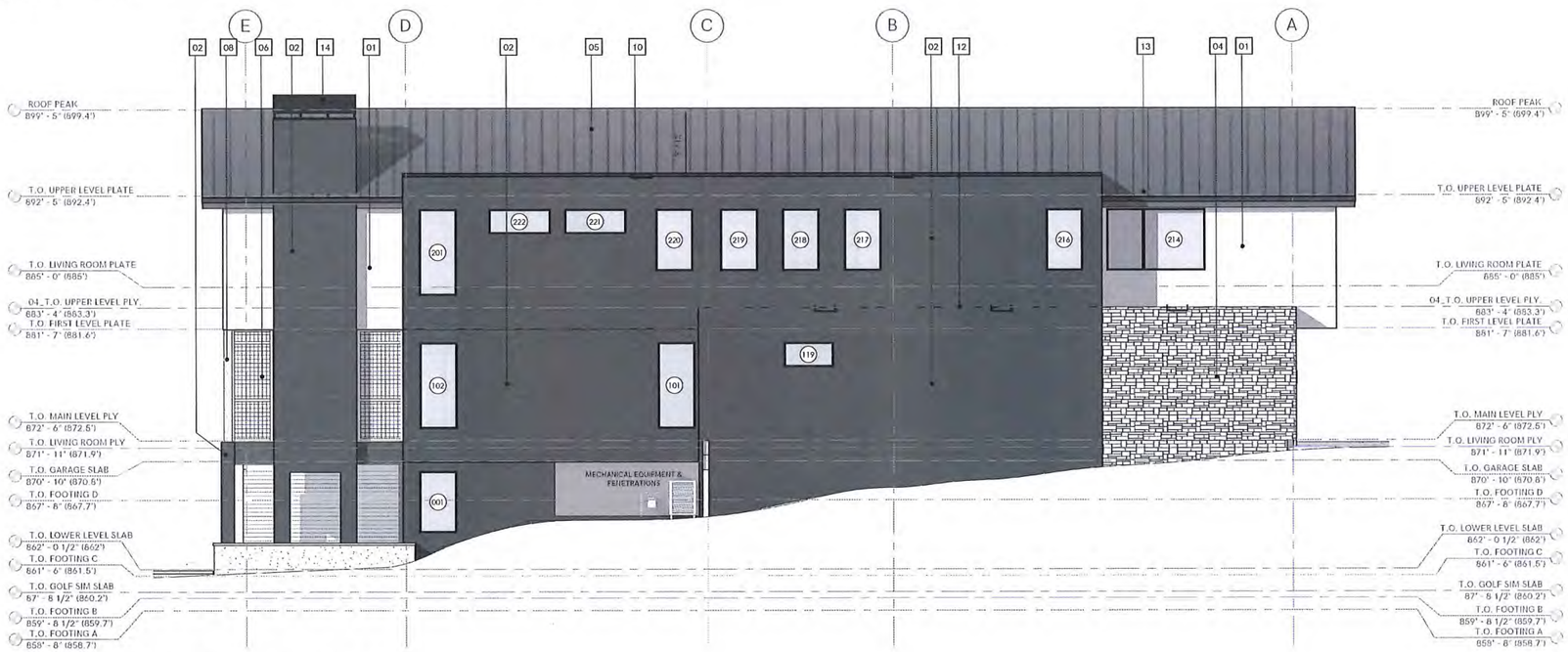
2 EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"



1 EXTERIOR ELEVATION - EAST
3/16" = 1'-0"

MATERIAL KEYNOTE LEGEND

KEY VALUE	MATERIAL DESCRIPTION
01	LIGHT STUCCO
02	HARDIE PANELING (DARK FINISH)
03	WOOD LOOK SIDING
04	STONE VENEER (LIGHT FINISH)
05	STANDING SEAM METAL ROOFING (DARK FINISH)
06	SCREEN PORCH
07	CONCRETE RETAINING WALL
08	TIMBER POST & BEAM CONSTRUCTION
09	DARK PREFINISHED METAL DOWNSPOUT/GUTTER
10	DARK PREFINISHED MINIMAL METAL SCUPPER. TYPICAL
11	RAIN CHAIN
12	PREFINISHED METAL COPING (DARK FINISH)
13	2x6 HARDIE FASCIA BOARD (DARK FINISH)
14	POWDER COATED CHIMNEY SHROUD (DARK FINISH)
15	CAST-IN-PLACE CONCRETE PORCH
16	WOOD SLAT SCREEN WALL
17	PREFINISHED METAL OVERHEAD GARAGE DOORS (DARK FINISH)
18	STEPPED CONCRETE PAVERS
19	ADDRESS SIGNAGE ON WOOD PANELING

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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A202

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3517 WEST 55TH STREET

3601 WEST 55TH STREET

CITY OF EDINA
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MORRIS RESIDENCE
3517 WEST 55TH ST
EDINA, MN 55410

REV.	DESCRIPTION	DATE
	50% CD's	09/21/2022

PROJECT NUMBER 2207

SHEET NAME
RENDERING

SHEET NUMBER
A203

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Surveyors Certificate

Existing Conditions Survey For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

3517 W 55th St

Basis for bearings is assumed

● Denotes Found Iron Monument

○ Denotes Iron Monument

Denotes Existing Contours

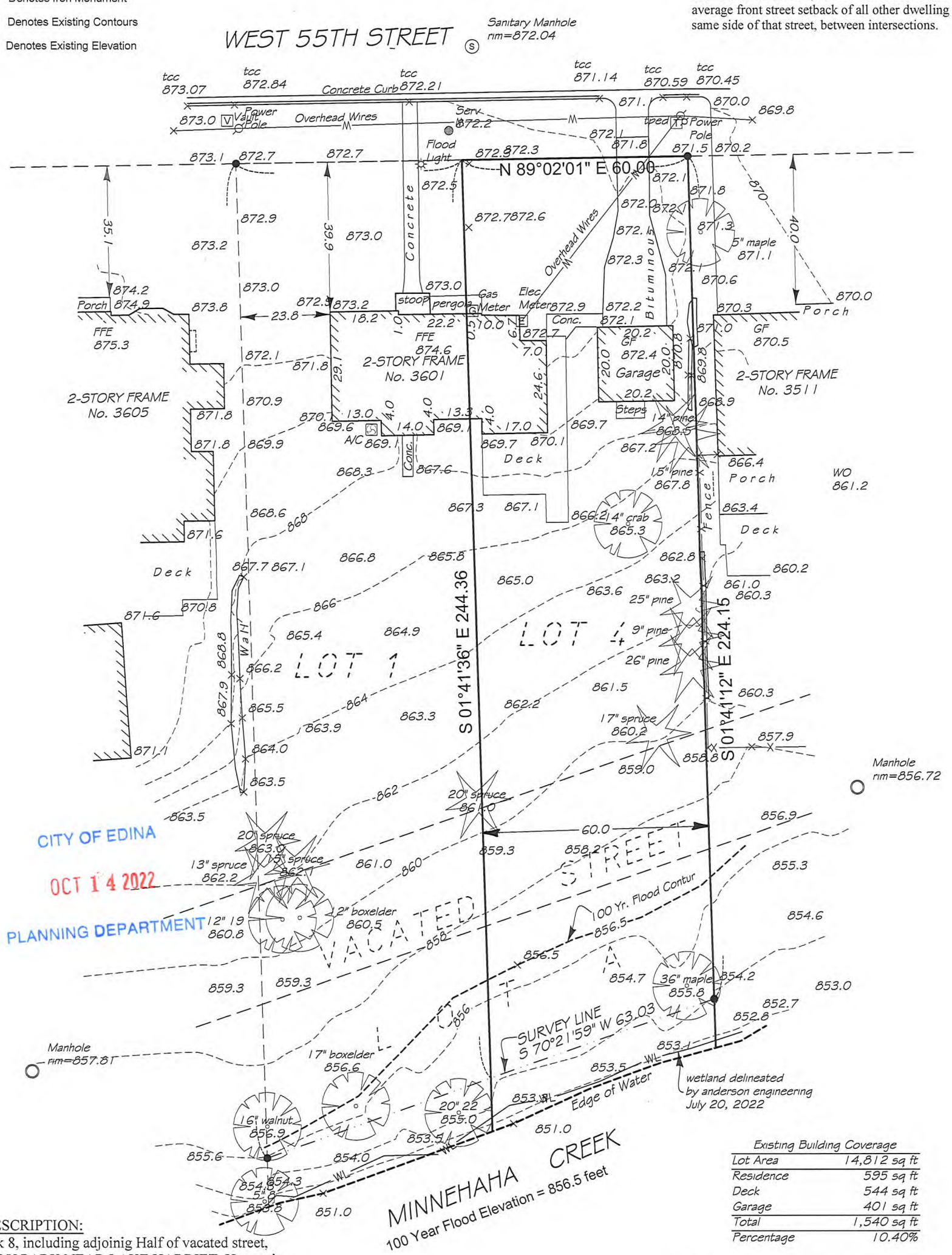
x000.0 Denotes Existing Elevation

Benchmark
Hydrant
TNH=875.84

Property Zoned R-1, Residential

Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.



Existing Building Coverage	
Lot Area	14,812 sq ft
Residence	595 sq ft
Deck	544 sq ft
Garage	401 sq ft
Total	1,540 sq ft
Percentage	10.40%

The only easements shown are from plats of record or information provided by client.

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Project No. 90033	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: Address Pending, Edina, MN	
PID No.: 20-028-24-22-0119	
rev 08.8.22 wetland delineation	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
Surveyed this 6th day of July 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarclnc.com

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

F:\survey\woodbury park near lake harriet - hennepin\1-7 woodbury park near lake harriet\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg

Surveyors Certificate

Proposed Site Plan Survey For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

- ● Denotes Found Iron Monument
- ○ Denotes Iron Monument
- ⊡ Denotes Wood Hub Set for excavation only
- Denotes Existing Contours
- Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- (000.0) Denotes Proposed Elevation
- Denotes Surface Drainage

Property Zoned R-1, Residential

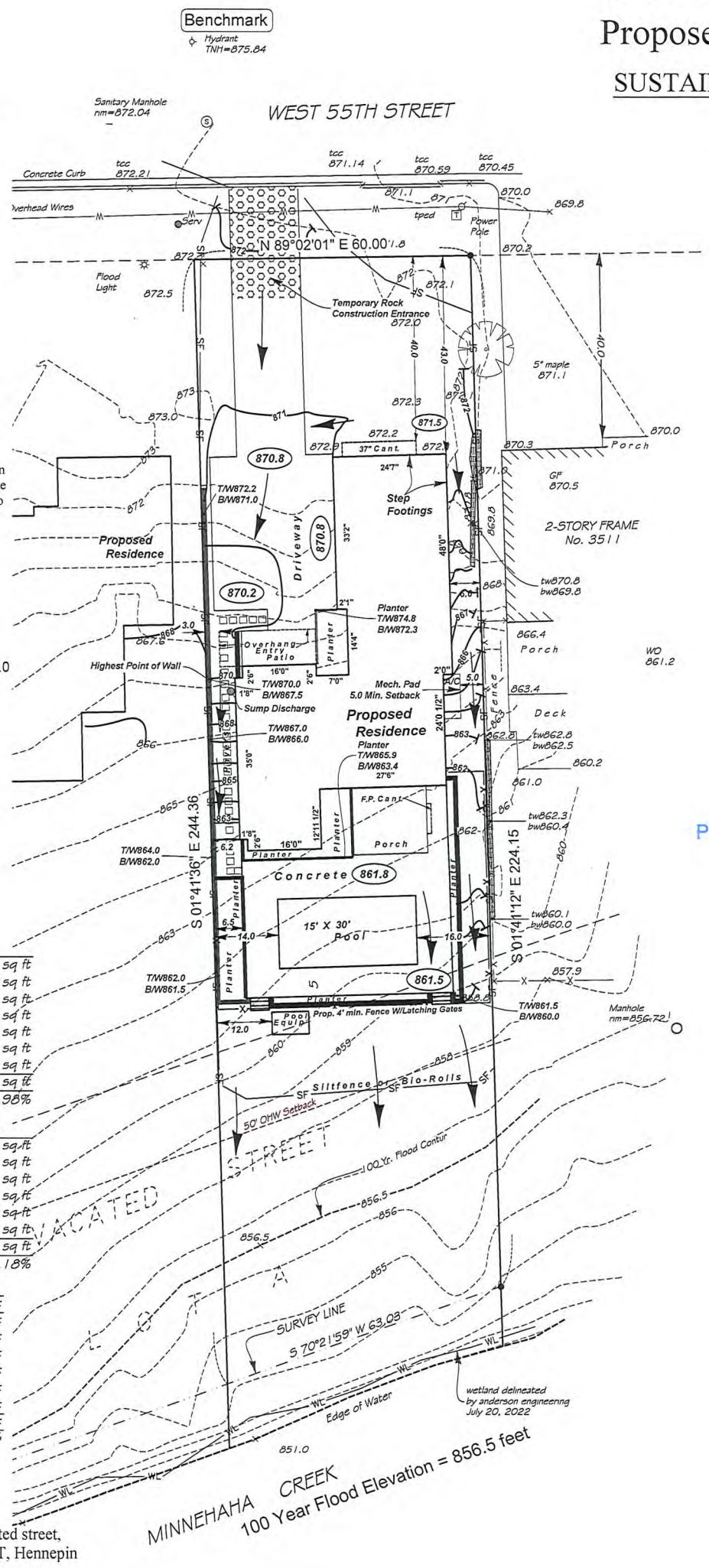
Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.

1,210.2 sf of basement below grade = 56%
951.8 sf of basement above grade = 44%

Average Existing Grade at Front of Existing House = 870.0

Basis for bearings is assumed



Proposed Hardcover	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Pavers	48 sq ft
Pool/Patio	1,412 sq ft
Driveway	1,664 sq ft
Total	6,070 sq ft
Percentage	40.98%

Building Coverage Summary	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Entry Allowance	-50 sq ft
Pool/Patio (Does not include Pool and 4' Surrounding Patio)	538 sq ft
Total	3,434 sq ft
Percentage	23.18%

Existing Hardcover	
Lot Area	14,812 sq ft
Residence	595 sq ft
Deck	544 sq ft
Garage	401 sq ft
Driveway	560 sq ft
Pergola	20 sq ft
Concrete	68 sq ft
Total	2,188 sq ft
Percentage	14.77%

900.0	Proposed Ridge Height
872.56	Proposed First Floor
870.8	Proposed Garage Floor
862.0	Proposed Basement Floor
860.2	Proposed Golf Simulator Slab

Type of Building
Full Basement Walkout

NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.

NOTE: The relationship between proposed floor elevations to be verified by builder.

NOTE: The only easements shown are from plats of record or information provided by client.

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Project No. 90033B	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: 3517 W 55th Street, Edina, MN	
PID: 20-028-24-22-0119	
rev 10.07.22 city comments	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
Prepared this 30th day of September 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

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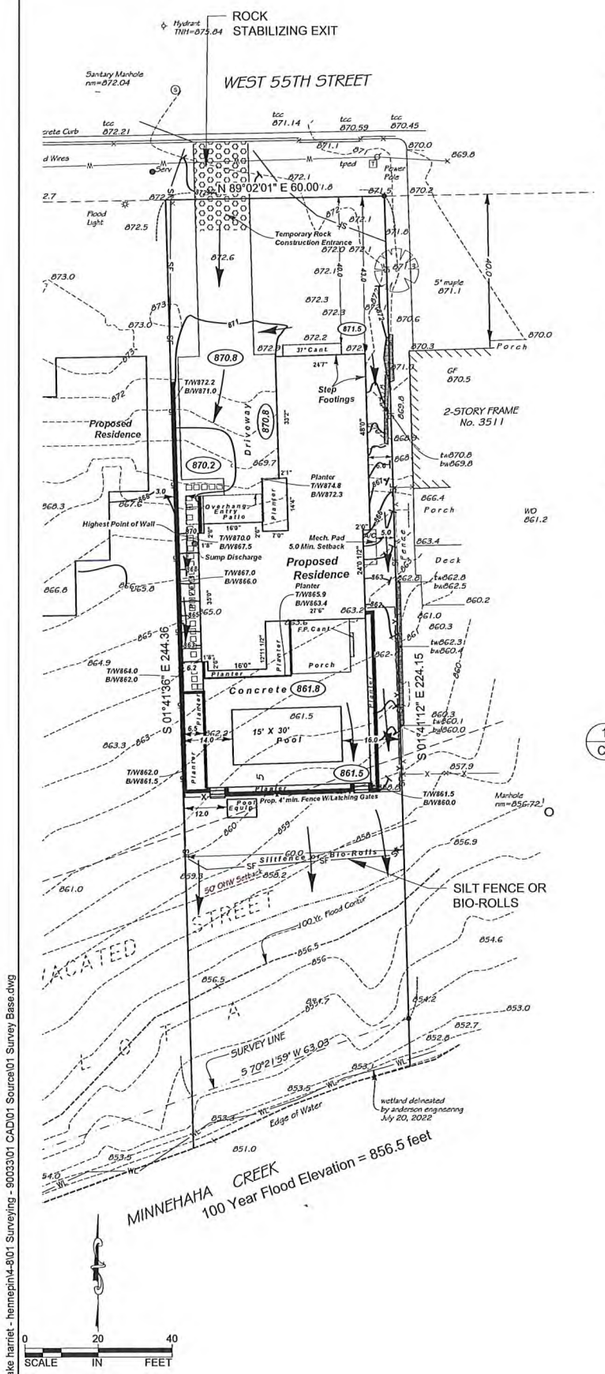
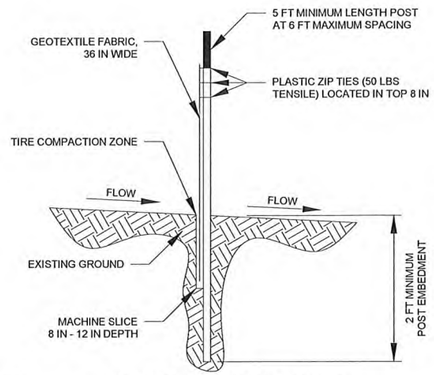
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
DemarcInc.com

F:\survey\woodbury park near lake harriet - hennepin\4-8\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg

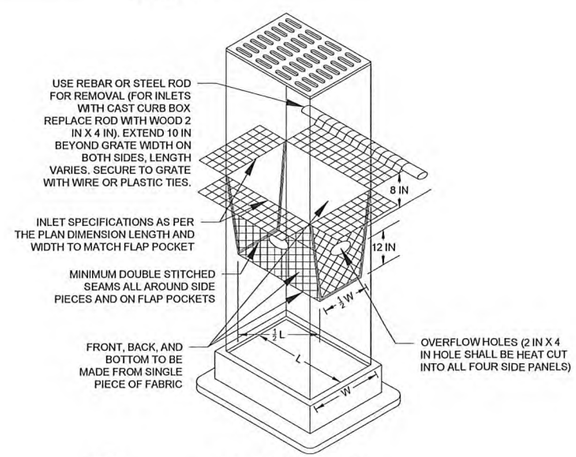


Proposed Hardcover	
Lot Area	14,812 sq ft
Building W/Cant.	2,583 sq ft
Entry Patio	124 sq ft
Rear Porch W/Cant.	239 sq ft
Pavers	48 sq ft
Pool/Patio	1,412 sq ft
Driveway	1,664 sq ft
Total	6,070 sq ft
Percentage	40.98%

Existing Hardcover	
Lot Area	14,812 sq ft
Residence	595 sq ft
Deck	544 sq ft
Garage	401 sq ft
Driveway	560 sq ft
Pergola	20 sq ft
Concrete	68 sq ft
Total	2,188 sq ft
Percentage	14.77%



1 / C1 SILT FENCE (MACHINE SLICED)
NOT TO SCALE



2 / C1 INLET PROTECTION
NOT TO SCALE

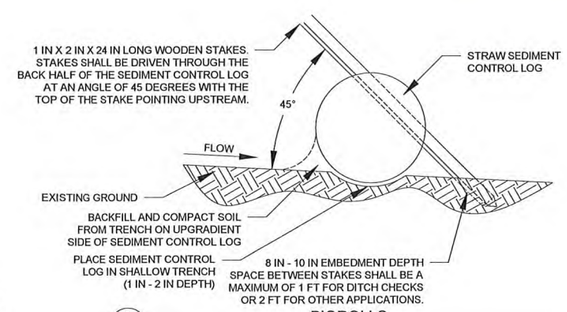
GENERAL GRADING NOTES:

1. THE STANDARD SPECIFICATIONS FOR THE CITY OF EDINA SHALL APPLY EXCEPT WHERE MODIFIED BY THESE DOCUMENTS.
2. "GOPHER STATE ONE CALL" (1-800-252-1166) SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS PRIOR TO ANY EXCAVATION.
3. PRIOR TO ANY CONSTRUCTION, THE GRADING CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY WITH ANY CONFLICTS.
4. THE GRADING CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE ON THE SITE AT ALL TIMES.
5. EXISTING TOPSOIL SHALL BE SALVAGED TO PROVIDE 4" TOPSOIL COVERAGE OVER ALL DISTURBED AREAS TO BE REVEGETATED.
6. THE BUILDING PAD MUST BE PROVIDED WITH POSITIVE DRAINAGE. THIS WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
7. AFTER THE SILT FENCE HAS BEEN REMOVED REMAINING SEDIMENT SHALL BE SMOOTHED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED OR SODDED AS DIRECTED BY THE CITY ENGINEER.
8. NO FINISHED SLOPE SHALL EXCEED 4H : 1V UNLESS OTHERWISE NOTED.
9. PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT.

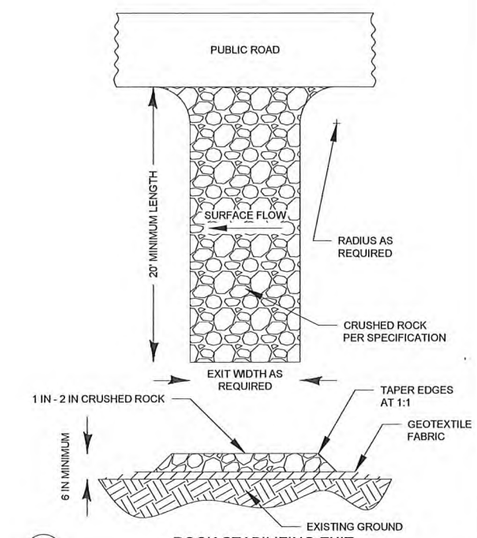
EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL BMP'S (I.E. SILT FENCE, BIO-ROLLS, ROCK CONSTRUCTION EXIT, INLET PROTECTION, ETC.) SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
2. INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (FLOODING / FREEZING) HAS BEEN IDENTIFIED. THE PERMITTED MUST RECEIVE WRITTEN CORRESPONDENCE FROM THE CITY ENGINEER VERIFYING THE NEED FOR REMOVAL.
3. INSTALL SEDIMENT CONTROL BMP'S, SUCH AS SILT FENCE, AROUND ALL STOCKPILES.
4. RETAIN AND PROTECT AS MUCH NATURAL VEGETATION AS FEASIBLE. WHEN VEGETATION IS REMOVED DURING DEVELOPMENT, THE EXPOSED CONDITION OF LAND SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME, BUT NOT LONGER THAN 60 DAYS. ANY EXPOSED AREAS EXCEEDING THIS TIME-FRAME SHALL BE TEMPORARILY STABILIZED (STRAW MULCH, WOODCHIPS, ROCK). AREAS BEING USED FOR MATERIAL STORAGE AND AREAS UNDER CONSTRUCTION ARE EXEMPT FROM TEMPORARY STABILIZATION.
5. ANY STEEP SLOPES (3H : 1V OR STEEPER) EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH TEMPORARY VEGETATION, MULCHING OR BY OTHER MEANS ACCEPTABLE TO THE BUILDING OFFICIAL WITHIN 14 DAYS OF CEASING LAND DISTURBING ACTIVITIES ON THE STEEP SLOPES. STOCKPILES MAY BE PROTECTED BY AN ANCHORED TARP OR PLASTIC SHEET.
6. PROVIDE DUST CONTROL AS NECESSARY. DUST CONTROL CAN INCLUDE WATER.
7. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC PAVEMENT AREAS ON A DAILY BASIS OR AS NEEDED.
8. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED EVERY 7 DAYS, OR WITHIN 24 HOURS OF ALL RAIN EVENTS GREATER THAN 1.0" IN 24 HOURS. CORRECTIVE ACTION REQUIRED SHALL BE INITIATED WITHIN 24 HOURS.
9. SILT FENCE, BIO-ROLLS AND INLET PROTECTION DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW.
10. AFTER FINAL GRADING HAS BEEN COMPLETED, EXPOSED SOILS MUST BE PERMANENTLY STABILIZED AS SOON AS POSSIBLE. PERMANENT STABILIZATION SHALL CONSIST OF 4 INCHES TOPSOIL, AND SEED, MULCH AND FERTILIZER APPLIED BY METHODS AND RATES RECOMMENDED IN MN/DOT SPECIFICATION 2575 AND MN/DOT SEEDING MANUAL, OR SOD. THE SEED MIX SHALL BE MN/DOT 25-151.
11. NO CONCRETE WASHOUT ALLOWED ON SITE, TRUCK BASED SELF CONTAINMENT WASHOUT DEVICES REQUIRED.
12. OIL STAINS ON CITY STREETS SHALL BE CLEANED UP WITH FLOOR DRY, AND DISPOSED OF AS A HAZARDOUS WASTE MATERIAL.
13. ALL HAZARDOUS WASTE SHALL BE STORED CLEANED UP AND DISPOSED OF PER EPA STANDARDS.
14. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE AFTER PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
16. TEMPORARY PUMPED DISCHARGE POLLUTION PREVENTION TECHNIQUES: "DANDY DEWATERING BAG" BROCK WHITE CO. USA.
17. CONTACT PERSON FOR SITE CLEANLINESS AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROLS: Jake Nau (612)-250-9491.

CITY OF EDINA
OCT 14 2022
PLANNING DEPARTMENT



3 / C1 BIOROLLS
NOT TO SCALE



4 / C1 ROCK STABILIZING EXIT
NOT TO SCALE

F:\survey\woodbury park near lake harriet - hennepin\4-8\01 Surveying - 90033\01 CAD\01 Source\01 Survey Base.dwg

DESIGNED BY:	JAP
DRAWN BY:	JWL
CHECKED BY:	GRP

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JEFFREY A. PRASCH, P.E.

