

**Agenda
Planning Commission
City Of Edina, Minnesota
City Hall, Council Chambers**

**Wednesday, September 28, 2022
7:00 PM**

**Participate in Public Hearing(s).
Call 888-504-7949.**

Enter Participant Passcode 326815.

**Press *1 on your telephone keypad when you would like to get in the queue to speak.
An operator will introduce you when it is your turn.**

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
 - A. Draft Minutes of Regular Meeting September 14, 2022

V. Community Comment

During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.

VI. Public Hearings

- A. Comprehensive Plan Amendment, Rezoning and Site Plan with multiple Variances – 6016 Vernon Avenue

VII. Chair And Member Comments

VIII. Staff Comments

IX. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: September 28, 2022

Agenda Item #: IV.A.

To: Planning Commission

Item Type:

Minutes

From: Liz Olson, Administrative Support Specialist

Item Activity:

Action

Subject: Draft Minutes of Regular Meeting September 14, 2022

ACTION REQUESTED:

Approve the draft minutes from September 14, 2022.

INTRODUCTION:

ATTACHMENTS:

Draft Minutes September 14, 2022



Minutes
City Of Edina, Minnesota
Planning Commission
Edina City Hall Council Chambers
September 14, 2022

I. Call To Order

Chair Agnew called the meeting to order at 7:00 PM.

II. Roll Call

Answering the roll call were: Commissioners Miranda, Alkire, Gandhi, Bennett, Padilla, Smith, and Chair Agnew. Staff Present: Cary Teague, Community Development Director, and Liz Olson, Administrative Support Specialist.

Absent from the roll call: Commissioner Strauss and Olson.

III. Approval Of Meeting Agenda

Commissioner Alkire moved to approve the September 14, 2022, agenda. Commissioner Padilla seconded the motion. Motion carried unanimously.

IV. Approval Of Meeting Minutes

A. Minutes: Planning Commission, August 24, 2022

Commissioner Alkire moved to approve the August 24, 2022, meeting minutes. Commissioner Padilla seconded the motion. Motion carried unanimously.

V. Special Recognitions and Presentations

A. Welcome Student Commissioners-Shayaan Gandhi and Sarah Hu

Chair Agnew introduced one of the new Student Commissioner, Shayaan Gandhi. Youth Commissioner Gandhi reviewed his interests and grade level with the Commission.

VI. Community Comment

None.

VII. Public Hearings

A. Zoning Ordinance Amendment, to Revise the PUD-16 Zoning District to Include a New Overall Development Plan and Site Plan Review for 7200 and 7250 France Avenue

Director Teague presented the request of a Zoning Ordinance Amendment for 7200 and 7250 France Avenue. Staff recommends approval of the Zoning Ordinance Amendment, as requested subject to the findings and conditions listed in the staff report.

Staff answered Commission questions.

Appearing for the Applicant

Mr. Drew Stafford and Mr. Ted Carlson, Orion Investments, 6550 York, Edina, addressed the Commission.

Mr. Nate Enger and Ms. Joanna Griffith, ESG Architecture and Design was also at the meeting and addressed the Commission and answered questions.

Public Hearing

Mr. Richard Stein, 7016 Bristol Blvd, indicated he had some concerns with this development. He addressed his concerns to the Commission.

Commissioner Bennett moved to close the public hearing. Commissioner Miranda seconded the motion. Motion carried unanimously.

The Commission discussed the proposal and reviewed items with the applicant and staff.

- Presentation and video gave the feel of what the development would look like and feel like
- Likes the mixed-use office change
- Likes the natural buffering with the retention pond and the pedestrian path
- Transition of what is to the east of France Avenue
- Liked the courtyard commitment to pedestrians and gathering space and the elimination of the east/west road
- The design of the office in general looks really nice
- Loves the below grade parking
- Appreciated the way this plan focused on the north/south navigation and connecting to the existing bike infrastructure
- Likes the design moving forward to obtain the green certification
- Likes the look of the landscaping and trees
- Concerned there may be congestion on the roadway from Gallagher or Hwy 72
- Would like to see a way to incorporate the entrance into the parking without creating too much congestion
- Loves the buildings design
- Simplicity is important
- Important to not overlook the lack of negative feedback
- Would like to see more glass in the buildings on the ground level
- Loves the north/south connection

- Does not want a winding path because this is for transportation and not for entertainment
- The pedestrian feel is missing and feels very much like a single use building that is geared towards the vehicle
- It is a beautiful building
- Nervous about breaking this project into two phases
- Would rather have a temporary parking lot in order to get a more robust pedestrian experience in the future

The Commission continued with discussion on possible conditions to add to the motion.

Motion

Commissioner Alkire moved that the Planning Commission recommend approval to the City Council of the request for Zoning Ordinance Amendment and new Overall Development Plan for PUD-16 as outlined in the staff memo subject to the conditions and findings therein. One condition was added that the bike and pedestrian path along the north south connection through the site be physically separated from vehicular path. Commissioner Padilla seconded the motion. Motion carried unanimously.