DATE: 09.30.22 LIC. NO.: 52706

REVISIONS	
10.07.22	CITY COMMENTS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarcinc.com

SUSTAINABLE 9 DESIGN & BUILD
3511 W 44TH STREET
MINNEAPOLIS 55410

LOT 4, BLOCK 8
WOODBURY PARK NEAR LAKE HARRIET
3517 WEST 55TH STREET
EDINA, MN

EROSION AND SEDIMENT CONTROL PLAN

PROJECT: 90033B

SHEET NO. C1 OF C1

Surveyors Certificate

Tree Preservation Plan For:

SUSTAINABLE 9 DESIGN & BUILD

Property located in Section
20, Township 28, Range 24,
Hennepin County, Minnesota

Basis for bearings is assumed

Tree Removals Tree #	To be Removed	To Be Preserved	To Be Replaced
(5) 36" Silver Maple			✓
(8) 20" Spruce			✓
(9) 17" Spruce	✓		
(10) 26" Pine	✓		
(11) 9" Pine	✓		
(12) 25" Pine	✓		
(13) 15" Pine	✓		
(14) 14" Pine	✓		
(15) 14" Crab	✓		

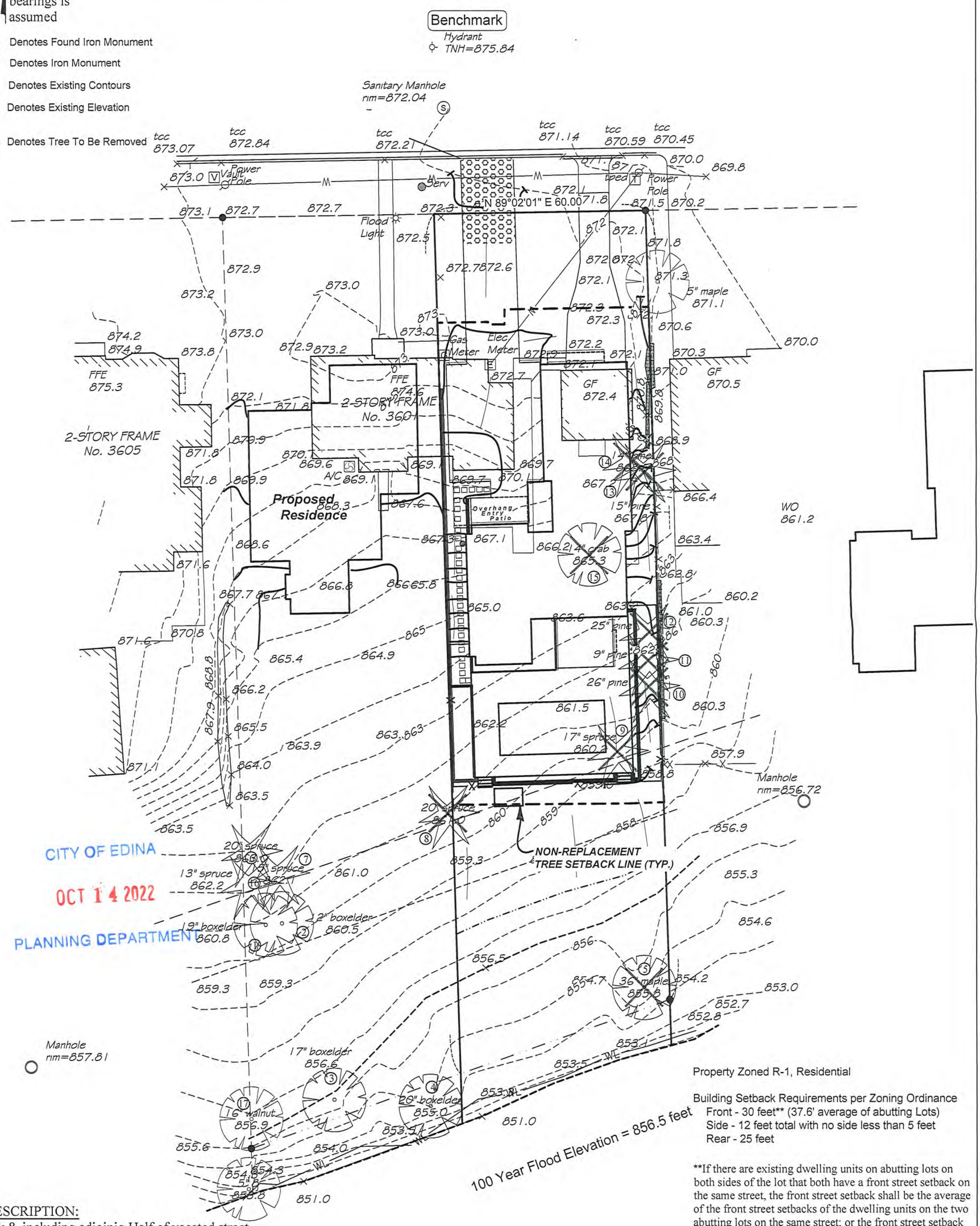
● Denotes Found Iron Monument

○ Denotes Iron Monument

Denotes Existing Contours

x000.0 Denotes Existing Elevation

Denotes Tree To Be Removed



CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

Property Zoned R-1, Residential

Building Setback Requirements per Zoning Ordinance
Front - 30 feet** (37.6' average of abutting Lots)
Side - 12 feet total with no side less than 5 feet
Rear - 25 feet

**If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.

LEGAL DESCRIPTION:
Lot 4, Block 8, including adjoinig Half of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.
AND
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining Half of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

The only easements shown are from plats of record or information provided by client.

Project No. 90033A	SCALE 1" = 30'
F.B.No. 1128-04	Drawn By
Address: 3517 West 55th Street, Edina, MN	
PID No.: 20-028-24-22-0119	
rev 10.13.22 tree removals	

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Surveyed this 6th day of July 2022.

Signed _____
Gregory R. Prasch, Minn. Reg. No. 24992

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LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
DemarcInc.com

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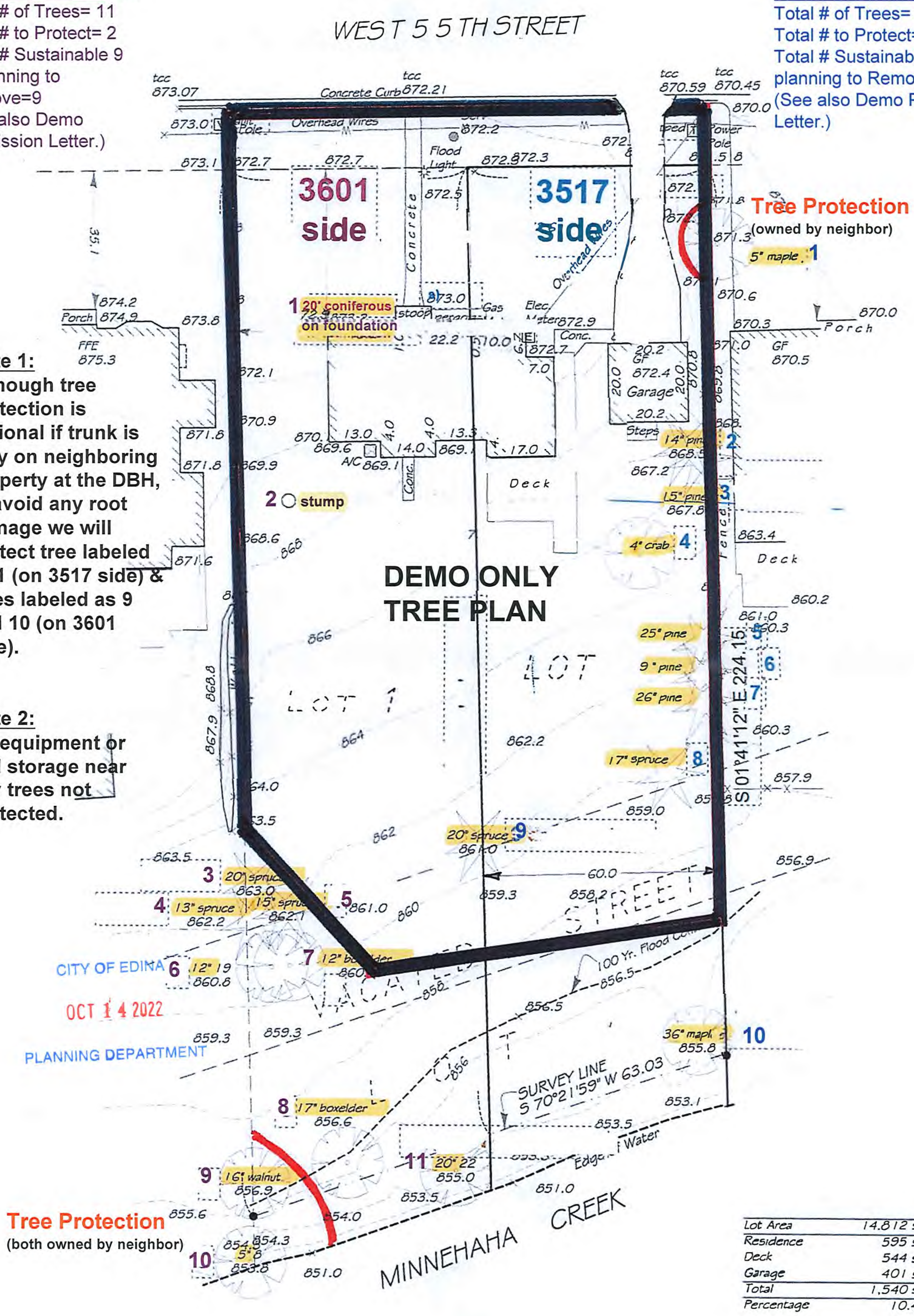
*TREE PLAN SUBMITTED AND APPROVED FOR DEMO PERMIT
~ REFERENCE ONLY ~

3601 W 55th St To
Total # of Trees= 11
Total # to Protect= 2
Total # Sustainable 9 is planning to Remove=9
(See also Demo Permission Letter.)

3517 W 55th St
Total # of Trees= 10
Total # to Protect= 1
Total # Sustainable 9 is planning to Remove= 9
(See also Demo Permission Letter.)



Note 1:
Although tree protection is optional if trunk is fully on neighboring property at the DBH, to avoid any root damage we will protect tree labeled as 1 (on 3517 side) & trees labeled as 9 and 10 (on 3601 side).

Note 2:
No equipment or soil storage near any trees not protected.

Lot Area	14,812 sq
Residence	595 sq
Deck	544 sq
Garage	401 sq
Total	1,540 sq
Percentage	10.4

CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

CITY OF EDINA

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PLANNING DEPARTMENT

*PRE-DEMOLITION (Demo is now complete)

EAST NEIGHBOR

CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

CITY OF EDINA

OCT 14 2022

PLANNING DEPARTMENT

STORMWATER MANAGEMENT PLAN

Lot 4, Block 8, Woodbury Park Near Lake Harriet

3517 West 55th Street

Edina, Minnesota

September 30th, 2022

Rev. – October 7th, 2022

Prepared By:

DEMARC

LAND SURVEYING & ENGINEERING

Prepared For:

Sustainable 9 Design & Build
3511 West 44th Street
Minneapolis, Minnesota 55410

I hereby certify that this Plan, Specification or Report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jeffrey A. Prasch, PE Project Engineer	52706 License Number	09.30.22 Date

Table of Contents

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1.0 Project Overview ii

2.0 Design Considerations ii

3.0 Subcatchment Analysis ii

Table 3.1 – Subcatchment Area Summary ..... *ii*

Appendix A – Figures

Figure 1 - Drainage Areas Existing Conditions

Figure 2 - Drainage Areas Proposed Conditions

CITY OF EDINA
OCT 14 2022

PLANNING DEPARTMENT

1.0 Project Overview

A new house with driveway is being proposed at 3517 West 55th Street in the City of Edina (City). The proposed house is located on a new lot created by a lot split of Lot 1, Block 7 Woodbury Park Near Lake Harriet (3601 W 55th Street). The lot that this project is located on is the East 60 feet of the original lot, which equates to 0.34 acres. This part of the original lot contained approximately one third of the original house along with the detached garage and driveway. There is private property located to the east and west, street to the north and Minnehaha Creek creates the south boundary for the lot. Currently, most of the site flows south directly into Minnehaha creek with part of the front yard and driveway flowing to the street and a portion of the east side yard flowing east to private property. The street and private property subcatchments flow via storm sewer into Minnehaha Creek. Minnehaha Creek is considered a regional flooding issue according to the City of Edina Engineering Department. The existing drainage conditions are shown in **Figure 1.**

The proposed improvements include a new house with attached garage, driveway, porch, and pool with surrounding patio. Because this lot originally only supported half of a residence, there will be a large increase in impervious surface. The stormwater from these impervious surfaces will be primarily drained to the creek via a side yard swale and grading of the new driveway. This will prohibit an increase in rates to private property. **Figure 2** shows the proposed drainage conditions.

2.0 Design Considerations

The site is under the jurisdiction of Minnehaha Creek Watershed District (MCWD) and the City. This project will not trigger the MCWD stormwater rule because it is the redevelopment of a single-family home. This project will trigger Category 2 of the City's Rule because it is the redevelopment of a single-family home. The on-site storm water system design is based on their guidelines:

- Rate and Volume Modeling Software – HydroCAD 10.10
- Rainfall Distribution – MSE 24-hour Type III
- Rainfall Data – NOAA Atlas 14 rainfall data as shown in **Figure 3.**
- Soil Conditions – Hydrologic Soil Group B based on web soil survey shown in **Appendix D.**

3.0 Subcatchment Analysis

The City regulates the rate of water discharged from the site. The discharge rate requirement is no increase in peak rate to private property for the 10-yr storm event. In regards to volume control, the site does not flow to structural flooding. It does flow into the regional flooding of Minnehaha Creek. **Table 3.1** shows the existing and proposed Subcatchment Analysis .

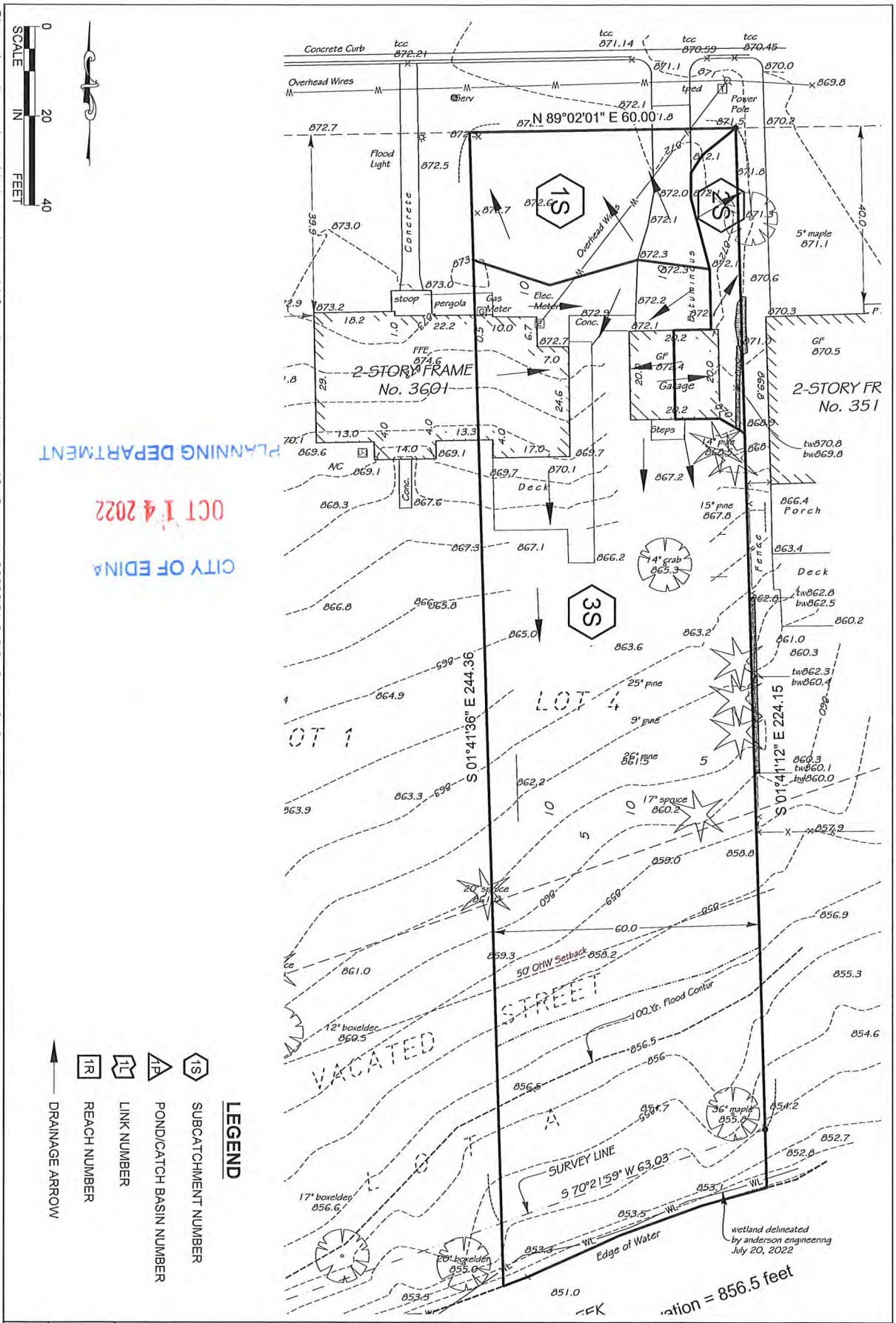
Table 3.1 – Subcatchment Area Summary

Subcatchment	Impervious Area [sf]		Total Area [sf]	
	Pre-	Post-	Pre-	Post-
Street (1S)	313	631	1,622	1,914
Private Property (2S)	672	0	672	471
Minnehaha Creek (3S)	1,674	5,439	12,518	12,427

As shown in the table above, the discharge rates to private property will not increase because of the decrease in impervious area and decrease in total area flowing to private property.

Appendix A

Figures



PLANNING DEPARTMENT

OCT 14 2022

CITY OF EDINA

LEGEND

- 1S SUBCATCHMENT NUMBER
- 1P POND/CATCH BASIN NUMBER
- 1L LINK NUMBER
- 1R REACH NUMBER
- DRAINAGE ARROW

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09.30.2022	FIGURE 1	DRAINAGE AREAS EXISTING CONDITIONS	**LOT 4, BLOCK 8 WOODBURY PARK NEAR LAKE HARRIET** 3517 WEST 55TH STREET EDINA, MN

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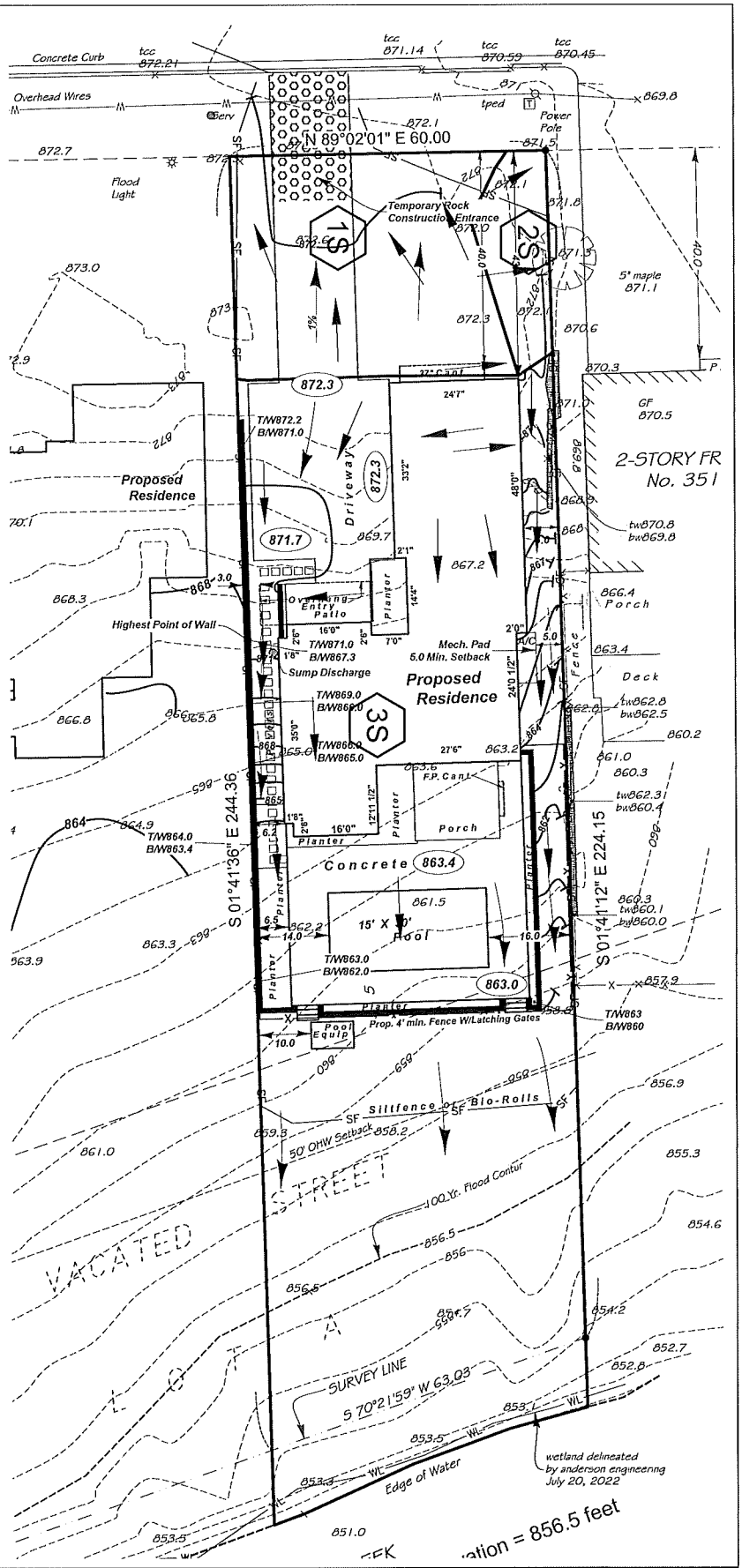

SCALE 0 20 40 IN FEET

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LEGEND

- 1S SUBCATCHMENT NUMBER
- 1P POND/CATCH BASIN NUMBER
- 1L LINK NUMBER
- 1R REACH NUMBER
- DRAINAGE ARROW

09.30.2022	FIGURE 2	DRAINAGE AREAS PROPOSED CONDITIONS	LOT 4, BLOCK 8 WOODBURY PARK NEAR LAKE HARRIET 3517 WEST 55TH STREET EDINA, MN

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FIGURE 3 - PRECIPITATION DATA

NOAA Atlas 14, Volume 8, Version 2
Location name: Minneapolis, Minnesota, USA*
Latitude: 44.9126°, Longitude: -93.3445°
Elevation: 919.99 ft**
* source: ESRI Maps
** source: USGS

CITY OF EDINA

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

OCT 14 2022

NOAA, National Weather Service, Silver Spring, Maryland

PF_tabular | PF_graphical | Maps_&_aerials

PLANNING DEPARTMENT

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)[1]

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.353 (0.288-0.438)	0.419 (0.342-0.520)	0.532 (0.432-0.662)	0.630 (0.509-0.788)	0.773 (0.605-1.00)	0.889 (0.677-1.17)	1.01 (0.741-1.35)	1.14 (0.798-1.56)	1.31 (0.884-1.85)	1.45 (0.949-2.07)
10-min	0.517 (0.422-0.642)	0.613 (0.501-0.762)	0.778 (0.633-0.970)	0.923 (0.746-1.15)	1.13 (0.886-1.47)	1.30 (0.992-1.71)	1.48 (1.09-1.98)	1.67 (1.17-2.29)	1.92 (1.30-2.71)	2.13 (1.39-3.03)
15-min	0.630 (0.515-0.783)	0.748 (0.610-0.929)	0.949 (0.772-1.18)	1.13 (0.909-1.41)	1.38 (1.08-1.79)	1.59 (1.21-2.08)	1.80 (1.32-2.42)	2.03 (1.43-2.79)	2.35 (1.58-3.31)	2.60 (1.70-3.69)
30-min	0.891 (0.729-1.11)	1.07 (0.870-1.32)	1.36 (1.11-1.70)	1.62 (1.31-2.03)	2.00 (1.56-2.59)	2.30 (1.75-3.01)	2.61 (1.92-3.50)	2.94 (2.07-4.05)	3.40 (2.29-4.79)	3.77 (2.46-5.36)
60-min	1.16 (0.950-1.44)	1.39 (1.13-1.72)	1.78 (1.45-2.22)	2.15 (1.74-2.69)	2.70 (2.13-3.54)	3.17 (2.42-4.19)	3.67 (2.70-4.95)	4.21 (2.96-5.82)	4.99 (3.36-7.05)	5.61 (3.66-7.98)
2-hr	1.43 (1.18-1.77)	1.70 (1.40-2.10)	2.21 (1.81-2.73)	2.68 (2.18-3.33)	3.41 (2.71-4.46)	4.04 (3.12-5.32)	4.73 (3.51-6.36)	5.48 (3.89-7.54)	6.57 (4.47-9.25)	7.46 (4.90-10.5)
3-hr	1.60 (1.32-1.96)	1.89 (1.56-2.33)	2.46 (2.02-3.03)	3.00 (2.45-3.71)	3.87 (3.10-5.07)	4.63 (3.60-6.10)	5.48 (4.09-7.36)	6.41 (4.58-8.82)	7.78 (5.33-10.9)	8.91 (5.89-12.5)
6-hr	1.88 (1.56-2.29)	2.21 (1.83-2.70)	2.86 (2.36-3.50)	3.51 (2.88-4.31)	4.56 (3.69-5.96)	5.49 (4.30-7.20)	6.53 (4.92-8.74)	7.69 (5.54-10.5)	9.41 (6.49-13.2)	10.8 (7.21-15.1)
12-hr	2.13 (1.78-2.58)	2.53 (2.11-3.06)	3.27 (2.72-3.97)	3.98 (3.29-4.86)	5.09 (4.12-6.56)	6.06 (4.76-7.85)	7.11 (5.38-9.41)	8.28 (5.99-11.2)	9.97 (6.92-13.8)	11.4 (7.62-15.8)
24-hr	2.49 (2.09-3.00)	2.86 (2.40-3.45)	3.58 (2.99-4.32)	4.29 (3.56-5.19)	5.41 (4.41-6.92)	6.39 (5.06-8.23)	7.49 (5.71-9.85)	8.71 (6.35-11.7)	10.5 (7.34-14.4)	12.0 (8.09-16.5)
2-day	2.90 (2.45-3.46)	3.25 (2.74-3.88)	3.94 (3.31-4.72)	4.63 (3.87-5.57)	5.76 (4.74-7.32)	6.76 (5.39-8.64)	7.88 (6.05-10.3)	9.13 (6.72-12.2)	11.0 (7.75-15.0)	12.5 (8.53-17.1)
3-day	3.17 (2.68-3.76)	3.52 (2.98-4.19)	4.23 (3.56-5.04)	4.93 (4.13-5.90)	6.06 (5.00-7.66)	7.07 (5.66-9.00)	8.20 (6.33-10.7)	9.47 (7.00-12.6)	11.3 (8.03-15.4)	12.9 (8.82-17.5)
4-day	3.37 (2.87-4.00)	3.76 (3.19-4.46)	4.50 (3.80-5.35)	5.22 (4.39-6.23)	6.38 (5.27-8.01)	7.40 (5.93-9.36)	8.52 (6.59-11.0)	9.78 (7.24-12.9)	11.6 (8.25-15.7)	13.1 (9.02-17.8)
7-day	3.88 (3.31-4.57)	4.38 (3.74-5.16)	5.27 (4.48-6.23)	6.09 (5.14-7.22)	7.31 (6.02-9.04)	8.34 (6.69-10.4)	9.44 (7.31-12.1)	10.6 (7.89-13.9)	12.3 (8.78-16.5)	13.7 (9.46-18.5)
10-day	4.37 (3.74-5.13)	4.95 (4.24-5.82)	5.96 (5.08-7.01)	6.83 (5.79-8.08)	8.11 (6.67-9.93)	9.15 (7.34-11.3)	10.2 (7.93-13.0)	11.4 (8.45-14.8)	13.0 (9.26-17.3)	14.2 (9.87-19.1)
20-day	5.94 (5.12-6.92)	6.67 (5.74-7.77)	7.86 (6.74-9.19)	8.86 (7.56-10.4)	10.3 (8.45-12.4)	11.3 (9.13-13.8)	12.4 (9.67-15.5)	13.5 (10.1-17.3)	15.0 (10.8-19.7)	16.1 (11.3-21.6)
30-day	7.33 (6.34-8.50)	8.19 (7.07-9.50)	9.56 (8.23-11.1)	10.7 (9.14-12.5)	12.2 (10.1-14.6)	13.3 (10.8-16.2)	14.5 (11.3-17.9)	15.6 (11.7-19.8)	17.0 (12.3-22.2)	18.1 (12.7-24.1)
45-day	9.13 (7.93-10.5)	10.2 (8.84-11.8)	11.9 (10.2-13.7)	13.2 (11.3-15.3)	14.9 (12.3-17.7)	16.2 (13.1-19.5)	17.4 (13.6-21.4)	18.5 (13.9-23.4)	19.9 (14.4-25.8)	20.9 (14.8-27.7)
60-day	10.7 (9.30-12.3)	12.0 (10.4-13.8)	13.9 (12.1-16.1)	15.5 (13.3-17.9)	17.4 (14.4-20.5)	18.8 (15.2-22.5)	20.1 (15.7-24.6)	21.2 (16.0-26.7)	22.6 (16.4-29.2)	23.5 (16.7-31.1)

[1] Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

Back to Top

DATE: 10/28/2022
TO: Cary Teague – Planning Director
FROM: Zuleyka Marquez, PE – Graduate Engineer
RE: **3601 55th St W - Subdivision Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections.

This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application. Plans reviewed included a stormwater management plan and report, existing and proposed surveys.

Summary of Work
The applicant proposes a lot split to build two homes. The existing home has already been demolished.

Survey & Easements
The benchmark is based on a hydrant in a recent reconstruction area. The benchmark may not be accurate.

A 24" sanitary sewer main is located in the rear yard. Surveyor must show on survey. A 20'-wide easement centered on the pipe shall be provided. Recorded easement required for permit closeout.

Grading and Drainage
The site drains to the street and Minnehaha Creek in both the existing and proposed condition. The west side swale is reduced by 20'.

Stormwater Mitigation
Stormwater was reviewed and is consistent with City of Edina Building Policy SP-003 standards. A final grade as-built survey and inspection will be required to verify compliance with the approved stormwater plan.

Floodplain Development
The FEMA 1% annual chance floodplain is located in the rear yard, with a base flood elevation of 856.0'. Thus, the lowest floor elevation is required at no less than 858.0'. The basement is proposed at 864.7'.

Erosion and Sediment Control
An erosion and sediment control plan was reviewed and is consistent with City of Edina Building Policy SP-002. Suggest a double row of silt fence in the rear yard due to the steep slope.

Street and Driveway Entrance
The applicant proposes a new driveway entrance. A driveway entrance permit will be required.
The street was reconstructed in 2021. Refer to standard plates 540 and 541 for patching requirements.

Public Utilities
Water and sanitary is served from 55th St W. Sanitary is also available from the rear yard. A one-inch water service line from the curb stop to the dwelling is required per the City's policy SP-024.

Sewer and water connection fees shall be paid prior to building permit issuance.

Miscellaneous

A Minnehaha Creek Watershed District permit may be required, applicant will need to verify with the district.

Sealed wells are located onsite. Thus, coordination with Minnesota Department of Health will not be required.

Retaining walls no more than 4' are proposed. Engineering is not required.

MEMORANDUM

DATE: July 13, 2022

TO: Hennepin County Taxpayer Services Department
CenterPoint Energy
USPS: West Edina Carrier Annex (55424, 55436, 55439)
Edina Office (55410)
Normandale Office (55435)
Chad.F.Stephan@usps.gov
Metropolitan Council
Xcel Energy - Email
City of Edina: Water/Utility Department, Assessing Department, Police Department, Health Department, Planning Department, Public Works Department, Engineering Department, Fire Department, Voter Registration

FROM: David Fisher, Chief Building Official

SUBJECT: Address Assignment change for a new lot split from one lot into two lots for single family dwellings

Please be advised of the following address assignment: 3601 55th St W

Legal Description: Lot Block

PID Number: 20-028-24-22-0087
20-028-24-22-0095

Old address: 3601 55th St W, Edina, MN 55424

New address: **3601 55th St W, Edina, MN 55424**
3517 55th St W, Edina, MN 55424

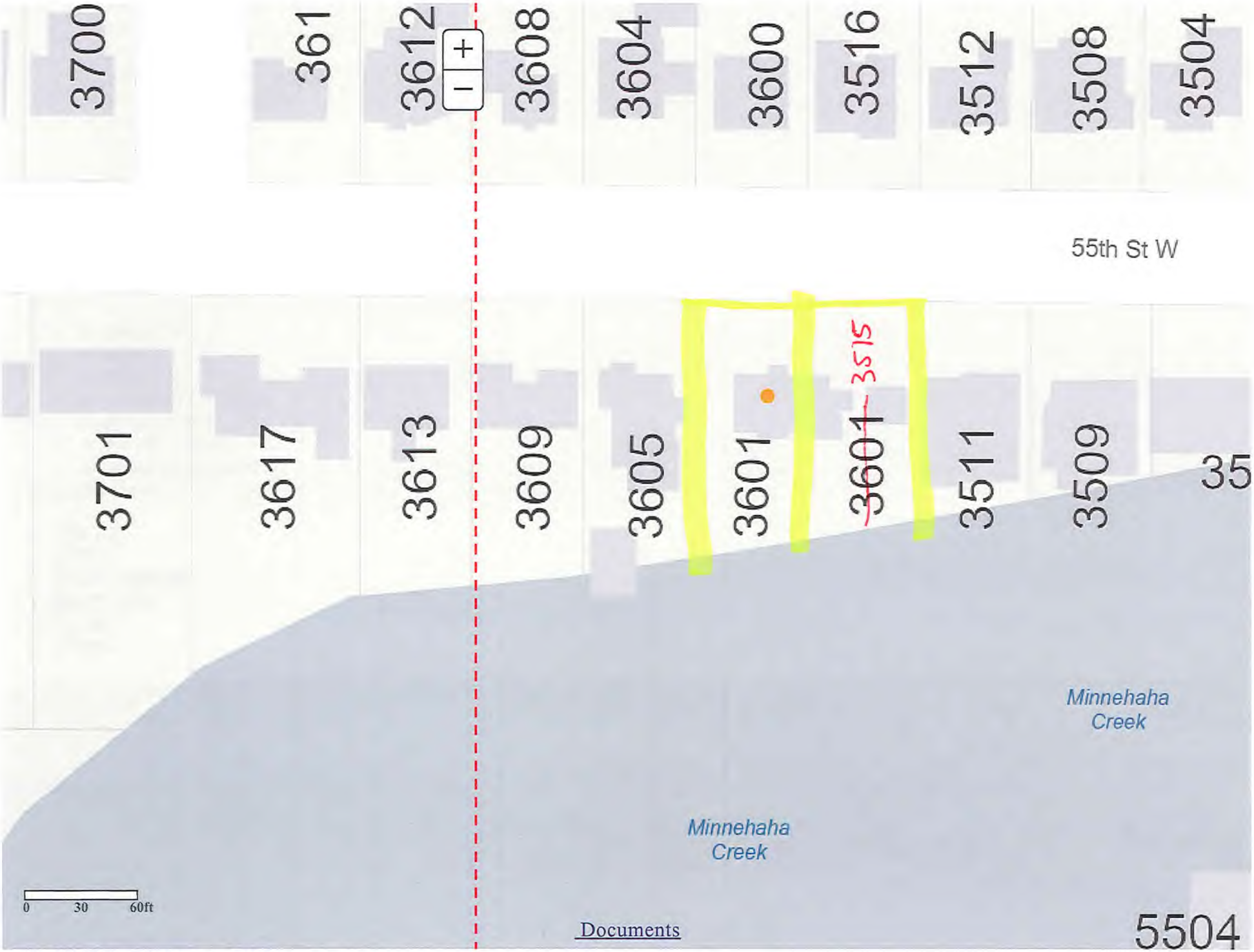
Multiple addresses: **3601 55th St W, Edina, MN 55424**
3517 55th St W, Edina, MN 55424

Reason for change: Lot split from one lot to two lots

Additional information: See attached info.

Please adjust your records accordingly.

I:\Building\Addresses\ADDRESS ASSIGNMENTS\2022\3601 55th St W .docx


3700
361
3612
3608
3604
3600
3516
3512
3508
3504
55th St W
3701
3617
3613
3609
3605
3601
~~3601~~ 3515
3511
3509
35
Minnehaha Creek
Minnehaha Creek
0 30 60ft
5504

Documents

PI381101 HENNEPIN COUNTY PROPERTY DIVISIONS SHEET NO. 1 OF 3
DIVISION # 210295

MUNICIPALITY: EDINA (24)

SCH DIST 273 WATERSHED 3 SEWER DIST
IF PROJ # GREEN ACRES OPEN SPACE
TRANS LINE/EZ INDIC

DIVIDE/COMBINE:

2021 PAY 2022
COPY FOR
DATE 12/17/21/
BY SR
FILED / /
APPROVED 12/11/21

* NEW PLAT X * TO ASSR / /
* REQUEST ___ * FROM ASSR / /
* WD ___ * VALUE CHECK / /
* QCD ___ * SPEC CHECK / /
* CD ___ * COMPUTER / /
* OTHER ___ * COMPLETED _____

PROPERTY ID 20-028-24 22 0087 PROPERTY ADDRESS 03601 55TH ST W

OWNER ERICA A BERGSLAND
TAXPAYER N/A ERICA A BERGSLAND
3601 55TH ST W
EDINA MN 55410

ADDITION NAME DATE FILED ADDN#
WOODBURY PARK NEAR LAKE HARRIET 04/20/1926 78050

DATE OF LAST TRAN 04/30/93
LOT 001 BLOCK 007 ACREAGE 0.27
APPROX PARCEL SIZE N 60X187X63X207

METES & BOUNDS DESCRIPTION
INCL ADJ 1/2 OF VAC STS

SR	EX	AG	PT	H	OWN%	LAND	BLDG	MACH	TOTAL	H-BASE1	H-BASE2	N/H-BASE1	N/H TC	GROSS TC

PROPERTY ID 20-028-24 22 0095 PROPERTY ADDRESS 03601 55TH ST W

OWNER ERICA A BERGSLAND
TAXPAYER N/A ERICA A BERGSLAND
3601 55TH ST W
EDINA MN 55410

ADDITION NAME DATE FILED ADDN#
WOODBURY PARK NEAR LAKE HARRIET 04/20/1926 78050

DATE OF LAST TRAN 04/30/93
LOT 004 BLOCK 008 ACREAGE 0.25
APPROX PARCEL SIZE N 60X168X63X187

METES & BOUNDS DESCRIPTION
INCL ADJ 1/2 OF VAC ST

SR	EX	AG	PT	H	OWN%	LAND	BLDG	MACH	TOTAL	H-BASE1	H-BASE2	N/H-BASE1	N/H TC	GROSS TC

PI381101 HENNEPIN COUNTY PROPERTY DIVISIONS SHEET NO. 2 OF 3
DIVISION # 210295

PROPERTY ID 20-028-24 22 0098 PROPERTY ADDRESS 00024 ADDRESS UNASSIGNED

OWNER ERICA A BERGSLAND
TAXPAYER N/A ERICA A BERGSLAND
3601 55TH ST W
EDINA MN 55410

ADDITION NAME
WOODBURY PARK NEAR LAKE HARRIET

DATE FILED ADDN#
04/20/1926 78050

DATE OF LAST TRAN 04/30/93
LOT BLOCK ACREAGE 0.21
APPROX PARCEL SIZE 120 X 70

METES & BOUNDS DESCRIPTION
THAT PART OF LOT A LYING BET THE W LINE OF LOT 1 BLK 7 AND THE E LINE
OF LOT 4 BLK 8 EXTENDED ACROSS LOT A INCL ADJ 1/2 OF VAC ST

SR	EX	AG	PT	H	OWN%	LAND	BLDG	MACH	TOTAL	H-BASE1	H-BASE2	N/H-BASE1	N/H	TC	GROSS TC

DIVISION/COMBINATION:

NEW PROPERTY ID'S	SEC TWP RG QQ SUFX	SEC TWP RG QQ SUFX	SEC TWP RG QQ SUFX
	20-028-24 22 0118	20-028-24 22 0119	- -

PROPERTY DIVISIONS & COMBINATIONS Municipality: (24) Edina
Division Form No. HCPT03-2 (11/97) Date: 12/17/2021 03:09 Page 1 of 1

Sheet 3 Of 3

Division No. 210295

20-028-24-22-0118 Owner: ERICA A BERGSLAND
Taxpayer: ERICA A BERGSLAND
3601 55TH ST W
EDINA MN 55410

Property Address 24 ADDRESS PENDING

Mortgage Loan No:
Mortgage Code:

Addition No: 78050 Lot: 1 Block: 7 Acreage: Approx. Parcel Size: IRREGULAR

Metes & Bounds Description: INCLUDING ADJOINING HALF OF VACATED STREET; AND, THAT PART OF LOT A LYING BETWEEN THE WEST LINE OF LOT 1, BLOCK 7 AND THE EAST LINE OF LOT 4, BLOCK 8 EXTENDED ACROSS LOT A, INCLUDING ADJOING HALF OF VACATED STREET, ALL IN WOODBURY PARK NEAR LAKE HARRIET.

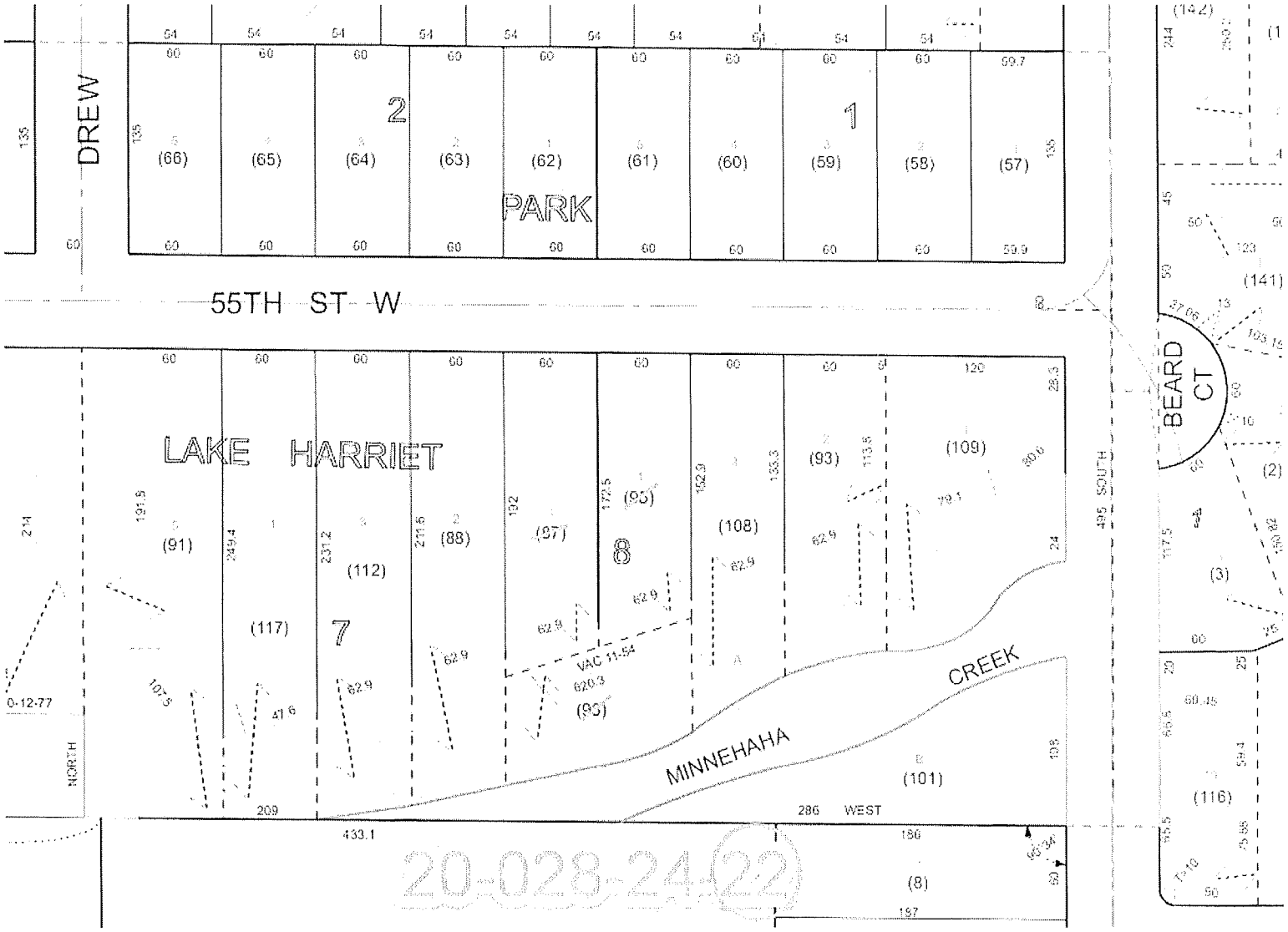
20-028-24-22-0119 Owner: ERICA A BERGSLAND
Taxpayer: ERICA A BERGSLAND
3601 55TH ST W
EDINA MN 55410

Property Address 24 ADDRESS PENDING

Mortgage Loan No:
Mortgage Code:

Addition No: 78050 Lot: 4 Block: 8 Acreage: Approx. Parcel Size: IRREGULAR

Metes & Bounds Description: INCLUDING ADJOING HALF OF VACATED STREET; AND, THAT PART OF LOT A LYING BETWEEN THE EAST AND WEST LINES OF LOT 4, BLOCK 8 EXTENDED ACROSS LOT A, INCLUDING ADJOINING HALF OF VACATED STREET, ALL IN WOODBURY PARK NEAR LAKE HARRIET.


DREW
55TH ST W
PARK
LAKE HARRIET
BEARD CT
MINNEHAHA CREEK
NORTH
495 SOUTH
286 WEST
VAC 11-54
0-12-77
(66)
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(64)
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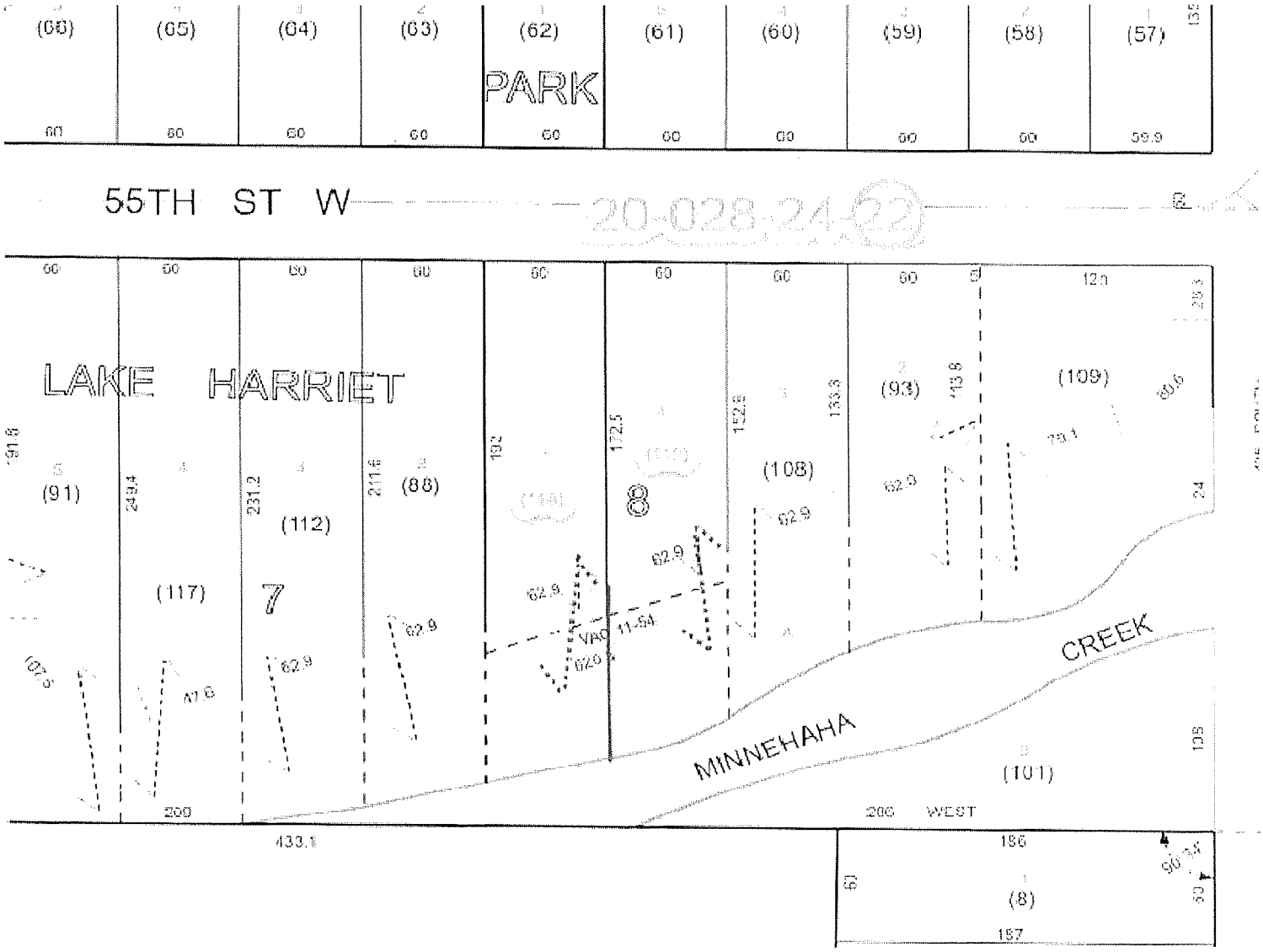
20-028-24-22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PARK
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55TH ST W
20-028-24-22
LAKE HARRIET
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(109)
(101)
MINNEHAHA
CREEK
200 WEST
433.1
(8)

PINS PRELIMINARY COVER SHEET

☐ DIVISION-OF-DIVISION

MUNICIPAL CODE	SCHOOL DISTRICT	WATERSHED DISTRICT	SEWER DISTRICT	TIF PROJECT #	NEW PLAT NAME	LAND TYPE: A(●) T( ) B( )	ADDITION CODE(S)
24	273	3	/	/			78050

SECTION	TOWNSHIP	RANGE	QUARTER-QUARTER	NEW IDS REQUIRED
20	028	24	22	2

DIVISION ☒ COMBINATION ☒

2021 PAY 2022

APPROVED BY CITY 12/11/2020

DATE SURVEYED

DATE CERTIFIED

DATE FILED

TECH SR DATE 12/17/2021

NEW PLAT

REQUEST X

W D

Q C D

C D

OTHER

DATA ENTERED ☐

OLD ID NUMBERS

SECTION	TOWNSHIP	RANGE	QUARTER-QUARTER	SUFFIX	GREEN ACRES	SPECIALS	SECTION	TOWNSHIP	RANGE	QUARTER-QUARTER	SUFFIX	GREEN ACRES	SPECIALS
20	028	24	22	0087	☐	☐						☐	☐
20	028	24	22	0095	☐	☐						☐	☐
20	028	24	22	0098	☐	☐						☐	☐
					☐	☐						☐	☐
					☐	☐						☐	☐
					☐	☐						☐	☐
					☐	☐							

☐ Check if there are additional ID numbers on next page

NOTES:

HENNEPIN COUNTY PARCEL DIVISIONS/COMBINATIONS — OWNER REQUEST FORM

Property ID and Platting Unit
Resident and Real Estate Services
A-500 Government Center
Minneapolis, MN 55487-0060

Email: RRES.PropertyIDandPlats@Hennepin.us
Phone: 612-348-3271

Owner Name: Erica A. Bergsland	
Address: 3601 W 55th St.	
Phone: 651-485-2835	Email: ebergsland@gmail.com
Mail Tax Statements To: Erica A Bergsland 3601 W 55th St. Edina, MN 55410	

I hereby make a request to change the assessment on the following described land:

☐ Divide ☐ Combine ☒ Other _____

For City Of: Edina	For Tax Year: earliest effective date
Property ID Numbers	
(1) 2002824220087	(4)
(2) 2002824220095	(5)
(3) 2002824220098	(6)
Additional Remarks: Per submitted resolution (2020-04 City of Edina) Divide and consolidate parcel 3 into parcels 1 & 2	

(For additional ID numbers, please add an attachment)

Owner Signature:	Date: 3/4/2021

Was a Survey done for this change? ☐ Yes ☐ No ***If yes, please send a copy of the Survey with this form.***

LAND TYPE Abstract (A)

DOC NUM 10914558

Certified, filed and/or recorded on
Feb 10, 2021 10:41 AM

Office of the County Recorder
Hennepin County, Minnesota
Martin McCormick, County Recorder
Mark Chapin, County Auditor and Treasurer

Deputy 98 Pkg ID 2171010E

Document Recording Fee	$46.00
Document Total	$46.00

This cover sheet is now a permanent part of the recorded document.

PLANNING RESOLUTION NO. 2020-04
APPROVING A LOT DIVISION
FOR PARCELS AT 3601 WEST 55TH STREET

WHEREAS, the following described tract of land is requested to be divided:

DESCRIPTION OF PROPERTY SURVEYED ORIGINAL (3) PARCELS

Lot 1, Block 7, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

Lot 4, Block 8, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

All that part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

WHEREAS, the owners of the described land desires to subdivide said tract in to the following described new and separate parcels (herein called "parcels") described as follows:

Parcel A
Lot 1, Block 7, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

AND

That part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

Parcel B
Lot 4, Block 8, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

AND

All that part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

WHEREAS, the requested lot line adjustment is authorized under Code Chapter 32 Section 32-6 and it has been determined to comply with the Subdivision and Zoning Regulations of the City of Edina and do not interfere with the Subdivision and Zoning Regulations as contained in the Edina City Code Chapter 32;

NOW THEREFORE, it is hereby resolved, that the lot division is hereby approved pursuant to City Code Sections 32-6.

Adopted this 11th day of December 2020.

ATTEST: Cary Teague
Cary Teague, City Planner

I hereby certify that the attached and foregoing Resolution is a true and correct copy of the administrative approval of a lot line adjustment.

Liz Olson
Liz Olson, Planning Division

LEGAL DESCRIPTION OF ORIGINAL PARCEL (AS SURVEYED 2001):
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

All that part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

PROPOSED LEGAL DESCRIPTION OF PARCEL A:
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

AND

That part of Lot A lying between the East and West lines of Lot 1, Block 7 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Contains: 15,909± Sq. Ft. as measured to the edge of water at the time of survey (2001).

PROPOSED LEGAL DESCRIPTION OF PARCEL B:
Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

AND

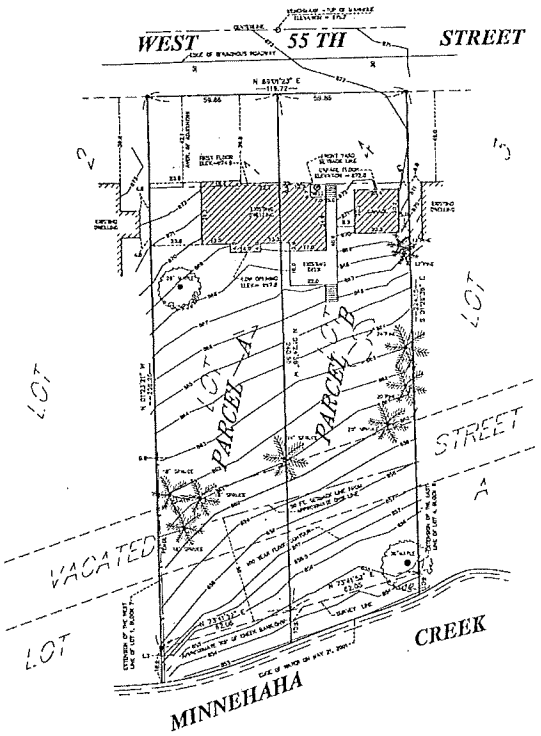
That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Contains: 14,677± Sq. Ft. as measured to the edge of water at the time of survey (2001).

SCOPE OF WORK & LIMITATIONS:

1. Showing a proposed lot split per a survey completed by James Parker, R.L.S. No. 9235, dated May 26, 2001. This survey does not purport to show existing conditions and no site visit was performed at this time.
2. Elevations shown hereon are per 2001 survey and have not been field verified - Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
3. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
4. We show a proposed division of the property per your instructions. Please review the proposed division to verify that it is what you intended. We suggest you submit this survey to the governmental agencies that have jurisdiction over it to obtain their approvals, if you can, before making any decisions regarding the property.

STANDARD SYMBOLS & CONVENTIONS:
"●" Denotes iron survey marker, found, unless otherwise noted.



DATE	REVISION DESCRIPTION
8/14/18	TO SHOW PROPOSED LOT SPLIT
8/13/18	TO SHOW UPDATED IMPROVEMENTS

DRAWING ORIENTATION & SCALE

CLIENT/JOB ADDRESS
ERICA BERGSLAND
3601 W. 55TH ST.
EDINA, MN

Advance
Surveying & Engineering, Co.
17817 Highway No. 7
Minnetonka, Minnesota 55345
Phone (952) 474-7544
Web: www.advnce.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Wayne Parker
WAYNE E. PARKER
84 14 07
LICENSE NO.
SEPTEMBER 27, 2018
DATE

SURVEYED DATE: MAY, 2001
DRAFTED DATE: MAY 26, 2001 AUGUST 14, 2018

SHEET TITLE: LOT SPLIT
SHEET SIZE: 22 X 34
DRAWING NUMBER: 160871 WP

SHEET NO. S1
SHEET 1 OF 1

LEGAL DESCRIPTION OF ORIGINAL PARCEL (AS SURVEYED 2001):
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

All that part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

PROPOSED LEGAL DESCRIPTION OF PARCEL A:
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

AND

That part of Lot A lying between the East and West lines of Lot 1, Block 7 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Contains: 15,909± Sq. Ft. as measured to the edge of water at the time of survey (2001).

PROPOSED LEGAL DESCRIPTION OF PARCEL B:
Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

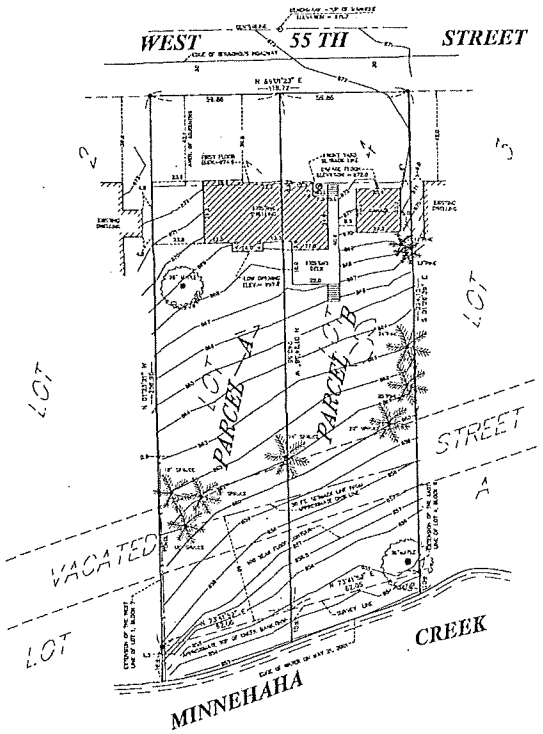
AND

That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Contains: 14,677± Sq. Ft. as measured to the edge of water at the time of survey (2001).

SCOPE OF WORK & LIMITATIONS:
1. Showing a proposed lot split per a survey completed by James Parker, R.L.S. No. 9235, dated May 26, 2001. This survey does not purport to show existing conditions and no site visit was performed at this time.
2. Elevations shown hereon are per 2001 survey and have not been field verified - Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
3. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
4. We show a proposed division of the property per your instructions. Please review the proposed division to verify that it is what you intended. We suggest you submit this survey to the governmental agencies that have jurisdiction over it to obtain their approvals, if you can, before making any decisions regarding the property.

STANDARD SYMBOLS & CONVENTIONS:
"●" Denotes iron survey marker, found, unless otherwise noted.



DATE	REVISION DESCRIPTION
8/16/18	TO SHOW PROPOSED LOT SPLIT
9/13/18	TO SHOW UPDATED IMPROVEMENTS

DRAWING ORIENTATION & SCALE

CLIENT/JOB ADDRESS
ERICA BERGSLAND
3601 W. 55TH ST.
EDINA, MN

Advance
Surveying & Engineering, Co.
17517 Highway No. 7
Minnetonka, Minnesota 55345
Phone (952) 474-7554
Web: www.advance.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Wayne Parker
Wayne M. Parker
843-03
LICENSE NO.
SEPTEMBER 27, 2018
DATE

SURVEYED DATE: MAY, 2001
DRAFTED DATE: MAY 26, 2001 AUGUST 16, 2018

SHEET TITLE: LOT SPLIT
SHEET SIZE: 22 X 34
DRAWING NUMBER: 180871 WP

SHEET NO. S1
SHEET 1 OF 1

SUSTAINABLE NINE
DESIGN + BUILD

Paul Trieu <paultrieu@sustainable9.com>

New Addresses for Two New Lots @ 3601 W 55th St, Edina

6 messages

Paul Trieu <paultrieu@sustainable9.com> Wed, Jul 20, 2022 at 9:08 AM
To: David Fisher <DFisher@edinamn.gov>
Cc: Vince Birdsley <vince@sustainable9.com>, Ryan Hanson <ryanhanson@sustainable9.com>, Chad Hanson <chadhanson@sustainable9.com>

Hi David - I'm starting a fresh email chain to address my question about the new lot numbers. On the document you sent previously, there are two different callouts for what the East lot should be numbered as.

It seems clear that the West lot will be 3601.
But for the new East lot you typed 3517 on the memo but then hand wrote 3515 on the next page...

Voter Registration

FROM: David Fisher, Chief Building Official

SUBJECT: Address Assignment change for a new lot split from one lot into two lots for single family dwellings

Please be advised of the following address assignment: 3601 55th St W

Legal Description: Lot Block

PID Number: 20-028-24-22-0087
20-028-24-22-0095

Old address: 3601 55th St W, Edina, MN 55424

New address: **3601 55th St W, Edina, MN 55424**
3517 55th St W, Edina, MN 55424

Multiple addresses: **3601 55th St W, Edina, MN 55424**
3517 55th St W, Edina, MN 55424

Reason for change: Lot split from one lot to two lots

Additional information: See attached info.

Please adjust your records accordingly.

I:\Building\Addresses\ADDRESS ASSIGNMENTS\2022\3601 55th St W .docx

CITY OF EDINA
4801 West 50th Street • Edina, Minnesota 55424
www.EdinaMN.gov • 952-927-8861 • Fax 952-826-0389

Can you please confirm which one is the correct address for the new East lot? 3515 or 3517?

Thanks,

Paul Trieu
Engineer | CPHT | PDC
Sustainable 9 Design + Build
M: 952-297-5622 | O: 612-234-4194
paultrieu@sustainable9.com

Paul Trieu <paultrieu@sustainable9.com> Tue, Aug 16, 2022 at 1:46 PM
To: David Fisher <DFisher@edinamn.gov>
Cc: Vince Birdsley <vince@sustainable9.com>, Ryan Hanson <ryanhanson@sustainable9.com>, Chad Hanson <chadhanson@sustainable9.com>

Hey David - Just following up on my question here regarding some confusion on what the correct new addresses are for these lots... Please confirm ASAP. Thank you!

Paul Trieu
Engineer | CPHT | PDC
Sustainable 9 Design + Build
M: 952-297-5622 | O: 612-234-4194
paultrieu@sustainable9.com

[Quoted text hidden]

David Fisher <DFisher@edinamn.gov> Tue, Aug 16, 2022 at 2:18 PM
To: Paul Trieu <paultrieu@sustainable9.com>
Cc: Vince Birdsley <vince@sustainable9.com>, Ryan Hanson <ryanhanson@sustainable9.com>, Chad Hanson <chadhanson@sustainable9.com>, Jamie Ericksen <JEricksen@edinamn.gov>

Paul,

Please use the number in the letter. 3517

David

David Fisher, Chief Building Official

952-826-0450 | Fax 952-826-0389

DFisher@EdinaMN.gov | EdinaMN.gov

From: Paul Trieu <paultrieu@sustainable9.com>
Sent: Tuesday, August 16, 2022 1:46 PM

PLANNING RESOLUTION NO. 2020-04
APPROVING A LOT DIVISION
FOR PARCELS AT 3601 WEST 55TH STREET

WHEREAS, the following described tract of land is requested to be divided:

DESCRIPTION OF PROPERTY SURVEYED ORIGINAL (3) PARCELS

Lot 1, Block 7, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

Lot 4, Block 8, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

All that part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

WHEREAS, the owners of the described land desires to subdivide said tract in to the following described new and separate parcels (herein called "parcels") described as follows:

Parcel A
Lot 1, Block 7, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

AND

That part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

Parcel B
Lot 4, Block 8, including adjoining ½ of vacated street, Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

AND

All that part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining ½ of vacated street, all in Woodbury Park near Lake Harriet, Hennepin County, Minnesota.

WHEREAS, the requested lot line adjustment is authorized under Code Chapter 32 Section 32-6 and it has been determined to comply with the Subdivision and Zoning Regulations of the City of Edina and do not interfere with the Subdivision and Zoning Regulations as contained in the Edina City Code Chapter 32;

NOW THEREFORE, it is hereby resolved, that the lot division is hereby approved pursuant to City Code Sections 32-6.

Adopted this 11th day of December 2020.

ATTEST: Cary Teague
Cary Teague, City Planner

I hereby certify that the attached and foregoing Resolution is a true and correct copy of the administrative approval of a lot line adjustment.

Liz Olson
Liz Olson, Planning Division

LEGAL DESCRIPTION OF ORIGINAL PARCEL (AS SURVEYED 2001):
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

All that part of Lot A lying between the West line of Lot 1, Block 7 and the East line of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

PROPOSED LEGAL DESCRIPTION OF PARCEL A:
Lot 1, Block 7, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

AND

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PROPOSED LEGAL DESCRIPTION OF PARCEL B:
Lot 4, Block 8, including adjoining 1/2 of vacated street, WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

AND

That part of Lot A lying between the East and West lines of Lot 4, Block 8 extended across Lot A, including adjoining 1/2 of vacated street, all in WOODBURY PARK NEAR LAKE HARRIET, Hennepin County, Minnesota.

Contains: 14,677± Sq. Ft. as measured to the edge of water at the time of survey (2001).

SCOPE OF WORK & LIMITATIONS:
1. Showing a proposed lot split per a survey completed by James Parker, R.L.S. No. 9235, dated May 26, 2001. This survey does not purport to show existing conditions and no site visit was performed at this time.
2. Elevations shown hereon are per 2001 survey and have not been field verified - Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
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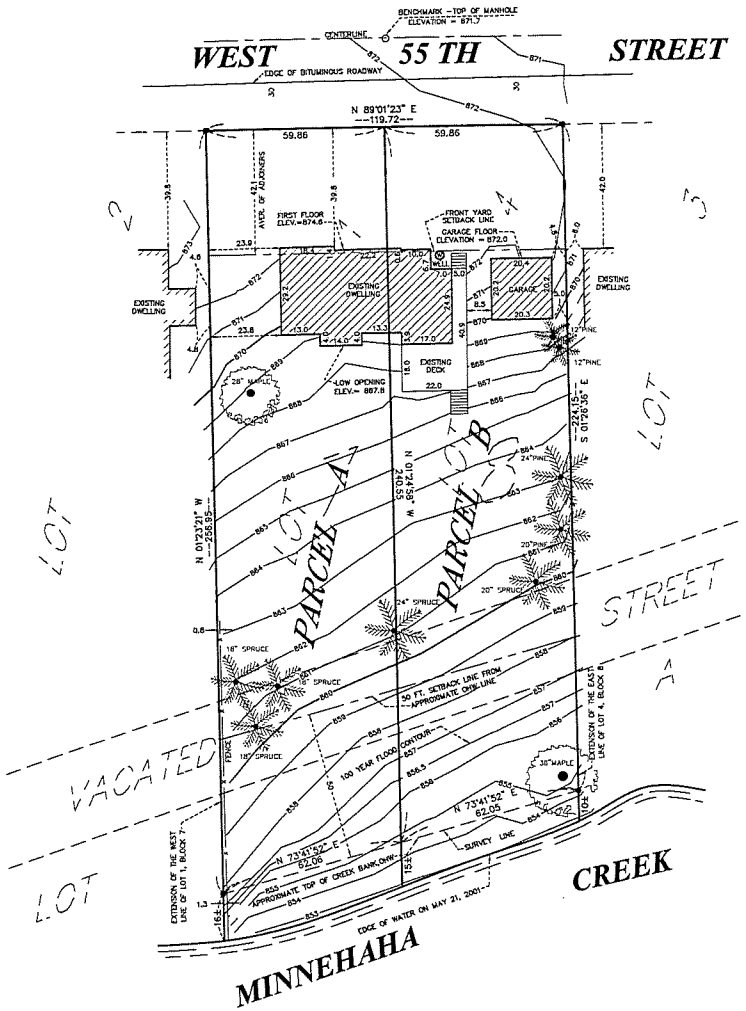


DATE	REVISION DESCRIPTION
8/14/18	TO SHOW PROPOSED LOT SPLIT
9/13/18	TO SHOW UPDATED IMPROVEMENTS

DRAWING ORIENTATION & SCALE

CLIENT/JOB ADDRESS
ERICA BERGSLAND
3601 W. 55TH ST.
EDINA, MN

Advance
Surveying & Engineering, Co.
17917 Highway No. 7
Minnetonka, Minnesota 55345
Phone (952) 474-7884
Web: www.advsur.com

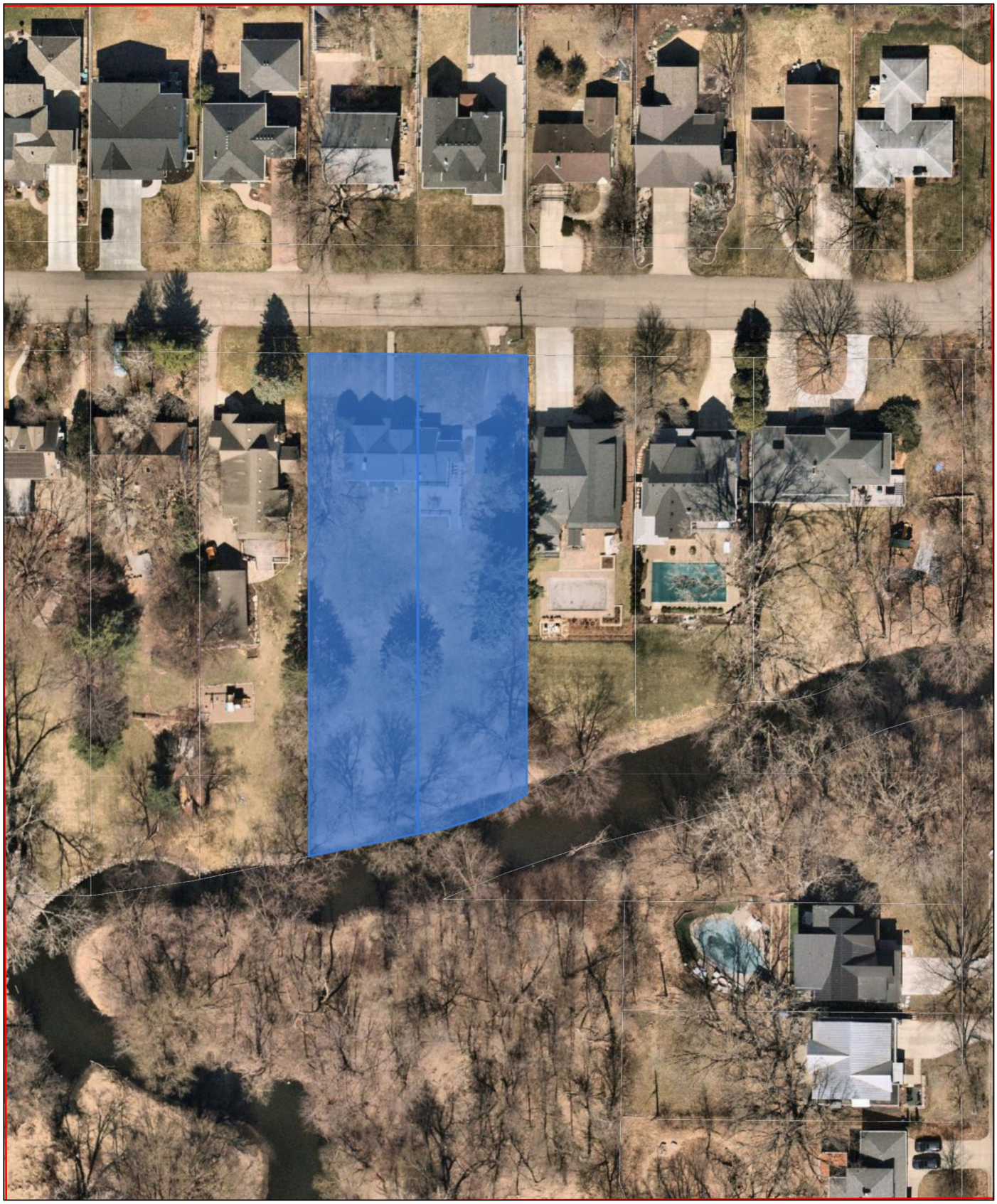
I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Wayne W. Preyis
#43503
LICENSE NO.
SEPTEMBER 27, 2018
DATE

SURVEYED DATE: MAY, 2001
DRAFTED DATE: MAY 26, 2001 AUGUST 14, 2018

SHEET TITLE: *LOT SPLIT*
SHEET SIZE: 22 X 34
DRAWING NUMBER: *180871 WP*

SHEET NO. S1
SHEET 1 OF 1

3517 & 3601 55th St W



November 10, 2022

1:600

0 37.5 75 150 ft

0 10 20 40 m

Edina, Hennepin, MetroGIS

Survey Responses

Public Hearing Comments

Better Together Edina

Project: Public Hearing: 3517 & 3601 55th Street West

BANG THE TABLE engagementHQ

VISITORS					
1					
CONTRIBUTORS			RESPONSES		
0			0		
0	0	0	0	0	0
Registered	Unverified	Anonymous	Registered	Unverified	Anonymous

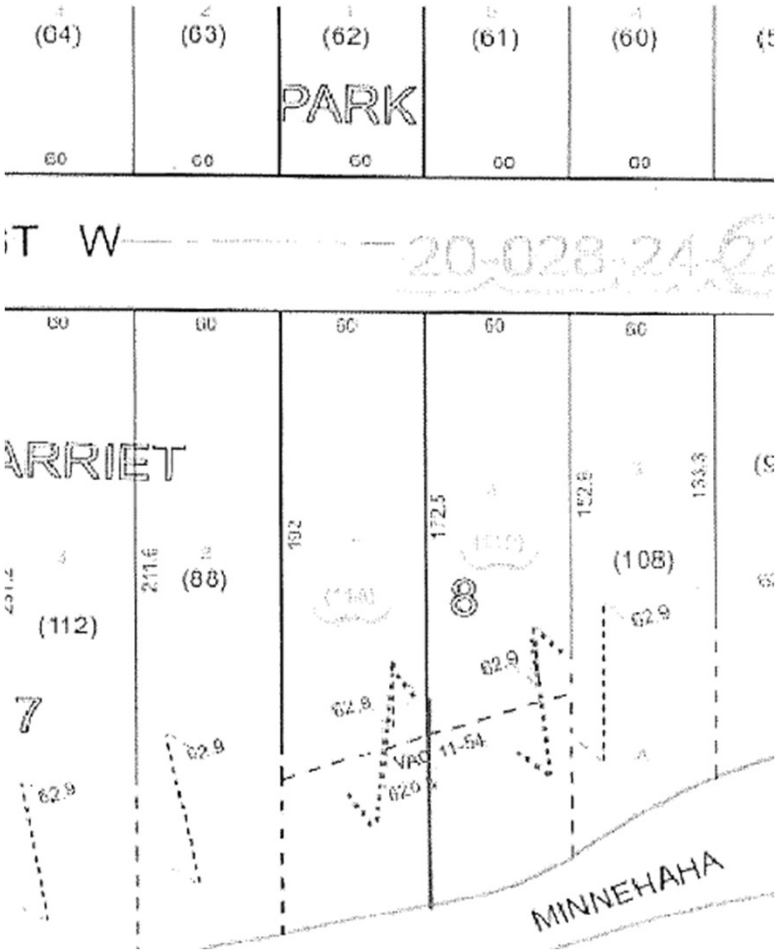
No Responses

The CITY of EDINA

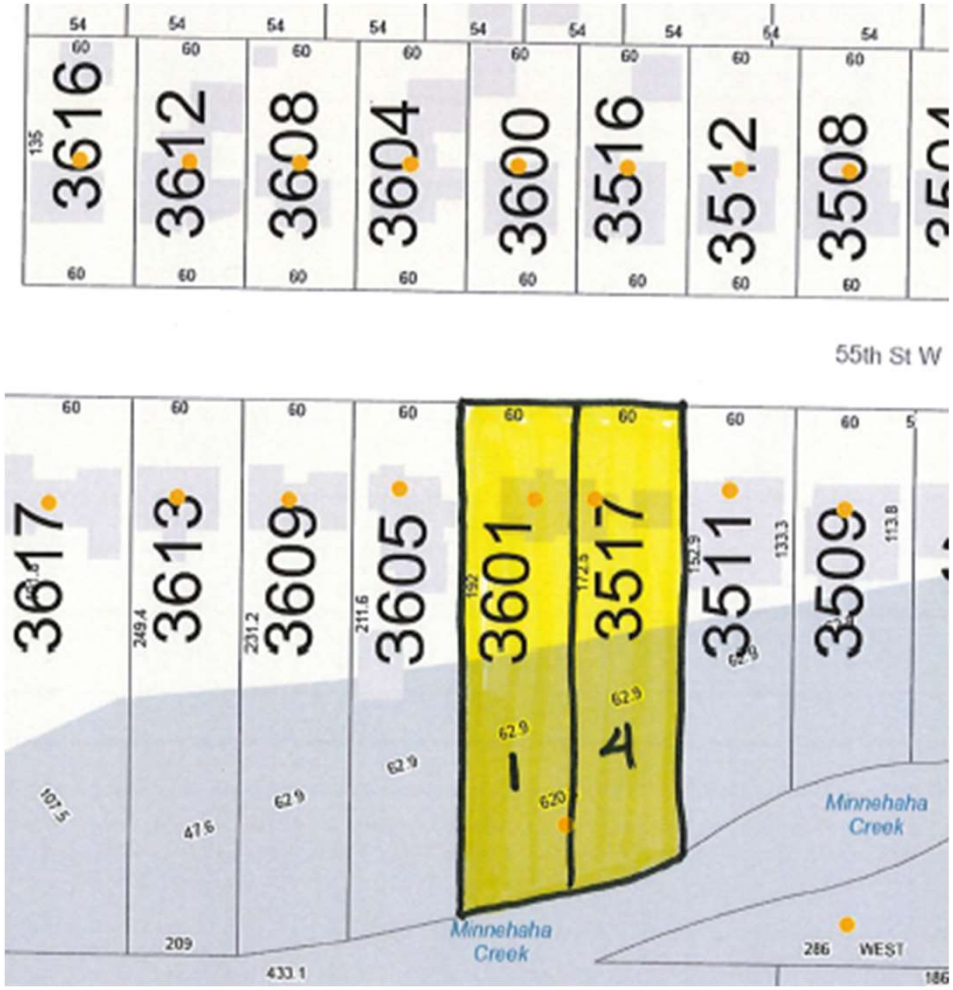
Lot width variances

3601 and 3517 West 55th Street

The CITY of EDINA



The CITY of EDINA

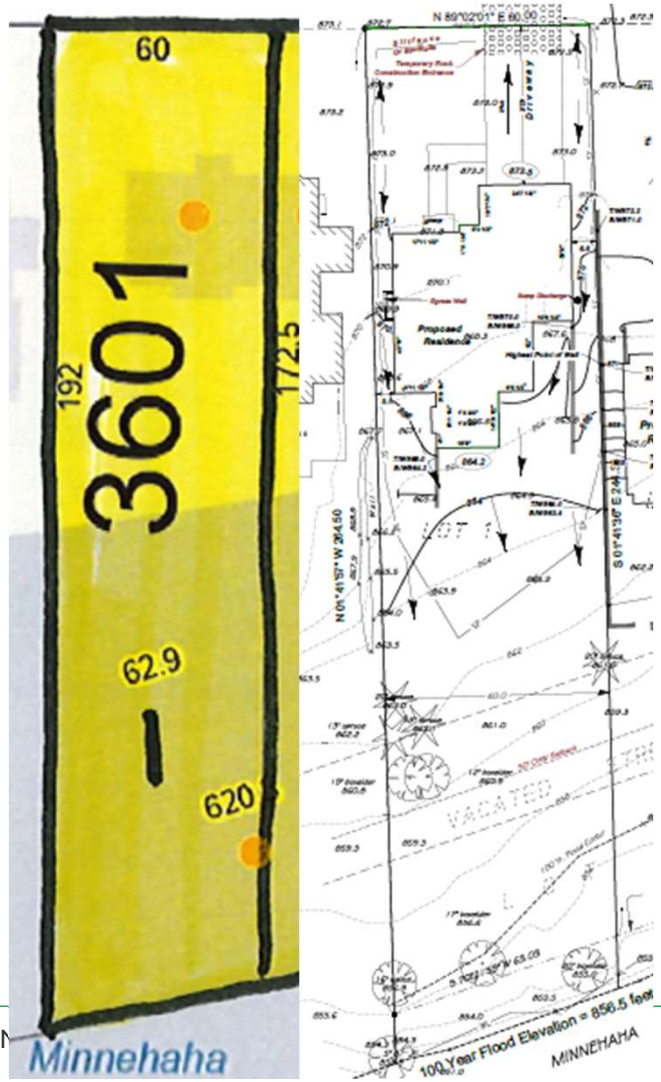

3616
3612
3608
3604
3600
3516
3512
3508
55th St W
3617
3613
3609
3605
3601
3517
3511
3509
Minnehaha Creek
Minnehaha Creek
WEST

The CITY of EDINA

Lot Dimensions

	Area	Lot Width	Depth	Street Frontage
REQUIRED	9,000 s.f.	75 feet	120 feet	30 feet
Lot 1 – 3601 55th	15,260 s.f.	***60 feet****	254 feet	60 feet
Lot 4 – 3517 55th	14,812 s.f.	***60 feet****	234 feet	60 feet

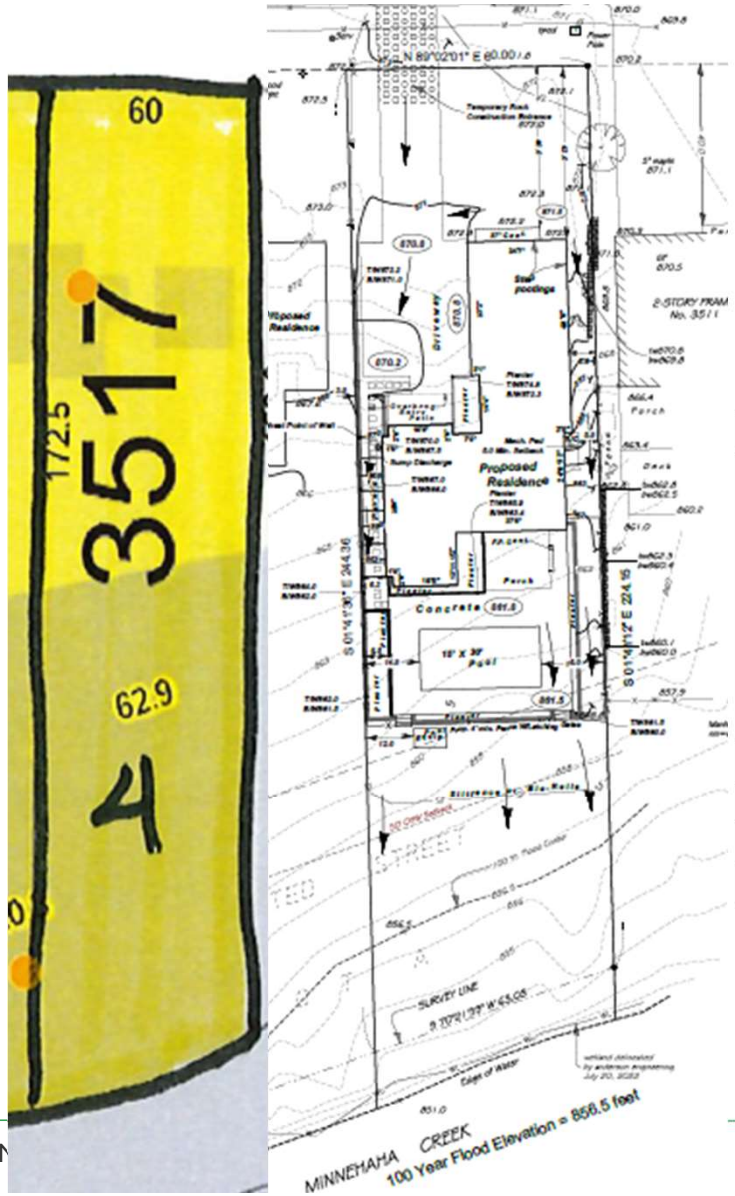
****Variance Required***



Compliance Table-3601 West 55th Street

	City Standard	Proposed
North Side – Front Yard	37.6 feet	\ 42.6 feet
West Side – Side Yard	12 feet total, with no less than 5 feet on one side	6 feet
South Side – Rear Yard	50 feet from OHWM	Greater than 50 feet
East Side – Side Yard	12 feet total, with no less than 5 feet on one side	6.6 feet
Building Height	30 feet	26.5 feet
Building Coverage Lots greater than 9,000sf	25%	15.83%
Impervious Surface Coverage	50%	22.85%
First Floor Elevation	876.4	875.2

The CITY of EDINA



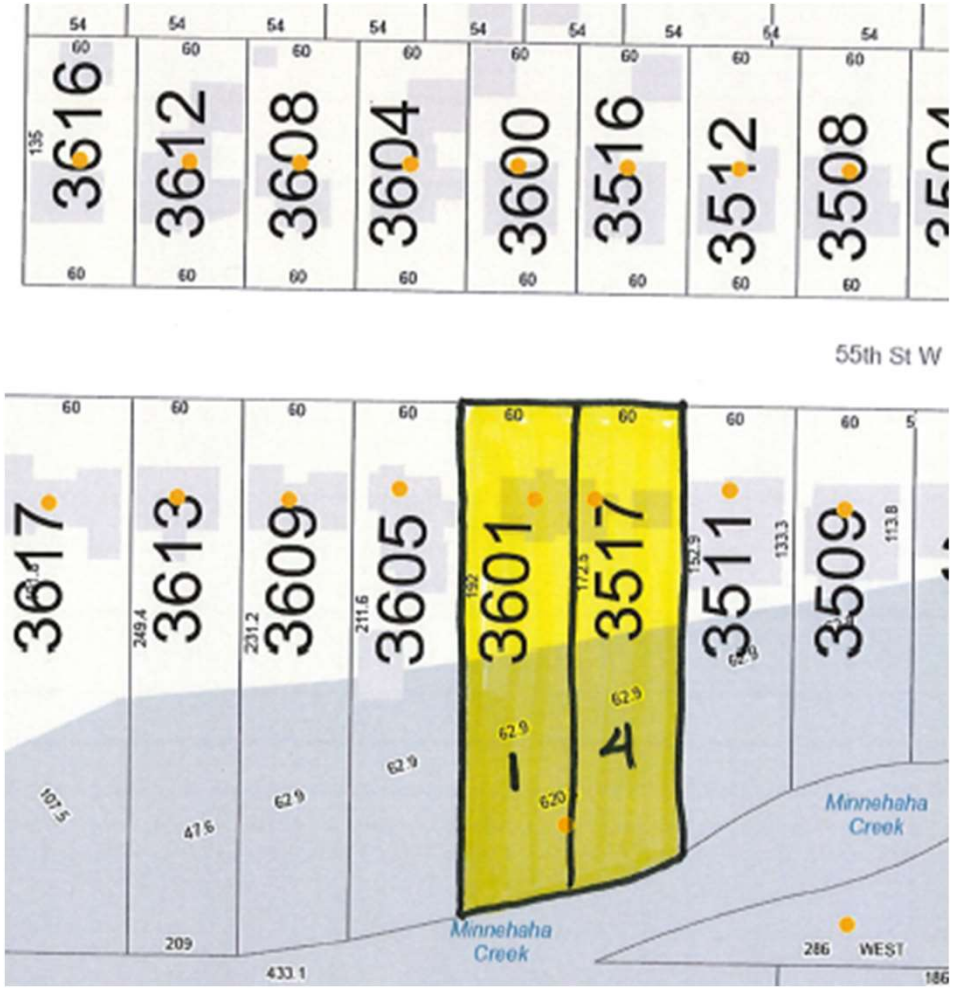
The CITY of EDINA

Compliance Table-3517 West 55th Street

	City Standard	Proposed
North Side – Front Yard	37.6 feet	\ 40 feet
West Side – Side Yard	12 feet total, with no less than 5 feet on one side	6 feet
South Side – Rear Yard	50 feet from OHWM	Greater than 50 feet
East Side – Side Yard	12 feet total, with no less than 5 feet on one side	6.2 feet
Building Height	30 feet	29.42 feet
Building Coverage	25%	23.18%
Impervious Surface Coverage	50%	40.98%
First Floor Elevation	876.4	872.56

The CITY of EDINA

The CITY of EDINA



The CITY of EDINA

The CITY of EDINA

Requests need two separate motions:

One for each property address: 3601and 3517 55th Street

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CITY OF EDINA

4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: November 16, 2022

Agenda Item #: VI.B.

To: Planning Commission

Item Type: Report and Recommendation

From: Kris Aaker, Assistant Planner

Item Activity: Action

Subject: B-22-21: A 9.55 foot front yard setback and a 9.6 foot 1st floor height variance request for 4905 Sunnyslope Rd

---

ACTION REQUESTED:
Deny the variance request based on findings as stated within the staff report.

INTRODUCTION:
A 9.55-foot front yard setback variance from Hilltop Lane to allow a new home 34.6 feet from the property line instead of matching the average existing front yard setback of the adjacent neighboring properties of 44.15 feet. They are also requesting a 9.6-foot 1st floor height variance to allow a reorientation of the house from 4905 Sunnyslope to Hilltop Lane. The goal is to reorient the new home on a through lot to face Hilltop Lane instead of Sunnyslope Rd.

ATTACHMENTS:

Staff Report
Engineering Memo
Site Location
Narrative
Plans
SWMP
Better Together Public Hearing Comment Report
Staff Presentation

STAFF REPORT

Date: November 16, 2022

To: PLANNING COMMISSION

From: Kris Aaker, Assistant City Planner

Subject: B-22-21, the applicant is requesting a 9.6-foot, 1st floor height variance to allow a reorientation of the house from 4920 East Sunnyslope Road to Hilltop Lane. They are also requesting a 9.55-foot front yard setback variance from Hilltop Lane to allow a new home 34.6 feet from the property line instead of matching the average existing front yard setback of the adjacent neighboring properties of 44.15 feet.

Information / Background:

The subject property, 4920 E. Sunnyslope is a through lot located between Sunnyslope East and Hilltop Lane. The existing home on the subject property is a two-story home with an attached three-car attached garage that was built in 1941. The existing home orients towards Sunnyslope East with the rear lot backing up to Hilltop Lane.

The applicant is requesting a 9.55-foot first floor height elevation variance to allow for a new home to be built with a first floor 10.55 feet higher than the first floor of the existing house on site. The proposed new home will be oriented at a higher elevation facing towards Hilltop Lane thus the need for a 1st floor variance.

A 9.55-foot front yard setback variance from Hilltop Lane is also requested to allow a new home 34.6 feet from the property line instead of matching the average existing front yard setback of the adjacent neighboring properties of 44.15 feet.

With exception of the first-floor elevation and front yard setback, the proposed project meets all other zoning requirements.

Surrounding Land Uses

Northerly:	Single Unit residential homes zoned R-1 and guided low-density residential
Easterly:	Single Unit residential homes; zoned R-1 and guided low-density residential.
Southerly:	Single Unit residential homes; zoned R-1 and guided low-density residential.
Westerly:	Single Unit residential homes; zoned R-1 and guided low-density residential.

Existing Site Features

The subject property, 4920 Sunnyslope E, was built in 1941. The lot is 20,879 square feet and is located on west side of Sunnyslope East, and east of Hilltop Lane. The existing house is oriented towards Sunnyslope and has a three-car attached garage that has access from Sunnyslope. The property slopes to higher elevations from Sunnyslope East to Hilltop Lane.

Trees

The applicant included a tree plan with variance submittal. The property has several large trees. The city recently amended its tree ordinance to require that removed trees be replaced. The ordinance does not take effect until January 1, 2023. However, because there are variances being requested, and to minimize impacts to the neighborhood, staff would recommend a condition of approval be that the new ordinance must be met, with trees being replaced on the site per recommendation of the City Forester. A full review by the Forester of the tree preservation plan would take place at the time of a building permit for a new home.

Planning

Guide Plan designation: Low Density Residential
Zoning: R-1, Single Dwelling Unit District

Compliance Table

	City Standard	Proposed
North Side – Front Yard	10 feet	40. feet
West Side – Side Yard	44.15 feet	***34.6 feet**
South Side – Rear Yard	10 feet	11.8 feet
East Side – Side Street	25 feet	25 feet
Building Height	40 feet	34.6 feet
Building Coverage Lots greater than 9,000sf	25%	22.19%
First Floor Elevation	926.4'	**936***

***Requires a variance**

Engineering

The Environmental Engineer has reviewed the application and submitted comments as attached in their November 10, 2022, memorandum. Stormwater was reviewed and is consistent with City of Edina Building Policy SP-003 standards. Drainage area maps are required for permit. A final grade as-built survey and inspection will be required to verify compliance with the approved stormwater plan. The proposed plan maintains drainage towards Sunnyslope Rd E but does so by channelizing runoff along the side yards with swales.

PRIMARY ISSUES & STAFF RECOMENDATION

Primary Issue

- **Is the proposed variance justified?**

Minnesota Statues and Edina Ordinances require that the following conditions must be satisfied affirmatively to grant a variance. The proposed variance will not:

1) Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

The proposed use is permitted in the R-1 Single Dwelling Unit District and complies with zoning standards, with exception of the first-floor elevation and front yard setback. The reason for the first-floor elevation variance request is due to the proposed new home being oriented off Hilltop Lane, which is at a higher elevation than Sunnyslope Road East. The front yard setback will match the front yard setback of the neighbor to the south, but not the average of the adjacent neighboring homes as required by ordinance. The new home is not required to be reoriented towards Sunnyslope East and can maintain required front yard setback if reoriented. Reasonable use of the property can be accomplished without the need for the two variances. The existing home is reasonable use of the site.

2) There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?

The property is unique in the fact that there are street frontages on two sides of the lot. The existing house is oriented towards East Sunnyslope. There is an elevation difference between Sunnyslope and Hilltop Lane preventing a re-orientation without a variance. The applicant would like to orient the new home towards Hilltop Lane to match the exiting house to the southeast which was also reoriented from Sunnyslope East in 2014. The property owner cannot raise the house so it can be oriented towards Hilltop Lane without a variance.

The front yard setback required is 44.15 feet, which is the average front yard setback of the adjacent homes. The zoning ordinance requires a new home take into consideration the existing setbacks of adjacent or nearby homes to maintain the existing character along the streetscape. A new home fronting Hilltop Lane can maintain the required front yard setback. The front yard setback is a design choice, is self-created based on the proposed 87.5-foot depth of the house and not based on existing lot characteristics.

3) Will the variance alter the essential character of the neighborhood?

Granting the variance may alter the character of the neighborhood given the reorientation and front yard setback variance requested. Although there are other homes along Hilltop in the neighborhood, the proposed new home will be reoriented towards Hilltop from Sunnyslope and will be 9.55 feet closer to the front lot line than the existing homes on either side of the subject property. The lot can accommodate a conforming home facing Sunnyslope East. A reoriented home can be designed to conform to the required front yard setback from Hilltop Ln.

Optional Actions

A case can be made for approval and denial of this project. Below provides options for the planning commission to consider:

Approval

Approve the request for a 9.6-foot first floor elevation and a 9.55-foot front yard setback variance for a new house at 4920 Sunnyslope East. Approval is based on the following findings:

1. The practical difficulty is caused by the elevation change on the lot. The house needs to be raised to reorient the house.
2. There are circumstances that are unique to the subject property. Those unique circumstances include the elevation change on the lot and having two street frontages.
3. The proposal would not alter the essential character of the neighborhood. The new home is a single-story walk-out. Adjacent homes are two stories or multi-level. Orientation around the cul-de-sac will not negatively impact the streetscape the neighbor to the south is 6 inches closer to Hilltop at 34 feet than the proposed home at 34.6 feet.

Approval shall be subject to the following conditions:

1. Subject to plans and survey date stamped, October 27, 2022.
2. Subject to compliance with the Engineering memo dated November 10, 2022.
3. Subject to compliance with the new tree ordinance, with trees being replaced on the site per recommendation of the city Forester.

Denial

Deny the request for a 1-foot first floor elevation variance and front yard setback variance for a new home at 4920 Sunnyslope East. Denial is based on the following findings:

1. The proposal does not meet the standards for variance.

2. Due to the size of lot, a new home could be constructed on the property that that could meet the required setbacks and zoning requirements.
3. There is no practical difficultly preventing construction of a new home. A new home could be built and may not require a variance. A new home is not required to be reoriented towards Hilltop Lane. If granted a 1st floor height variance for a new home to be re-oriented to Hilltop, the home can be built without the need for a front yard setback variance.

Staff Recommendation

Staff cannot support the re-orientation of the home to Hilltop Lane with the requested 9.6-foot first floor height variance and the 9.55-foot front yard setback variance from Hilltop Lane given the ability to comply with the code. A compliant house may be built on the property. Staff recommends denial of the variance application for a new house reorientation to Hilltop Lane from 4920 East Sunnyslope Road.

Deadline for a City Decision: December 26, 2022

DATE: 11/10/2022
TO: Cary Teague – Planning Director
FROM: Zuleyka Marquez, PE – Graduate Engineer
RE: **4920 Sunnyslope Rd E - Variance Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections.

This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application. Plans reviewed included existing and proposed surveys and stormwater modeling.

Summary of Work
The applicant proposes to demolish the existing home and build a new home. The rebuild would reorient the front of the home from Sunnyslope Rd E to Hilltop La. The request is for a variance to main floor elevation increase limit and front yard setback.

Easements
No comment.

Grading and Drainage
The existing site drains from Hilltop Lane towards Sunnyslope Rd E. A retaining wall around the rear of the house helped manage the upland flow directed towards the house by flattening the area adjacent to the home. The proposed plan maintains drainage towards Sunnyslope Rd E but does so by channelizing runoff along the side yards with swales.

Stormwater Mitigation
Stormwater was reviewed and is consistent with City of Edina Building Policy SP-003 standards. Drainage area maps are required for permit. A final grade as-built survey and inspection will be required to verify compliance with the approved stormwater plan.

Floodplain Development
The site well above the local 1% annual chance floodplain elevation. No issues with the lowest opening elevation.

Erosion and Sediment Control
An erosion and sediment control plan was reviewed and is consistent with City of Edina Building Policy SP-002.

Street and Driveway Entrance
The applicant proposes to relocate the existing curb cut from Sunnyslope Rd E to Hilltop La. A driveway entrance permit will be required. Bituminous curb will be required to along Sunnyslope Rd E to match existing. Sunnyslope Rd E and Hilltop La were reconstructed in 2005. Refer to standard plates 540 and 543 for patching requirements.

Public Utilities

Water and sanitary is served from Sunnyslope Rd E. Sanitary is also available on Hilltop La. A one-inch water service line from the curb stop to the dwelling is required per the City's policy SP-024.

Miscellaneous

A Minnehaha Creek Watershed District permit may be required, applicant will need to verify with the district.

Water connection permit dated 1956. Structure built 1941. A well is likely located onsite. Thus, coordination with Minnesota Department of Health will be required.

Tiered retaining walls are proposed on the west side. Tiered retaining wall systems greater than 4-feet may require the applicant will be required to submit drawings, cross-section, and calculations prepared and signed by a Minnesota licensed professional engineer. To avoid this requirement, the applicant must demonstrate sufficient separation (2 times the height of the lower wall) between each wall to be considered independent (i.e. no surcharge from upper wall onto lower wall).

4920 Sunnyslope E

November 7, 2022

1:1,246

0 75 150 300 ft

0 20 40 80 m

Edina, Hennepin, MetroGIS

Variance Request for 4920 Sunnyslope Road

October 26th 2022

We are proposing tearing down and building new on 4920 Sunnyslope Road. The goal of the project is to construct a new home that orients to Hilltop Lane rather than Sunnyslope Road.

The first variance we are requesting is a variance to raise the main floor more than one foot [Sec. 36-439. – Special requirements (7)]. Our request would be to raise it 10.6 feet above the existing main floor height. A variance of 9.6'.

The second variance we are requesting is a variance to the established front street setback [Sec. 36-439. – Special requirements (1)]. Our request would be to adjust the front setback from 44.15' (average of the two neighbors) to 34.6'. A variance of 9.55'.

The property at 4920 Sunnyslope Road is unique and challenging. It is a thru lot that has frontage on both Sunnyslope Road to the north and Hilltop Lane to the south. Between the two property lines the lot has an elevation change of 31 feet. Due to this elevation change the current home, which is situated facing Sunnyslope Road, has a steep driveway leading to a tuck under garage. To reach the main level there are several steps before you reach an elevated stoop. The driveway is carved out of the hill with retaining walls to the west and north (some of which are on the neighboring property). The driveway also feeds into Sunnyslope at a bend in the road which makes entering and exiting more hazardous. All the yard space on the south side of the house is created using a tall retaining wall cut into the hill in order to create a flat area and minimal drainage away from the house. The neighboring home to the east is a newer build that was granted a variance for doing the same type of build that we are proposing (flipping from Sunnyslope to Hilltop). The home to the west is also a newer build but is oriented in the far northwest corner of the lot with a long driveway and a good amount of vegetation in the front shielding it from the street. Due to this unusual placement, it distorts the average streetside setback for this lot.

The owners of the property are proposing flipping the orientation of the home to the high part of the lot (Hilltop Lane) and building a new home that better fits the unique properties of the lot. We are proposing adjusting the main floor elevation from 925.4' (existing) to 936.0'. If granted, this would allow the house a more traditional layout with the garage being on the same level as the main floor. With this orientation the homeowners can better navigate the home with fewer steps to get thru the main living spaces. This also allows the basement to have full window and walkout ability on the north side. We are also proposing matching the streetside setback of the home to the east (34.3') which is placed at a more traditional location from the street. If granted, this would allow the proposed house a level driveway that provides a natural drainage path around the house. It also keeps the house at the same relative distance as the two neighboring homes and creates a unified look at the end of the cul-de-sac.

CITY OF EDINA

OCT 27 2022

PLANNING DEPARTMENT

The proposed variance will relieve practical difficulties (excessive grade change and a-typical house placement) in complying with the zoning ordinance and the use (single family home) is reasonable.

The proposed variance will correct extraordinary circumstances (large natural elevation variations and unique neighboring home placements) applicable to this property but not applicable to other property in the vicinity.

The proposed variance will be in harmony with the general purposes and intent of the zoning ordinance. The idea of the streetside average is to have a unified look along a street which the proposed streetside setback creates with the neighboring homes at the end of the cul-de-sac. If the new home were built with an orientation toward Sunnyslope Road the setback from Hilltop Lane would be allowed at only 25' not the 34.6' we are proposing. Raising the elevation of the main floor is in keeping with the neighboring properties on Hilltop Lane and creates a house that better fits the scale of the surrounding homes.

The proposed variance will not alter the essential character of the neighborhood. If granted, the variances will allow the new home to better fit with the neighboring properties and greater neighboring area.

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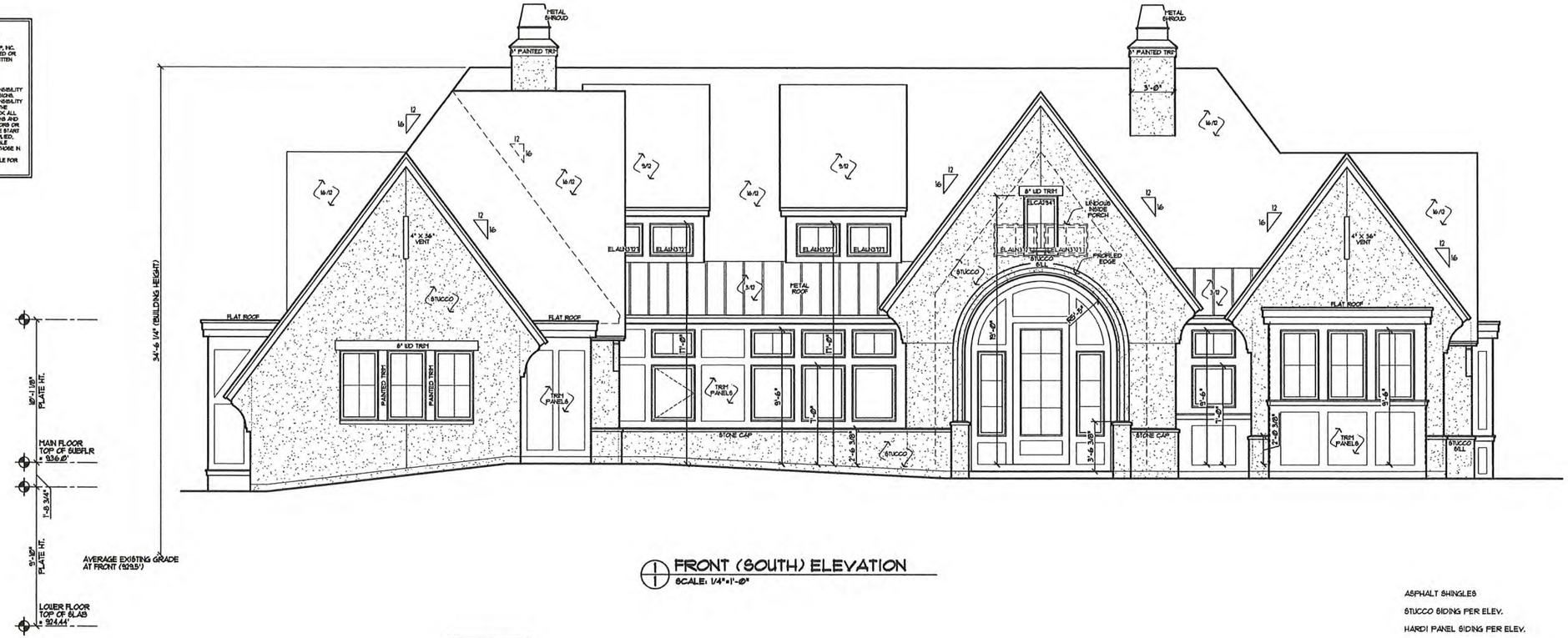
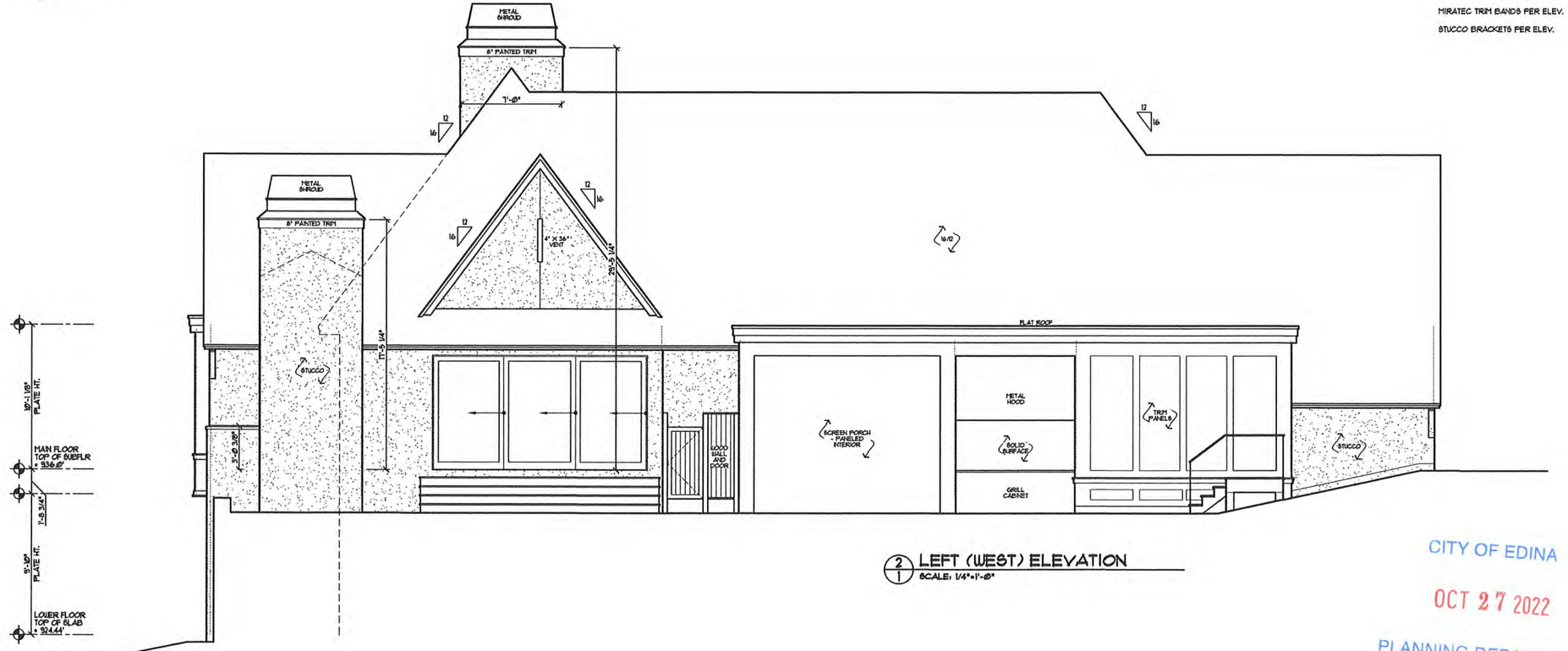


1 FRONT (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

ASPHALT SHINGLES
STUCCO SIDING PER ELEV.
HARDI PANEL SIDING PER ELEV.
MIRATEC TRIM BANDS PER ELEV.
STUCCO BRACKETS PER ELEV.



2/1 LEFT (WEST) ELEVATION
SCALE: 1/4"=1'-0"

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OCT 27 2022
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Phone: 952.473.8777
FAX: 952.473.8222

ISSUE DATE:
26 OCTOBER 2022
PREVIOUS ISSUE DATES:

DRAWING DESCRIPTION:
EXTERIOR ELEVATIONS

VARIANCE SET

COUGHLIN RESIDENCE
4920 SUNNYSLOPE
EDINA, MN

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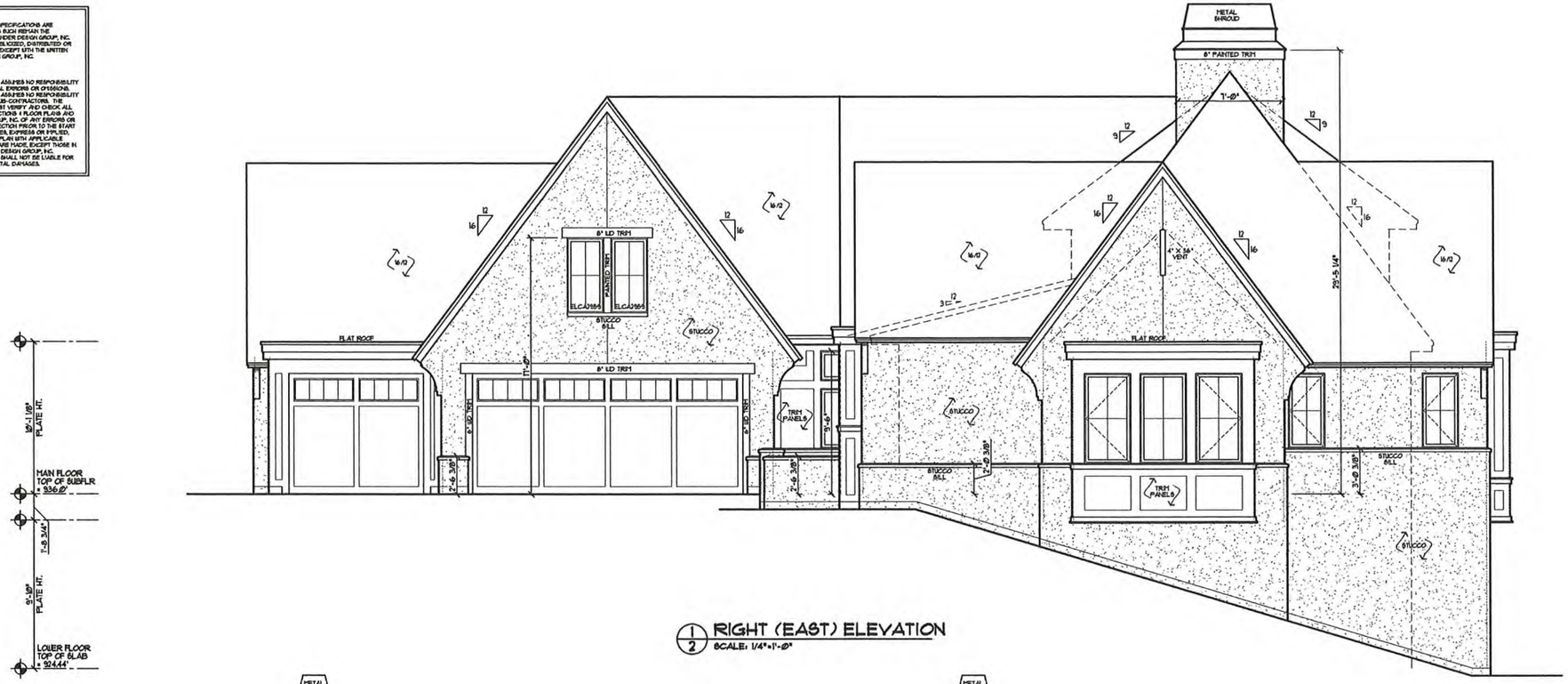

1/2 RIGHT (EAST) ELEVATION
SCALE: 1/4"=1'-0"

ASPHALT SHINGLES
STUCCO SIDING PER ELEV.
HARDI PANEL SIDING PER ELEV.
MIRATEC TRIM BANDS PER ELEV.
STUCCO BRACKETS PER ELEV.

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EXTERIOR ELEVATIONS

VARIANCE SET

COUGHLIN RESIDENCE
4920 SUNNYSLOPE
EDINA, MN

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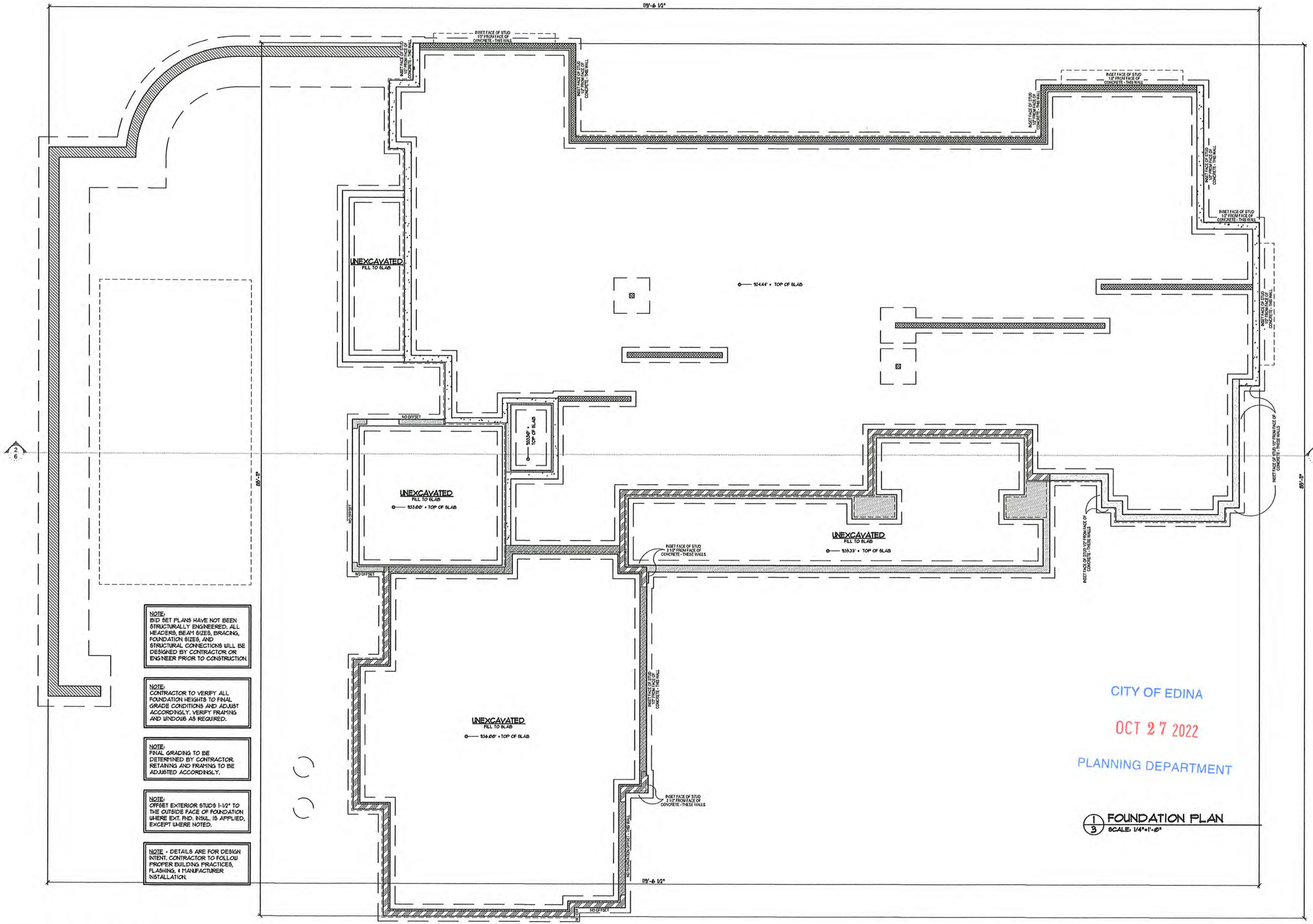

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NOTE:
CONTRACTOR TO VERIFY ALL FOUNDATION HEIGHTS TO FINAL GRADE CONDITIONS AND ADJUST ACCORDINGLY. VERIFY FRAMING AND WINDOWS AS REQUIRED.

NOTE:
FINAL GRADING TO BE DETERMINED BY CONTRACTOR. RETAINING AND FRAMING TO BE ADJUSTED ACCORDINGLY.

NOTE:
OFFSET EXTERIOR STUDS 1-1/2" TO THE OUTSIDE FACE OF FOUNDATION WHERE EXT. FND. INSUL. IS APPLIED, EXCEPT WHERE NOTED.

NOTE - DETAILS ARE FOR DESIGN INTENT. CONTRACTOR TO FOLLOW PROPER BUILDING PRACTICES, FLASHING, & MANUFACTURER INSTALLATION.

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1/3 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

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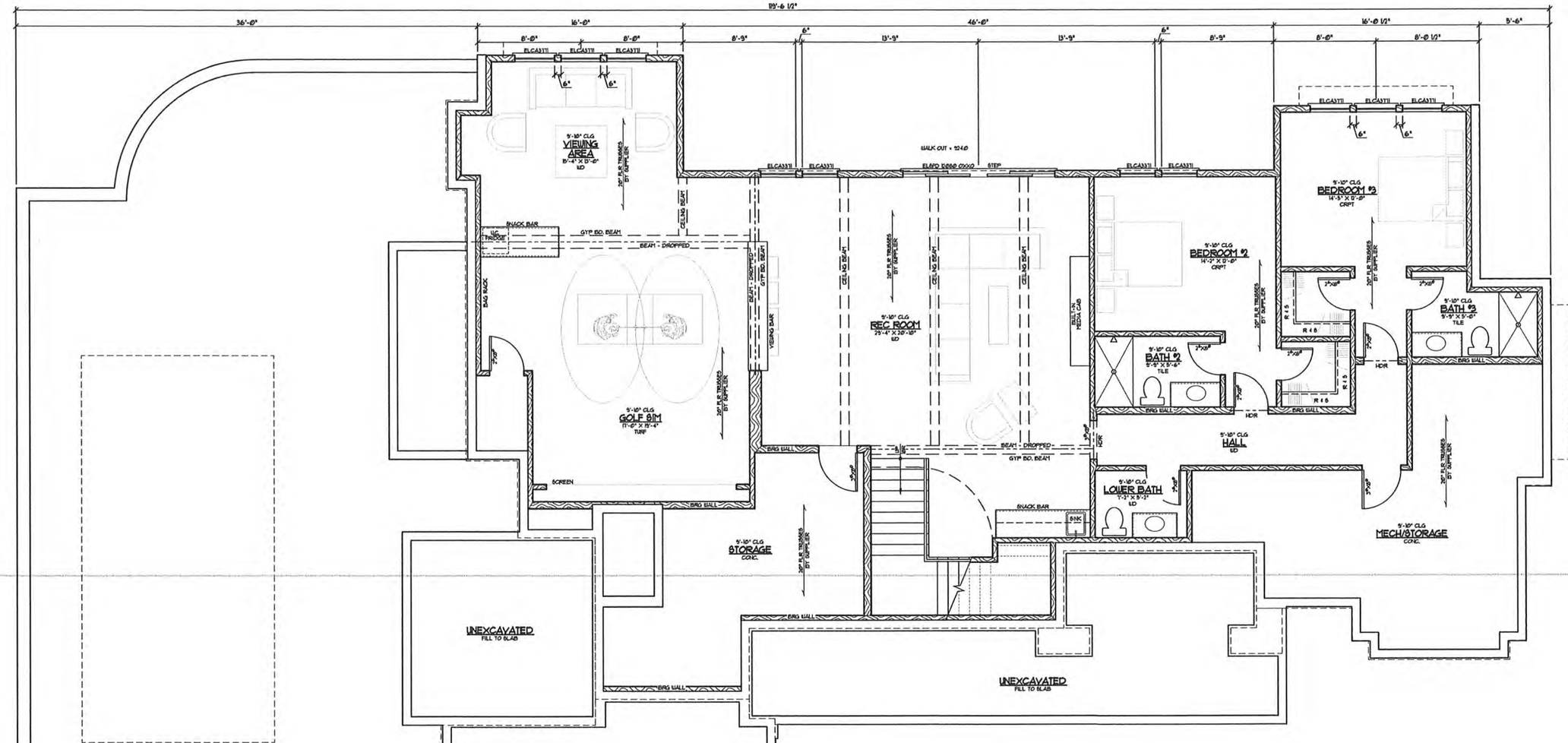
DRAWING DESCRIPTION:
FOUNDATION PLAN

VARIANCE SET

COUGHLIN RESIDENCE
4920 SUNNYSLOPE
EDINA, MN



NOTE:
OFFSET EXTERIOR STUDS 1-1/2" TO THE OUTSIDE FACE OF FOUNDATION WHERE EXT. FND. INSUL. IS APPLIED, EXCEPT WHERE NOTED.

ALL WINDOW HEADERS (2) 2X10, UNLESS NOTED OTHERWISE

MARVIN ELEVATE WINDOW CODES (UNLESS NOTED OTHERWISE) MARVIN 'WINDOW OPENING CONTROL DEVICE' FOR FALL PREVENTION AS REQ'D.

NOTE - ALL WINDOW & DOOR HEAD HGTS. TO BE SET AT 8'-0" AT LWR LEVEL UNLESS NOTED OTHERWISE

NOTE - DETAILS ARE FOR DESIGN INTENT. CONTRACTOR TO FOLLOW PROPER BUILDING PRACTICES, FLASHING, & MANUFACTURER INSTALLATION.

SMOKE ALARMS AT ALL SLEEPING ROOMS, ENTRY LEVEL, AND ALL HALLWAYS TO SLEEPING ROOMS, AND/OR PER CODE.

CO ALARMS OUTSIDE OF & WITHIN 10' OF ALL SLEEPING ROOMS, AND/OR PER CODE.

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NOTE:
FINAL GRADING TO BE DETERMINED BY CONTRACTOR. RETAINING AND FRAMING TO BE ADJUSTED ACCORDINGLY.

FIN. SQUARE FOOTAGE	
MAIN FLOOR -	3150#
SCREEN PORCH -	222#
LOWER FLOOR -	2150#
TOTAL FIN -	5530#

AUX. SQUARE FOOTAGE	
GARAGE -	989#
MECH STORAGE -	779#
FRONT PORCH -	41#
TOTAL UNFIN -	2179#

1/4 LOWER LEVEL PLAN
SCALE: 1/4"=1'-0"

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DRAWING DESCRIPTION:
LOWER LEVEL FLOOR PLAN

VARIANCE SET

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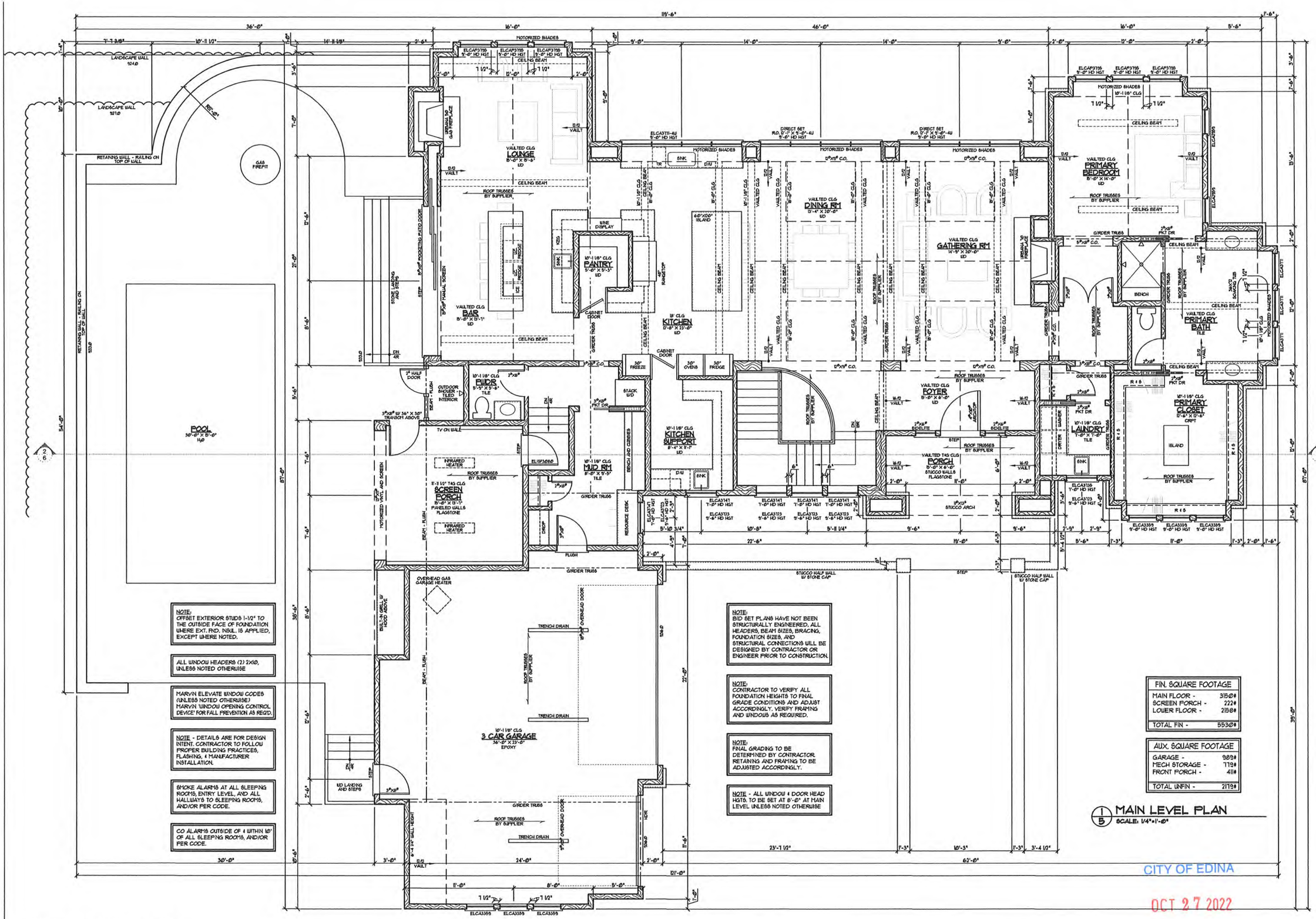
EDINA, MN



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NOTE:
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NOTE - ALL WINDOW & DOOR HEAD HGTS. TO BE SET AT 8'-0" AT MAIN LEVEL UNLESS NOTED OTHERWISE

FIN. SQUARE FOOTAGE	
MAIN FLOOR -	3150#
SCREEN PORCH -	222#
LOWER FLOOR -	2150#
TOTAL FIN -	5530#

AUX. SQUARE FOOTAGE	
GARAGE -	989#
MECH STORAGE -	719#
FRONT PORCH -	411#
TOTAL UNFIN -	2119#

1/5 MAIN LEVEL PLAN
SCALE: 1/4"=1'-0"

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OCT 27 2022

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DRAWING DESCRIPTION:
MAIN LEVEL
FLOOR PLAN

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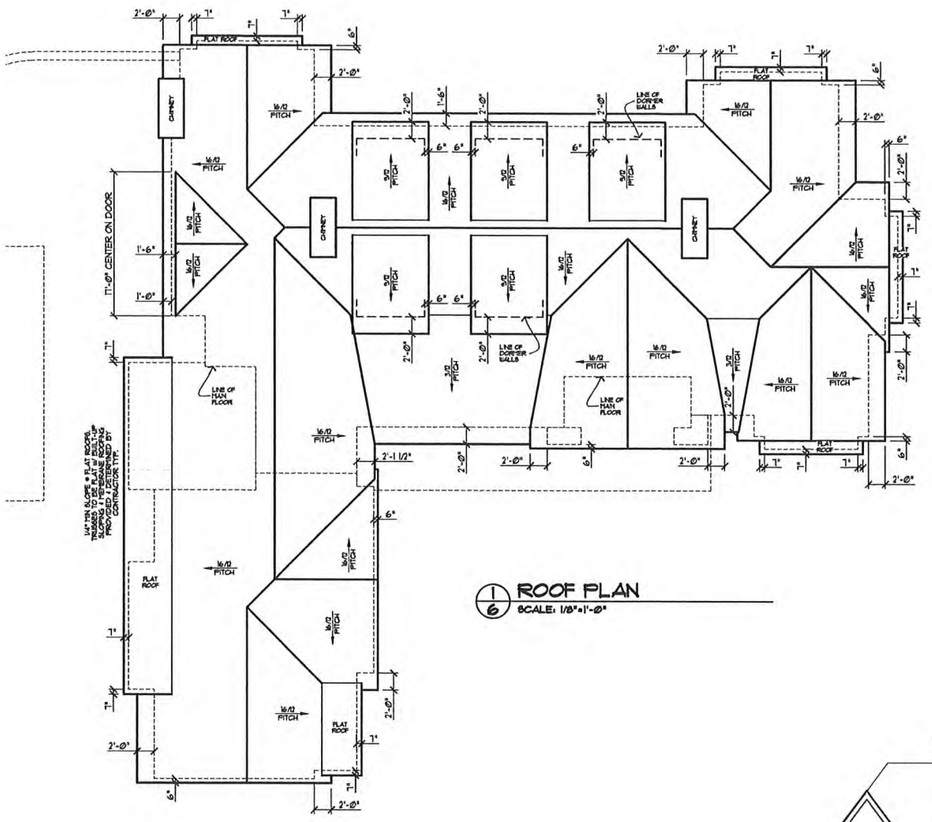
COUGHLIN RESIDENCE
4920 SUNNYSLOPE
EDINA, MN

5 OF 6



1/6 ROOF PLAN
SCALE: 1/8"=1'-0"

NOTE:
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NOTE:
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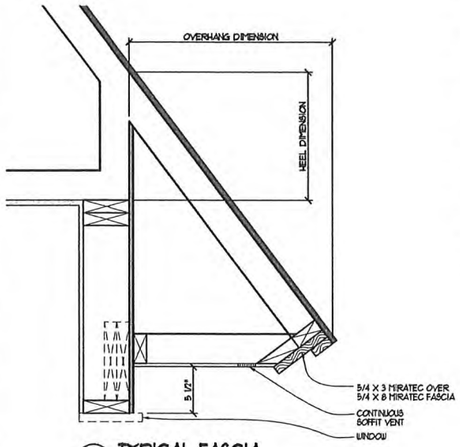
ALL WINDOW HEADERS (2) 2X10, UNLESS NOTED OTHERWISE

NOTE - DETAILS ARE FOR DESIGN INTENT. CONTRACTOR TO FOLLOW PROPER BUILDING PRACTICES, FLASHING, & MANUFACTURER INSTALLATION.



3/6 TYPICAL FASCIA
SCALE: 1 1/2"=1'-0"

GENERAL CONSTRUCTION NOTES:

ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE OF STUD.
EXTERIOR STUD OFFSET FROM FOUNDATION 1-1/2" OF FACE OF FOUNDATION WHERE EXTERIOR FOUNDATION INSULATION IS APPLIED, EXCEPT WHERE NOTED.
ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.
ALL DIMENSIONS & CONDITIONS TO BE VERIFIED BY GENERAL CONTRACTOR.
ALL STRUCTURAL COMPONENTS & CONNECTIONS TO BE ENGINEERED BY SUPPLIER.
ALL WDW HEADERS TO BE 2-2x10 UNLESS OTHERWISE NOTED.
ALL WOOD ABUTTING CONCRETE TO BE TREATED.
VERIFY ANGLES WITH FLOORPLANS (45° UNLESS OTHERWISE NOTED.)
CONSTRUCTION SHOULD BE PERFORMED TO CURRENT STATE OF MINNESOTA BUILDING & ENERGY CODES AND TO LOCAL INDUSTRY STANDARDS & STANDARD INDUSTRY PRACTICES.
ALL WINDOWS AND DOORS SHOULD BE INSTALLED PER MANUFACTURES INSTALLATION REQUIREMENTS
ALL STUCCO SHALL BE INSTALLED PER MINNESOTA LATH AND PLASTER BUREAU GUIDELINES.
ALL WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED PER IRC SEC. R703.2 AS AMENDED BY THE STATE OF MINNESOTA RULES SECTION 1309.0703.

ROOF CONSTRUCTION:

ROOF VENTS AS REQ'D. - 1/300.
ASPHALT SHINGLES
METAL ROOF - PER MANF. INSTALL REQUIREMENTS.
FELT PAPER w/ ICE & WATER SHIELD.
FULL ICE & WATER @ ROOFS UNDER 4:12
5/8" OSB ROOF SHEATHING.
WOOD TRUSSES @ 24" O.C. - ENGINEERED BY SUPPLIER.
BAFFLE @ EACH TRUSS SPACE.
R-49 BLOWN-IN INSULATION.
POLY VAPOR BARRIER - 6 MIL.
5/8" GYP. BD. CEILING.

SOFFIT/FASCIA CONSTRUCTION:

HARDIE SOFFIT w/ CONT. VENTS.
5/4" x 8" MIRATEC FASCIA BD
5/4" x 3" MIRATEC TRIM BD

WALL CONSTRUCTION:

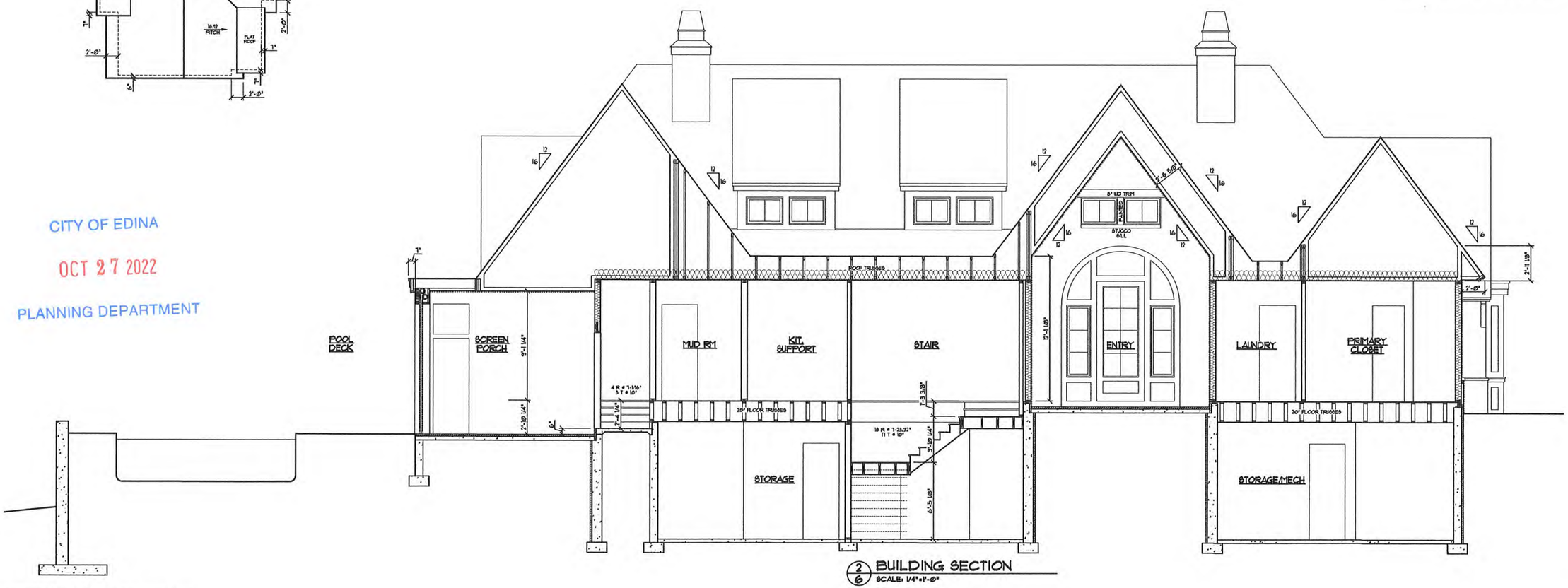
SIDING PER ELEVATIONS.
2 LAYERS GRADE "D" BUILDING PAPER.
1/2" PLYWOOD SHEATHING.
2x6 STUDS @ 16" O.C.
3" SPRAY "R" FOAM INSUL. & SEALER - R-20 MIN OR FIBER GLASS BATTS.
CONTINUOUS POLY VAPOR BARRIER - 6 MIL. - SEAL ALL SEAMS & PENETRATIONS
1/2" GYP. BD. - TAPED, SANDED, PAINTED

FLOOR CONSTRUCTION:

FINISHED FLOOR.
3/4" T. & G. PLYWOOD SUBFLOOR.
FLOOR TRUSSES (PER MANUFACTURER)
SPRAYED U-FOAM INSUL. @ RIM R-21
5/8" GYP. BD.

FOUNDATION:

1/2" x 14" ANCHOR BOLTS @ 8' O.C.
2x6 TREATED SILL & SEALER.
8"W POURED CONC. WALLS MIN. - (SEE DETAILS & PLANS)
2x4 FURRING @ 16" O.C. - HOLD OUT 1/2" FROM CONC. - 2x4 TRTD SILL PLATE
R-15 INSUL. W/ R-19 MIN @ EXTERIOR & SEALER OR EQUAL.
8" x 16" CONC. FTG. w/ 2- #4's CONT. MIN. - (SEE DETAILS & PLANS)
WATCHDOG WATERPROOFING OR EQUAL
3 1/2" CONC. SLAB
2" RIGID INSULATION
POLY VAPOR BARRIER
INTERIOR AND EXTERIOR DRAIN TILE TO SUMP BUCKET



2/6 BUILDING SECTION
SCALE: 1/4"=1'-0"

CITY OF EDINA
OCT 27 2022
PLANNING DEPARTMENT

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ALEXANDER DESIGN GROUP
275 EAST LAKE STREET
SUITE #102
WAYZATA, MN 55391
Phone: 952.473.8777
FAX: 952.473.8222

ISSUE DATE:
26 OCTOBER 2022
PREVIOUS ISSUE DATES:

DRAWING DESCRIPTION:
ROOF PLAN
AND BUILDING SECTIONS

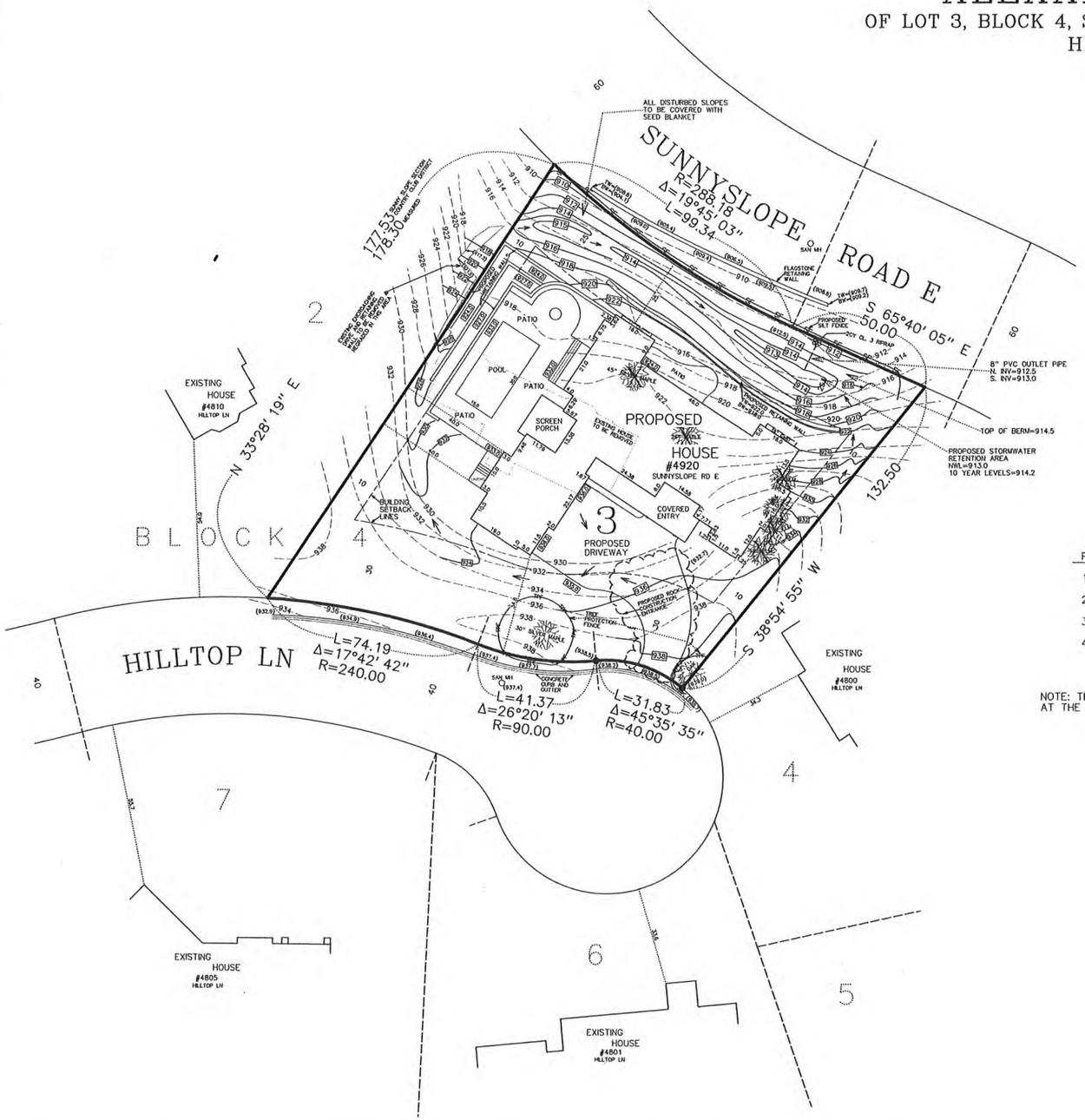
VARIANCE SET

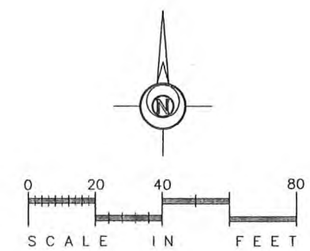
COUGHLIN RESIDENCE
4920 SUNNYSLOPE
EDINA, MN

CERTIFICATE OF SURVEY FOR

ALEXANDER DESIGN GROUP

OF LOT 3, BLOCK 4, SUNNY SLOPE SECTION, COUNTRY CLUB DISTRICT
HENNEPIN COUNTY, MINNESOTA





PROPOSED ELEVATIONS : (per architect, verify)

1) Garage = 936.0
2) Main floor = 936.0
3) Lower level = 924.44
4) Pool deck = 933.0

NOTE: THE AVERAGE EXISTING ELEVATION AT THE FRONT OF THE HOUSE = (929.5)

PROPOSED HARDCOVER :

Lot area = 20,879 Sq. ft.

Proposed house = 4034 sf
Covered entry = 394 sf
Driveway = 1670 sf
Screen porch = 207 sf
Pool = 450 sf
Pool patio = 1368 sf
Rear patio = 222 sf
Retaining walls = 220 sf

Total = 8565 Sq. ft.

8565 / 20,879 x 100 = 41.02%

CITY OF EDINA

OCT 27 2022

PLANNING DEPARTMENT

LEGAL DESCRIPTION : (per Certificate of Title No. 1418114)

Lot 3, Block 4, Sunny Slope Section, Country Club District.

● : denotes iron marker found
(908.3) : denotes existing spot elevation, mean sea level datum
[910.8] : denotes proposed spot elevation
--917-- : denotes existing contour line, mean sea level datum
—[930]— : denotes proposed contour line, per architect
: denotes existing tree to be removed

Bearings shown are based upon an assumed datum.

This survey intends to show the boundaries of the above described property, and the location of an existing house, to be removed, spot elevations, topography and the proposed location of a proposed house, driveway and grades thereon. It does not purport to show any other improvements or encroachments.

GRONBERG & ASSOCIATES, INC.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS
445 NORTH WILLOW DRIVE LONG LAKE, MN 55356
952-473-4141

DATE	8-31-22
SCALE	1"=20'
FIELD BK.	22-157A
SHEET NO.	

I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Mark S. Gronberg Minnesota License Number 12755

I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Mark S. Gronberg Minnesota License Number 12755

REVISIONS

DATE	
10-7-22	PROPOSED HOUSE, DRIVEWAY AND GRADES
10-13-22	PROPOSED HOUSE AND LOCATION REVISED
10-19-22	PROPOSED STORMWATER PLAN, PROPOSED ROCK CONSTRUCTION ENTRANCE ADDED
10-26-22	REVISED PROPOSED HOUSE AND HOUSE LOCATION, TREE PROTECTION ADDED

22157A4.SCJ

22157A4.SCJ

22-157A

CITY OF EDINA

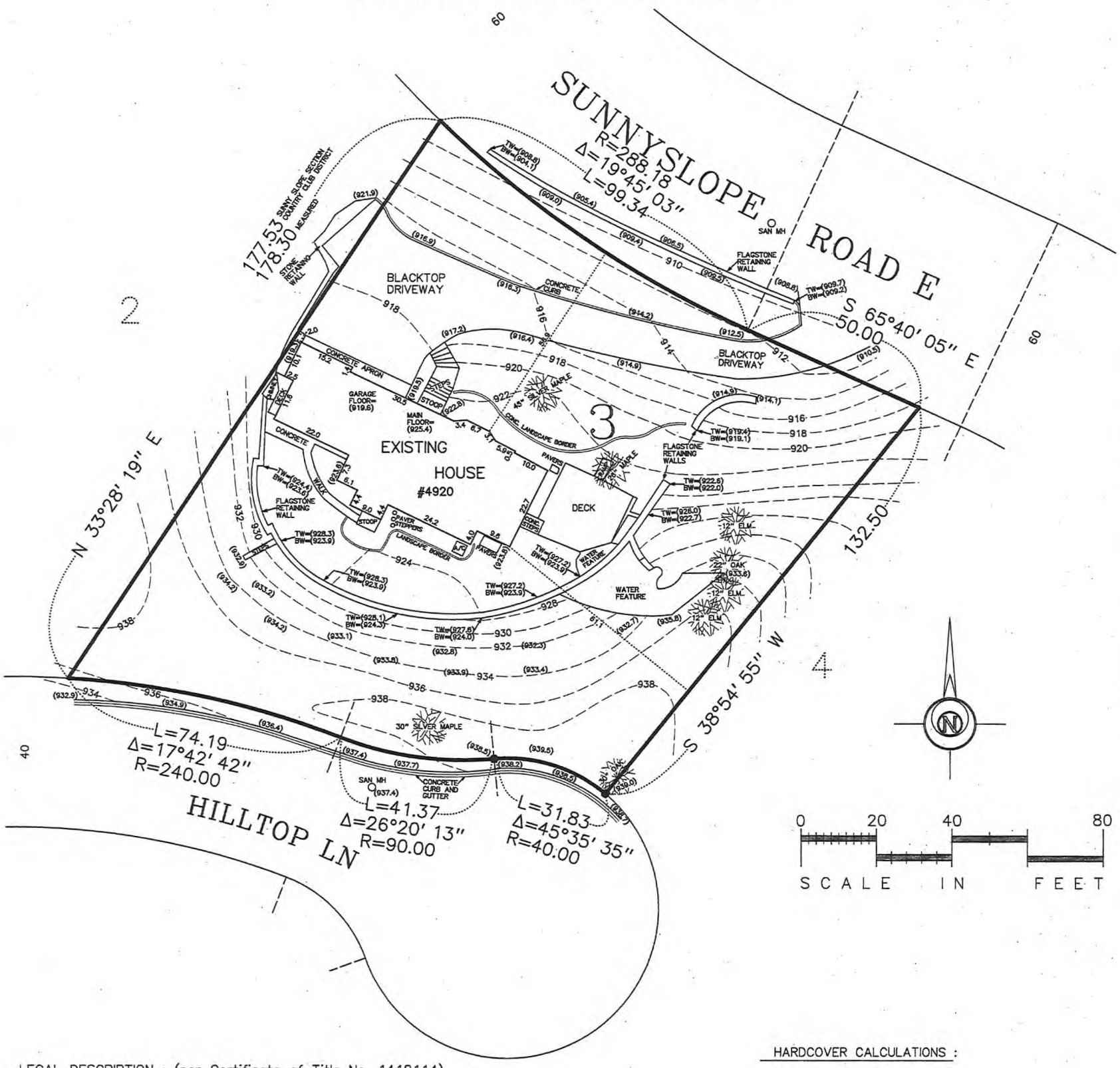
OCT 27 2022

PLANNING DEPARTMENT

CERTIFICATE OF SURVEY FOR

STONEWOOD, LLC

OF LOT 3, BLOCK 4, SUNNY SLOPE SECTION, COUNTRY CLUB DISTRICT
HENNEPIN COUNTY, MINNESOTA



LEGAL DESCRIPTION : (per Certificate of Title No. 1418114)

Lot 3, Block 4, Sunny Slope Section, Country Club District.

● : denotes iron marker found

(908.3) : denotes existing spot elevation, mean sea level datum

—-917-—: denotes existing contour line, mean sea level datum

Bearings shown are based upon an assumed datum.

This survey intends to show the boundaries of the above described property, and the location of an existing house, major trees, spot elevations, topography and all visible "hardcover" thereon. It does not purport to show any other improvements or encroachments.

HARDCOVER CALCULATIONS :

Lot area = 20,879 Sq. ft.

House = 1850 sf
Stoop, steps & landings = 109 sf
Driveway, apron & curb = 2345 sf
Deck & ramp = 391 sf
Large flagstone retaining walls = 316 sf
Rear stoop, concrete & walk = 141 sf
Steps to deck = 20 sf
Pavers & steppers at rear = 20 sf
Water feature = 426 sf
Deck at west side of house = 29 sf
Chimney & wall west of house = 48 sf
A/C pad = 9 sf

Total = 5704 Sq. ft.

5704 / 20,879 x 100 = 27.32%

DATE	DESCRIPTION

GRONBERG AND ASSOCIATES, INC.
CONSULTING ENGINEERS, LAND SURVEYORS, & SITE PLANNERS
445 NORTH WILLOW DRIVE
LONG LAKE, MN. 55356
952-473-4141

I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Mark S. Gronberg

Mark S. Gronberg Minnesota License Number 12755

SCALE 1"=20'

DATE 8-9-22

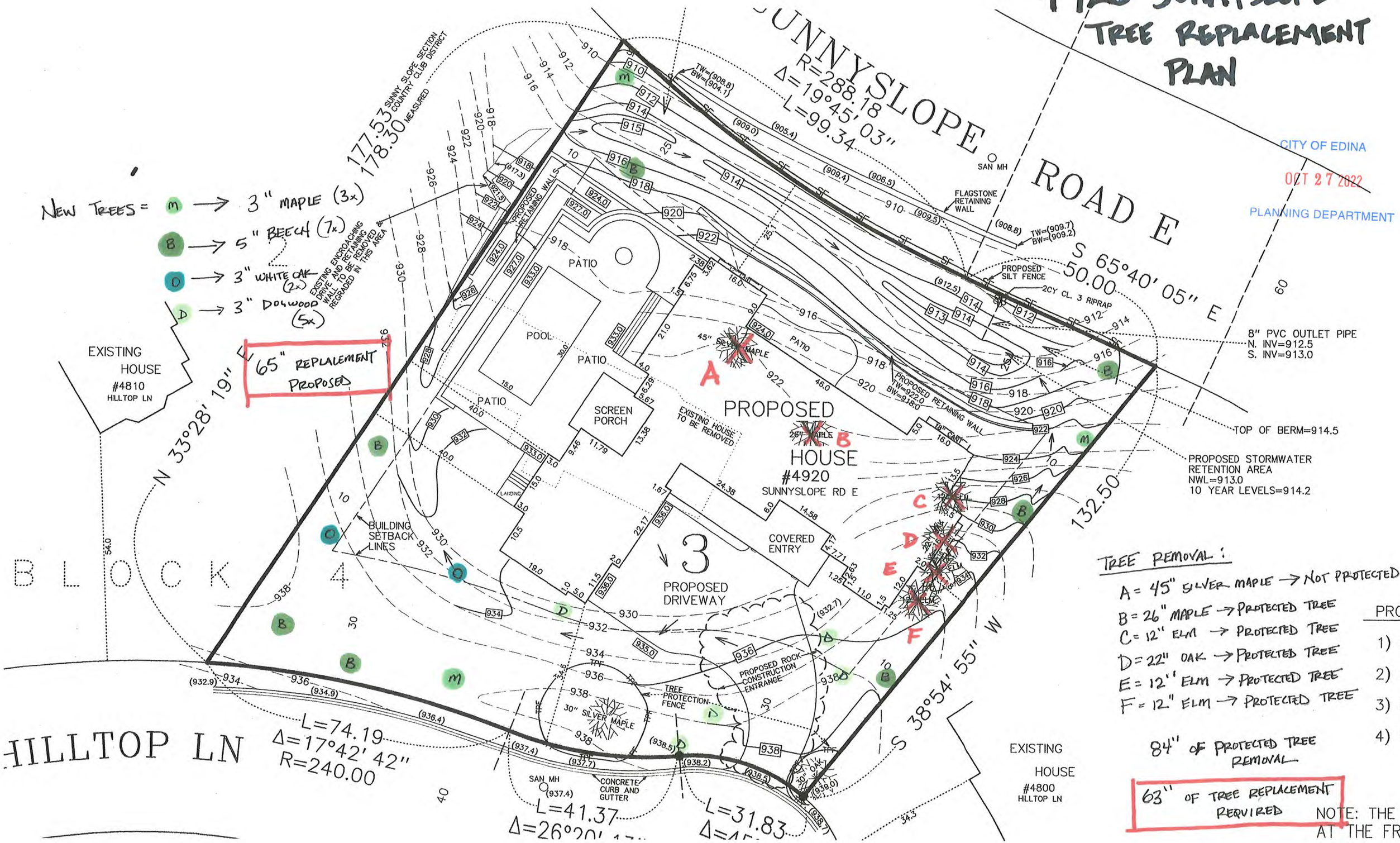
JOB NO. 22-157

22-157

4920 SUNNYSLOPE TREE REPLACEMENT PLAN

CITY OF EDINA
OCT 27 2022
PLANNING DEPARTMENT

NEW TREES =
- m → 3" MAPLE (3x)
- B → 5" BEECH (7x)
- O → 3" WHITE OAK (2x)
- D → 3" DOGWOOD (5x)



TREE REMOVAL:

A = 45" SILVER MAPLE → NOT PROTECTED
B = 26" MAPLE → PROTECTED TREE
C = 12" ELM → PROTECTED TREE
D = 22" OAK → PROTECTED TREE
E = 12" ELM → PROTECTED TREE
F = 12" ELM → PROTECTED TREE

84" OF PROTECTED TREE REMOVAL

63" OF TREE REPLACEMENT REQUIRED

PROF
1) G
2) M
3) L
4) P

NOTE: THE A
AT THE FRO

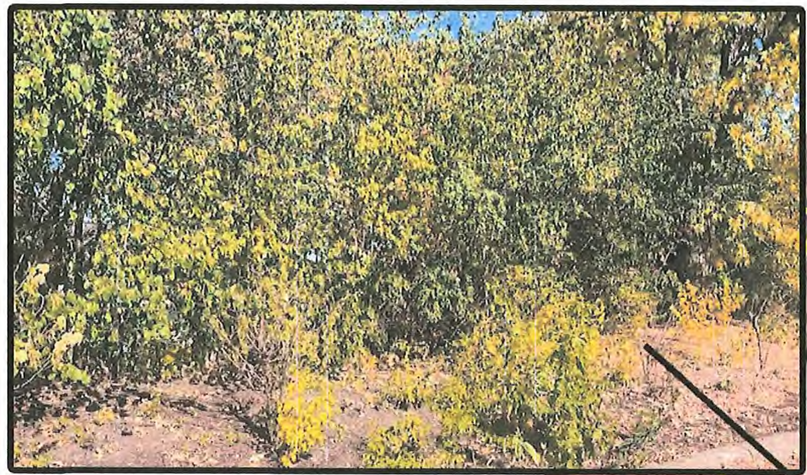
4920 Sunnyslope Road - Neighboring Properties

4810 Hilltop

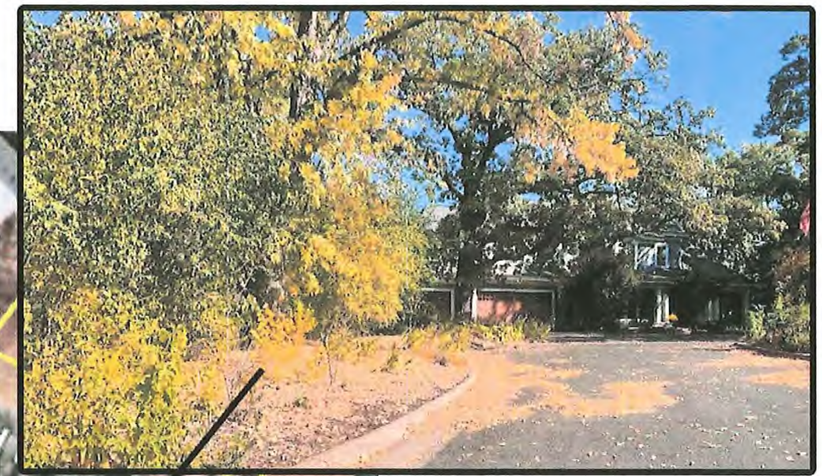
Proposed Home (4920 Sunnyslope Rd)

4800 Hilltop

CITY OF EDINA
OCT 27 2022
PLANNING DEPARTMENT



4810 Hilltop (west of property)



4800 Hilltop (east of property)

4805 Hilltop (south of property)

4801 Hilltop (south of property)

CITY OF EDINA
OCT 27 2022
PLANNING DEPARTMENT

ALEXANDER DESIGN GROUP

4920 SUNNYSLOPE ROAD, E., EDINA

DRAINAGE SUMMARY

October 19, 2022

EXISTING CONDITIONS

Runoff area = 21,300± SF

Runoff CN no. = 79 for 5704 SF of existing hardcover

Time of conc. = 7 minutes

Q10 = 1.89 CFS using Atlas 14 10 year rainfall

PROPOSED CONDITIONS

Runoff area = 21,300± SF

Runoff CN no. = 82 for 8576 SF of proposed hardcover

Time of conc. = 7 minutes

Q10 = 2.09 CFS

Q10 = 1.58 CFS after ponding which is less then existing

Outlet = 8" PVC culvert, inv. 913.0', 10 year elev. = 914.22'

Top of berm = 914.5'

CITY OF EDINA

OCT 20 2022

PLANNING DEPARTMENT

GRONBERG & ASSOCIATES. INC.
445 N. WILLOW DR.
LONG LAKE, MN 55356

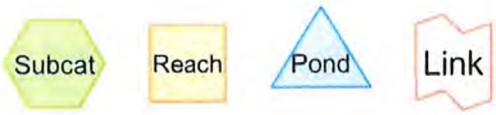
I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Mark S. Gronberg

Mark S. Gronberg Minnesota License Number 12755

Area 1 exist

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT



Routing Diagram for Alexander Design Existing 10-19-22
Prepared by HP Inc., Printed 10/19/2022
HydroCAD® 10.00-25 s/n 04529 © 2019 HydroCAD Software Solutions LLC

Project Notes

Rainfall events imported from "Pioneer Highlands 1st 100 year prop. 7-2-22.hcp"

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.131	98	Existing Hardcover (1E)
0.358	72	Woods/grass comb., Good, HSG C (1E)
0.489	**79**	**TOTAL AREA**

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.358	HSG C	1E
0.000	HSG D	
0.131	Other	1E
0.489		**TOTAL AREA**

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.131	0.131	Existing Hardcover	1E
0.000	0.000	0.358	0.000	0.000	0.358	Woods/grass comb., Good	1E
0.000	**0.000**	**0.358**	**0.000**	**0.131**	**0.489**	**TOTAL AREA**	

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Time span=1.00-36.00 hrs, dt=0.02 hrs, 1751 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1E: Area 1 exist Runoff Area=21,300 sf 26.78% Impervious Runoff Depth=2.18"
Tc=7.0 min CN=79 Runoff=1.89 cfs 0.089 af

Total Runoff Area = 0.489 ac Runoff Volume = 0.089 af Average Runoff Depth = 2.18"
73.22% Pervious = 0.358 ac 26.78% Impervious = 0.131 ac

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Summary for Subcatchment 1E: Area 1 exist

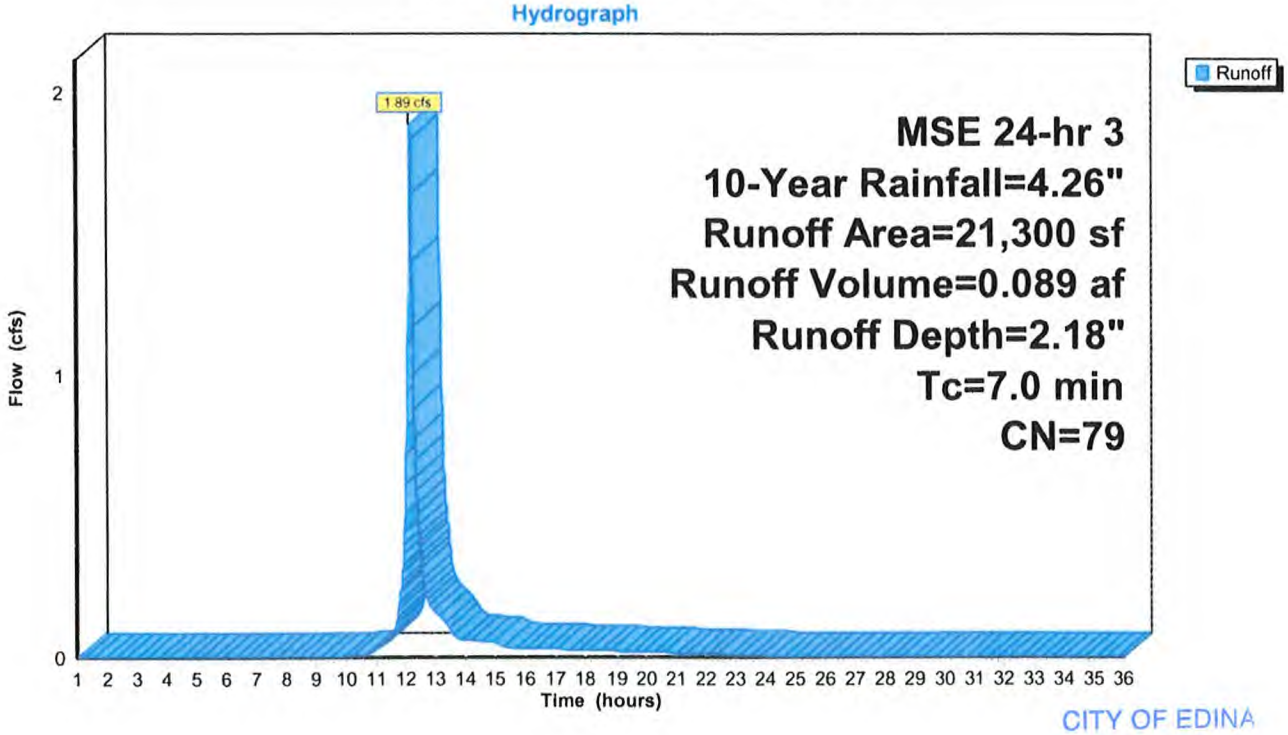
Runoff = 1.89 cfs @ 12.14 hrs, Volume= 0.089 af, Depth= 2.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-36.00 hrs, dt= 0.02 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

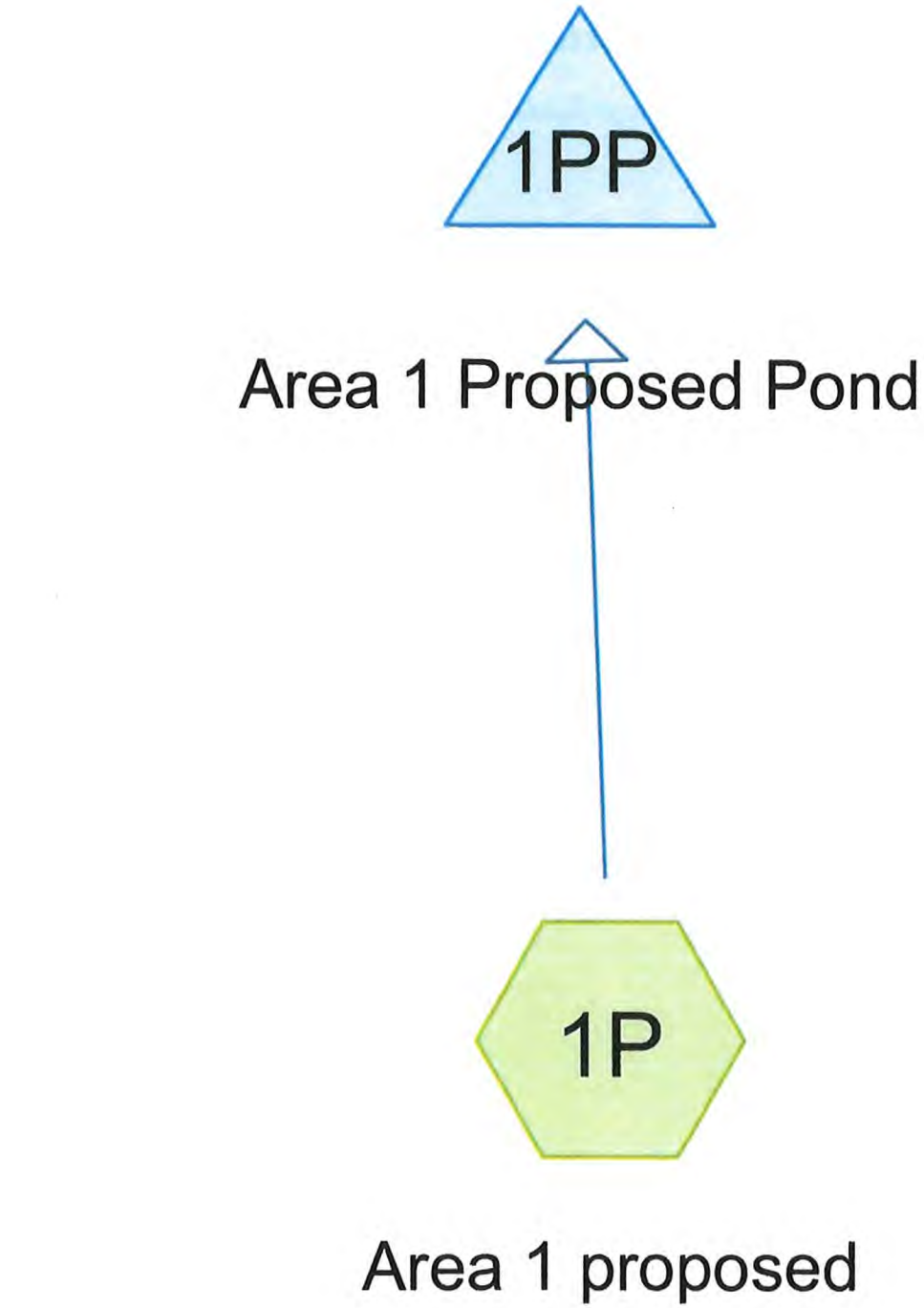
	Area (sf)	CN	Description
*	5,704	98	Existing Hardcover
	15,596	72	Woods/grass comb., Good, HSG C
	21,300	79	Weighted Average
	15,596		73.22% Pervious Area
	5,704		26.78% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					**Direct Entry,**

Subcatchment 1E: Area 1 exist



CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT



CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Routing Diagram for Alexander Design proposed 10-19-22
Prepared by HP Inc., Printed 10/19/2022
HydroCAD® 10.00-25 s/n 04529 © 2019 HydroCAD Software Solutions LLC

Project Notes

Rainfall events imported from "Alexander Design Existing 10-19-22.hcp"

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.197	98	Proposed Hardcover (1P)
0.292	72	Woods/grass comb., Good, HSG C (1P)
0.489	**82**	**TOTAL AREA**

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.292	HSG C	1P
0.000	HSG D	
0.197	Other	1P
0.489		**TOTAL AREA**

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.197	0.197	Proposed Hardcover	1P
0.000	0.000	0.292	0.000	0.000	0.292	Woods/grass comb., Good	1P
0.000	**0.000**	**0.292**	**0.000**	**0.197**	**0.489**	**TOTAL AREA**	

CITY OF EDINA
OCT 20 2022
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Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	1PP	913.00	912.50	10.0	0.0500	0.010	8.0	0.0	0.0

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OCT 20 2022
PLANNING DEPARTMENT

Time span=1.00-36.00 hrs, dt=0.02 hrs, 1751 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1P: Area 1 proposed Runoff Area=21,300 sf 40.26% Impervious Runoff Depth=2.43"
Tc=7.0 min CN=82 Runoff=2.09 cfs 0.099 af

Pond 1PP: Area 1 Proposed Pond Peak Elev=914.22' Storage=364 cf Inflow=2.09 cfs 0.099 af
8.0" Round Culvert n=0.010 L=10.0' S=0.0500 '/' Outflow=1.58 cfs 0.099 af

Total Runoff Area = 0.489 ac Runoff Volume = 0.099 af Average Runoff Depth = 2.43"
59.74% Pervious = 0.292 ac 40.26% Impervious = 0.197 ac

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Summary for Subcatchment 1P: Area 1 proposed

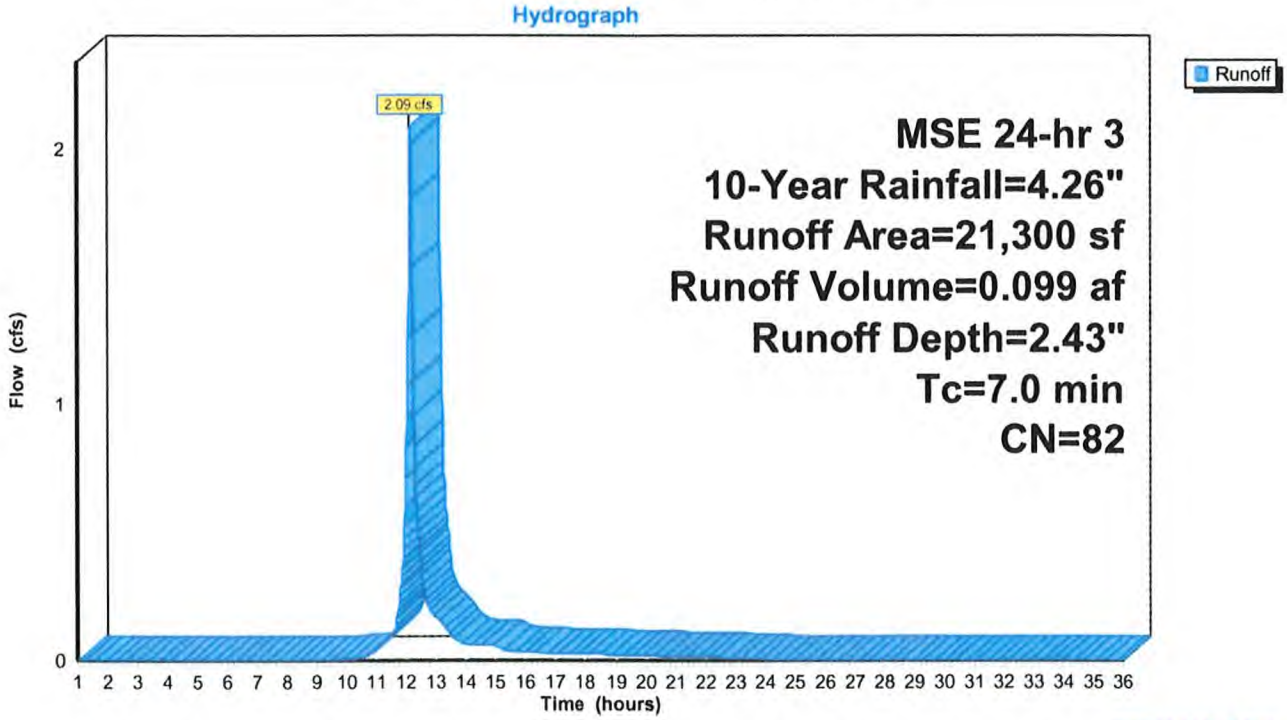
Runoff = 2.09 cfs @ 12.14 hrs, Volume= 0.099 af, Depth= 2.43"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-36.00 hrs, dt= 0.02 hrs
MSE 24-hr 3 10-Year Rainfall=4.26"

	Area (sf)	CN	Description
*	8,576	98	Proposed Hardcover
	12,724	72	Woods/grass comb., Good, HSG C
	21,300	82	Weighted Average
	12,724		59.74% Pervious Area
	8,576		40.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					**Direct Entry,**

Subcatchment 1P: Area 1 proposed



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OCT 20 2022
PLANNING DEPARTMENT

Summary for Pond 1PP: Area 1 Proposed Pond

Inflow Area =	0.489 ac, 40.26% Impervious, Inflow Depth = 2.43" for 10-Year event				
Inflow =	2.09 cfs @ 12.14 hrs, Volume=	0.099 af			
Outflow =	1.58 cfs @ 12.20 hrs, Volume=	0.099 af, Atten= 24%, Lag= 3.3 min			
Primary =	1.58 cfs @ 12.20 hrs, Volume=	0.099 af			

Routing by Stor-Ind method, Time Span= 1.00-36.00 hrs, dt= 0.02 hrs
Peak Elev= 914.22' @ 12.20 hrs Surf.Area= 521 sf Storage= 364 cf

Plug-Flow detention time= 3.7 min calculated for 0.099 af (100% of inflow)
Center-of-Mass det. time= 3.8 min (805.1 - 801.3)

Volume	Invert	Avail.Storage	Storage Description
#1	913.00'	528 cf	**Custom Stage Data (Prismatic)** Listed below (Recalc)

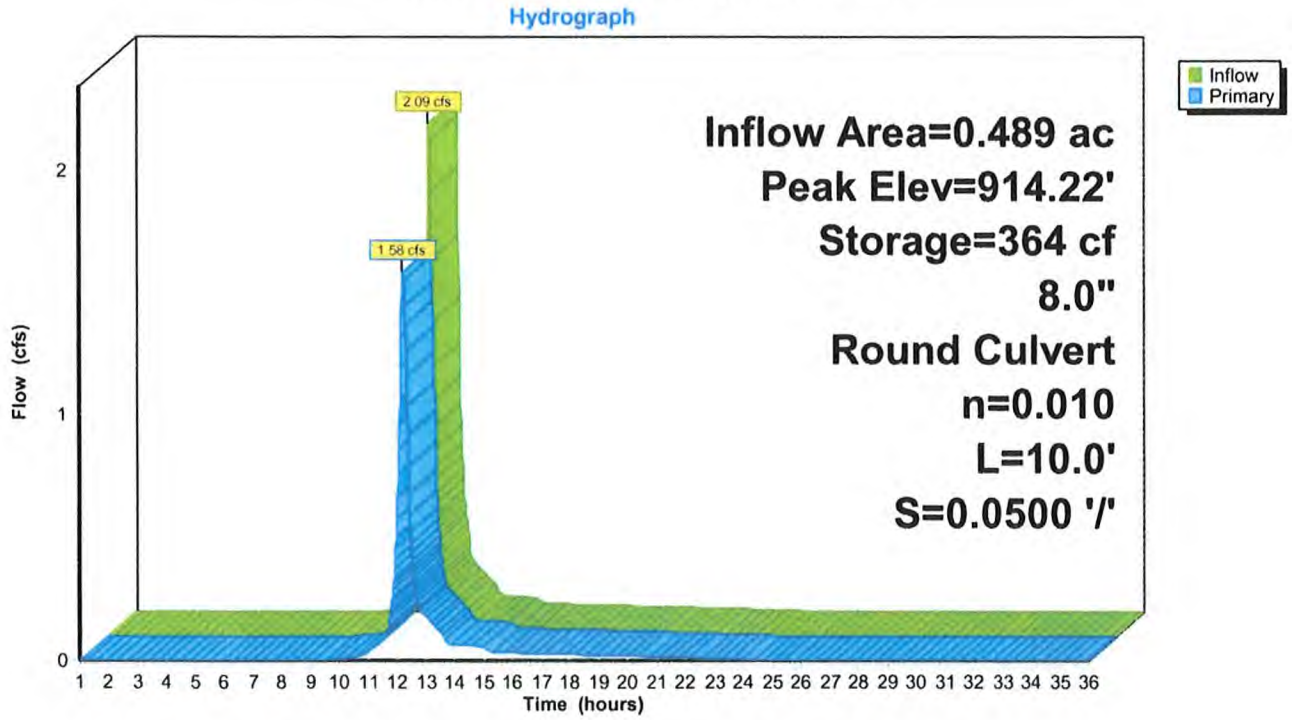
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
913.00	100	0	0
914.00	420	260	260
914.50	650	268	528

Device	Routing	Invert	Outlet Devices
#1	Primary	913.00'	**8.0" Round Culvert** L= 10.0' Ke= 0.500 Inlet / Outlet Invert= 913.00' / 912.50' S= 0.0500 '/' Cc= 0.900 n= 0.010 PVC, smooth interior, Flow Area= 0.35 sf

Primary OutFlow Max=1.58 cfs @ 12.20 hrs HW=914.22' (Free Discharge)
└**1=Culvert** (Inlet Controls 1.58 cfs @ 4.53 fps)

CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Pond 1PP: Area 1 Proposed Pond



CITY OF EDINA
OCT 20 2022
PLANNING DEPARTMENT

Survey Responses

Public Hearing Comments

Better Together Edina

Project: Public Hearing: **4920 Sunnyslope Rd. E**

BANG THE TABLE engagementHQ

VISITORS					
3					
CONTRIBUTORS			RESPONSES		
3			3		
0	0	0	0	0	0
Registered	Unverified	Anonymous	Registered	Unverified	Anonymous

Liz Olson

From: Better Together Edina <notifications@engagementhq.com>
Sent: Thursday, November 10, 2022 8:32 AM
To: Emily Bodeker; Kris Aaker; Liz Olson; Cary Teague
Subject: Liz Olson completed Public Hearing Comments-4920 Sunnyslope Rd

EXTERNAL EMAIL ALERT: This email originated from outside the City of Edina. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Liz Olson just submitted the survey Public Hearing Comments-4920 Sunnyslope Rd with the responses below.

First and Last Name

Matt Graczyk

Address

4810 Hilltop Lane

Comment

I'm calling in to strongly oppose the request for a yard setback variance and the 9 foot 6 inch first floor height variance orientation of the house at 4905 Sunnyslope to Hilltop Lane. I live next door and the topography of that lot does not support, in any way shape or form, re-orientation of the house from Sunnyslope to Hilltop Lane. The setback variance would strongly change the character of the neighborhood and the traffic flow on Hilltop Lane which is already been affected by a previous granting of a house re-orientation to Hilltop. I'm asking the Planning Commission to strongly oppose this and deny the request for both setback variance and re-rotation of home. Thank you very much very my comment so follow-up with the online form and plan to attend the upcoming Planning Commission meeting next week. Thank you very much for the consideration. (Voicemail was received 11/10/22 at 5:33 AM. Transcribed by Liz Olson, Planning Admin)

If this is a test response, click here to discard it.

(The discard option is available only for admin)

Liz Olson

From: Better Together Edina <notifications@engagementhq.com>
Sent: Thursday, November 10, 2022 9:32 AM
To: Emily Bodeker; Kris Aaker; Liz Olson; Cary Teague
Subject: Anonymous User completed Public Hearing Comments-4920 Sunnyslope Rd

EXTERNAL EMAIL ALERT: This email originated from outside the City of Edina. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Anonymous User just submitted the survey Public Hearing Comments-4920 Sunnyslope Rd with the responses below.

First and Last Name

Katie Graczyk

Address

4810 Hilltop Lane

Comment

Strongly oppose BOTH variance requests. The setback request is too close to the street. MORE than 10 foot difference between request and average for existing home on the block. The topography of the lot does NOT support a height variance and the home should NOT be re oriented to Hilltop Lane. The traffic on this cul-de-sac street is already at capacity.

Liz Olson

From: Better Together Edina <notifications@engagementhq.com>
Sent: Thursday, November 10, 2022 10:18 AM
To: Emily Bodeker; Kris Aaker; Liz Olson; Cary Teague
Subject: Anonymous User completed Public Hearing Comments-4920 Sunnyslope Rd

EXTERNAL EMAIL ALERT: This email originated from outside the City of Edina. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Anonymous User just submitted the survey Public Hearing Comments-4920 Sunnyslope Rd with the responses below.

First and Last Name

Matt Graczyk

Address

4810 Hilltop Lane

Comment

I strongly oppose the variances proposed for the following reasons: 1)The setback request is too close to the street. A 10 foot difference from average of surrounding properties negatively impacts site lines from the street and adjacent homes. 2)The topography of the lot does not support a height variance. There is adequate building envelope under current rules, regulations and orientation. The lot does not support a home facing Hilltop Lane. Approving a height variance negatively impacts the aesthetics and site lines of the entire street. 3)We don't need more traffic on a small cul-de-sac with limited room for on street parking and passing traffic. I kindly ask the planning commission to reject the proposal. Regards,, Matt Graczyk

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Liz Olson

From: Better Together Edina <notifications@engagementhq.com>
Sent: Monday, November 14, 2022 4:08 PM
To: Emily Bodeker; Kris Aaker; Liz Olson; Cary Teague
Subject: Liz Olson completed Public Hearing Comments-4920 Sunnyslope Rd

EXTERNAL EMAIL ALERT: This email originated from outside the City of Edina. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Liz Olson just submitted the survey Public Hearing Comments-4920 Sunnyslope Rd with the responses below.

First and Last Name

Katie Graczyk

Address

4801 Hilltop Lane

Comment

I wanted to share that we strongly oppose the request for the 2 variances. First, the setback request is too close to the street and it's over 10 feet difference from the average of the surrounding homes and so we'll have a significant impact on the sight lines from the street and the adjacent homes. The other variance request that we propose is the topography of the lot does not support a height variance. There is adequate building envelope under the current rules, regulations, and orientation and that the lot does not support a home facing Hilltop Lane. Approving a height variance negatively impacts the aesthetics and sight lines of the entire street. The third reason we oppose both variances is that we don't need more traffic on the small cul-de-sac street. So if you could make sure those comments are added to the record that would be great. Thanks. (Voicemail received at 9:34 AM on November 10, 2022. Transcribed by Planning Staff)

If this is a test response, click here to discard it.

(The discard option is available only for admin)

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Setback and 1st floor height variance request

For a new home facing Hilltop Lane at 4920 Sunnyslope E

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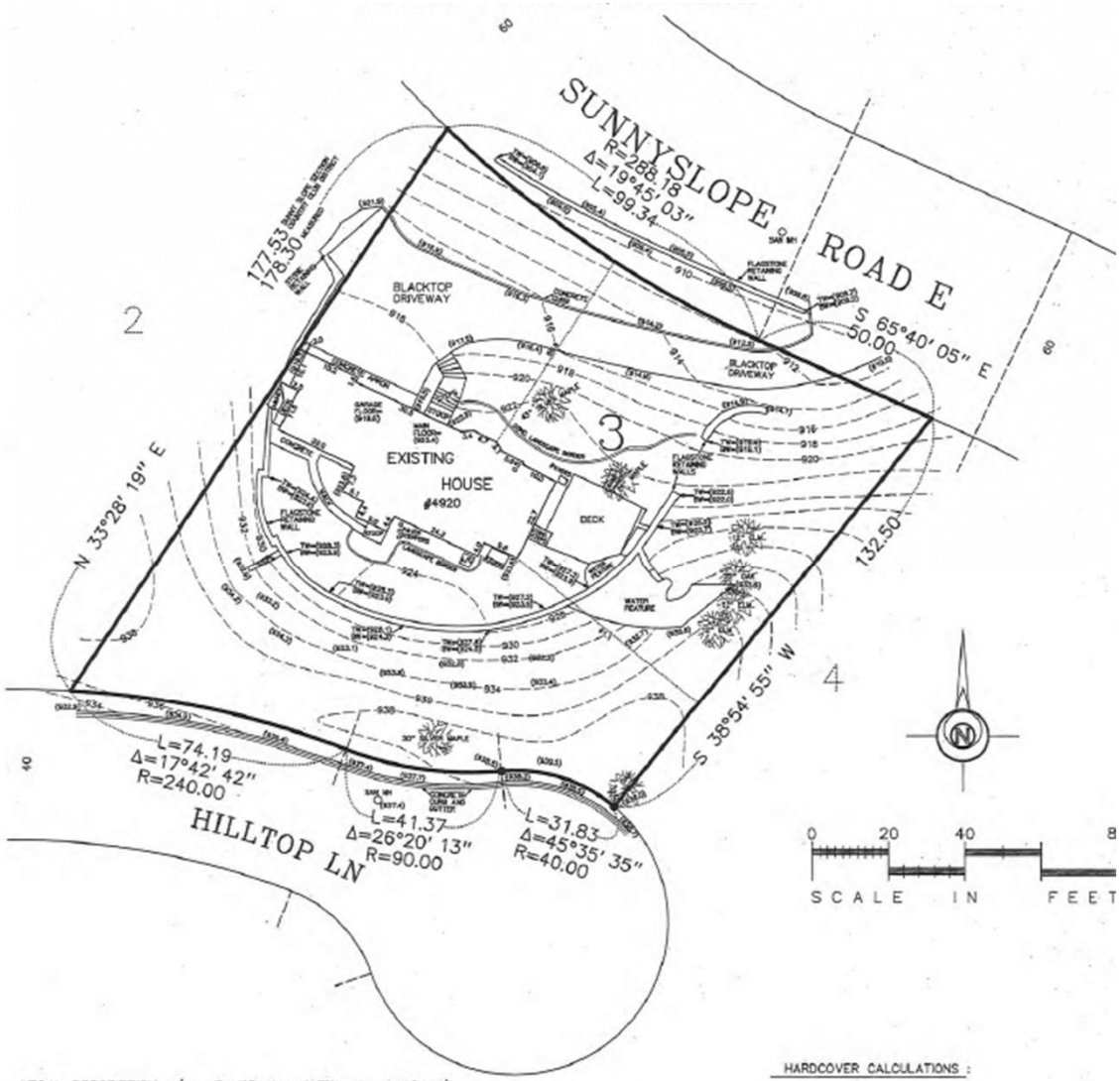

LEGAL DESCRIPTION : (per Certificate of Title No. 1418114)

Lot 3, Block 4, Sunny Slope Section, Country Club District.

HARDCOVER CALCULATIONS :

Lot area = 20,879 Sq. ft.

House = 1850 sf

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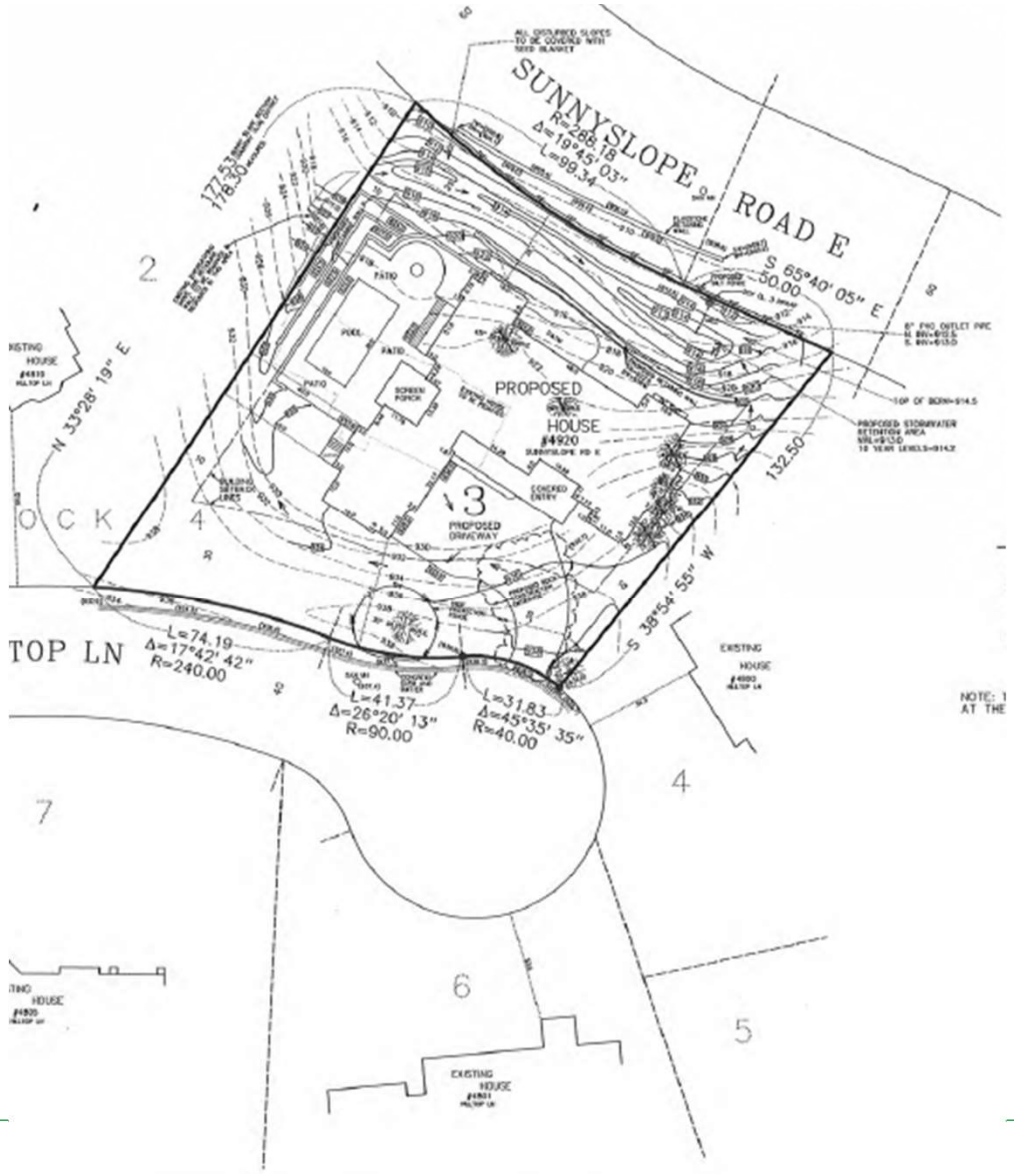

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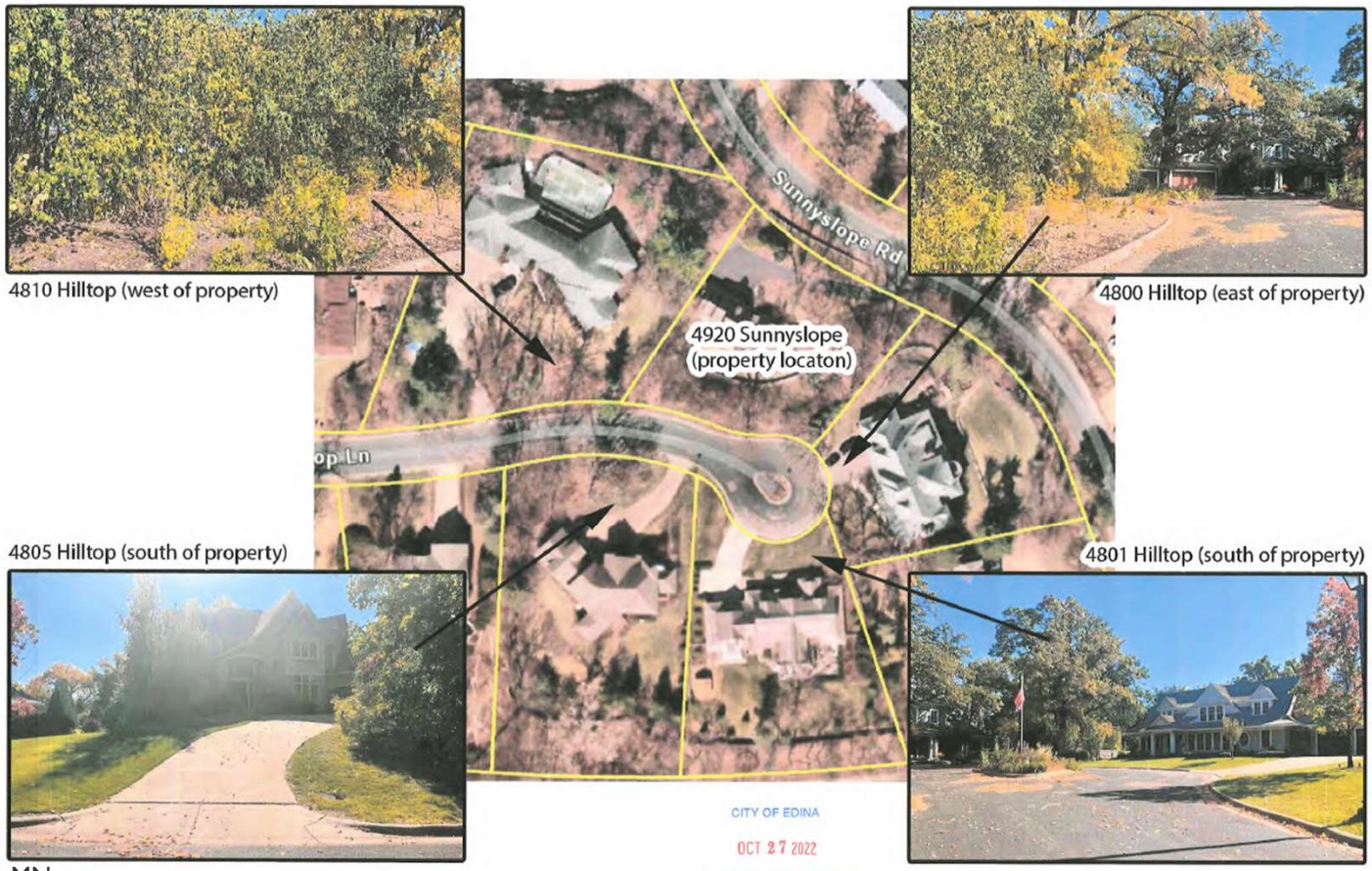

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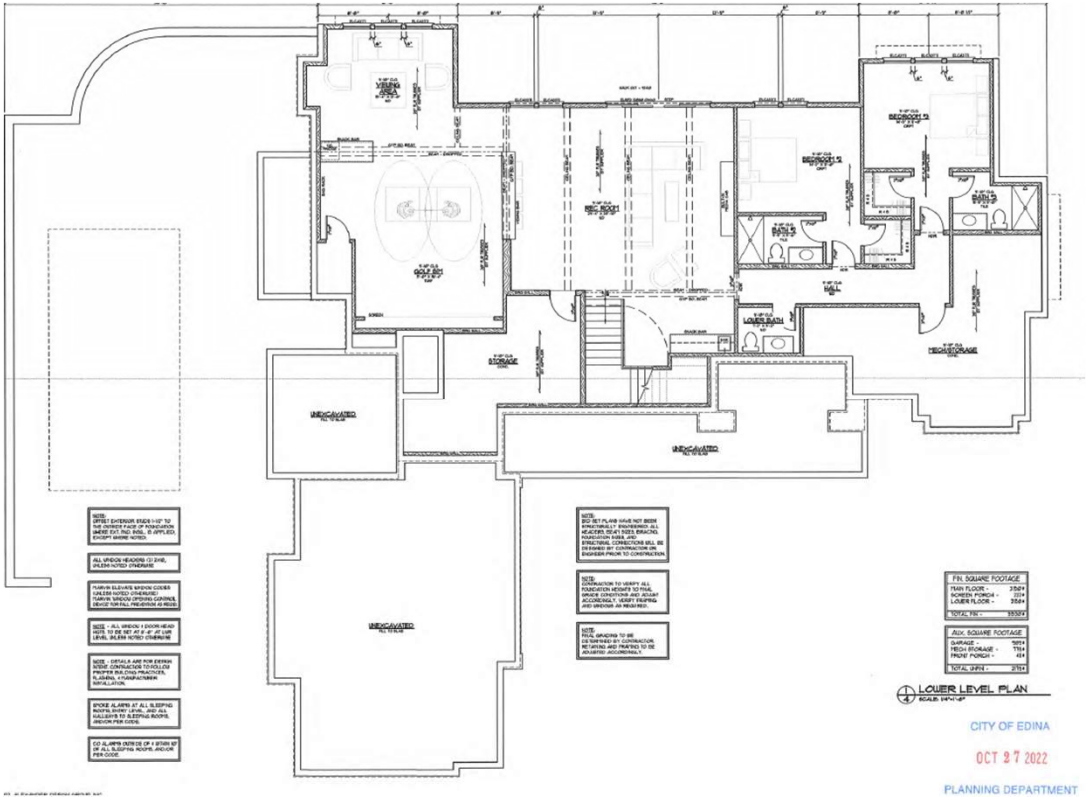

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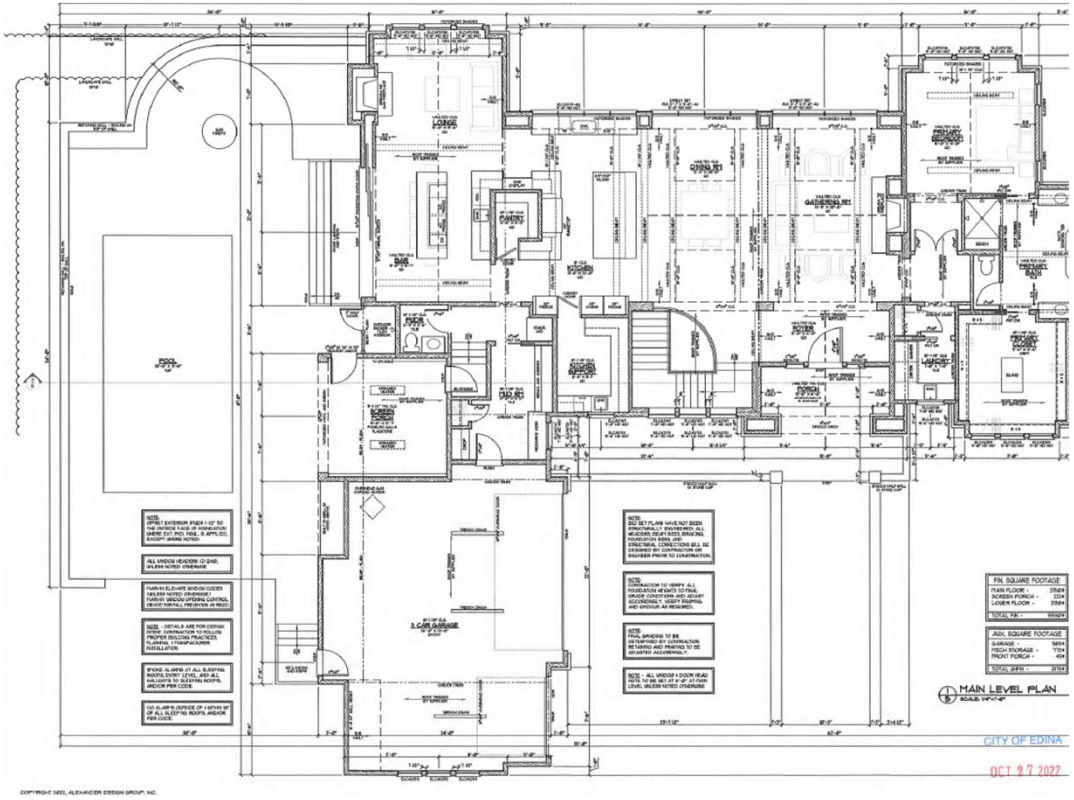

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4920 Sunnyslope Road - Neighboring Properties

4810 Hilltop

Proposed Home (4920 Sunnyslope Rd)

4800 Hilltop

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