The Planning Commission meeting can be viewed online at the City website.

VIII. Reports/Recommendations

A. 2023 Planning Commission Work Plan

Director Teague presented the 2023 Planning Commission Work Plan.

The Commission and staff discussed the proposed initiatives for 2023.

Motion

Commissioner Bennett moved approving the 2023 Planning Commission Work Plan. Commissioner Miranda seconded the motion. Motion carried unanimously.

IX. Chair and Member Comments

Received.

X. Staff Comments

Received.

XI. Adjournment

Commissioner Miranda moved to adjourn the September 14, 2022, Meeting of the Edina Planning Commission at 9:55 PM. Commissioner Smith seconded the motion. Motion carried unanimously.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: September 28, 2022

Agenda Item #: VI.A.

To: Planning Commission

Item Type:
Report and Recommendation

From: Cary Teague, Community Development Director

Item Activity:
Action

Subject: Comprehensive Plan Amendment, Rezoning and Site
Plan with multiple Variances – 6016 Vernon Avenue

ACTION REQUESTED:

Recommend the City Council deny the requests.

INTRODUCTION:

Special X Properties LLC is proposing to remodel and expand the existing Kee's auto repair shop at 6016 Vernon Avenue into a 2,300 square foot, 59-indoor seat restaurant with 10 outdoor seats. The existing site is zoned PCD-4, Planned Commercial District, which allows only automobile service centers, gas stations and car washes. Restaurants are allowed uses in the PCD-1, Planned Commercial Zoning District. The site is guided in the Comprehensive Plan for medium density residential use.

To accommodate the request the following is required:

Ø A Comprehensive Plan Amendment from Medium Density Residential to Neighborhood Node.

Ø A Rezoning from PCD-4, Planned Commercial District 4 to PCD-1, Planned Commercial District 1, with a lot size variance to allow a restaurant in the PCD-1 District less than 1 acre in size.

Ø Site Plan Review with the following:

1. Front Street Setback Variance to Eden Prairie Road from 35 to 12 feet.
2. Side Yard setback variance from 25 to 5 feet.
3. A Front Street Setback Variance for the patio built toward Vernon Avenue from 35 feet to 1-foot.
4. A Parking Lot Setback Variance from 10 feet to 0 feet to expand the parking area along the west lot line, and 10 feet to 4 feet for separation between the building and parking lot.
5. Trash enclosure screening setback from the street from 20 feet to 16 feet.

ATTACHMENTS:

Staff Report and Memos

Site Location, Zoning, & Comp. Plan

Proposed Plans and Building Renderings

Applicant Narrative

Parking and Traffic Study

Review Comments from Hennepin County

Sustainability Questionnaire

Better Together Public Hearing Comment Report 1 of 2

Better Together Public Hearing Comment Report 2 of 2

MPCA Letter

MPCA Clean Up Letter

Site Plan Showing Setback Variances Requested

Staff Presentation



Date: September 28, 2022

To: Planning Commission

From: Cary Teague, Community Development Director

Subject: Comprehensive Plan Amendment, Rezoning and Site Plan with multiple Variances – 6106 Vernon Avenue

Information / Background:

Special X Properties LLC is proposing to remodel and expand the existing Kee's auto repair shop at 6016 Vernon Avenue into a 2,300 square foot, 59-indoor seat restaurant with 10 outdoor seats. The exact type of restaurant has not yet been determined. The existing site is zoned PCD-4, Planned Commercial District, which allows only automobile service centers, gas stations and car washes. Restaurants are allowed uses in the PCD-1, Planned Commercial Zoning District. The site is guided in the Comprehensive Plan for medium density residential use.

To accommodate the request the following is required:

- A Comprehensive Plan Amendment from Medium Density Residential to Neighborhood Node.
- A Rezoning from PCD-4, Planned Commercial District 4 to PCD-1, Planned Commercial District 1, with a lot size variance to allow a restaurant in the PCD-1 District less than 1 acre in size.
- Site Plan Review with the following:
 1. Front Street Setback Variance to Eden Prairie Road from 35 to 12 feet.
 2. Side Yard setback variance from 25 to 5 feet.
 3. A Front Street Setback Variance for the patio built toward Vernon Avenue from 35 feet to 1-foot.
 4. A Parking Lot Setback Variance from 10 feet to 0 feet to expand the parking area along the west lot line, and 10 feet to 4 feet for separation between the building and parking lot.
 5. Trash enclosure screening setback from the street from 20 feet to 16 feet.

The applicant has gone through the sketch plan process and per the attached applicant narrative have made the following changes to the plans in response to the concerns raised:

- Eliminated the 2nd story office.
- Reduced the number of indoor seats from 68 to 59.
- Moved the patio from the north side of the building to the southeast away from the residential area.

SUPPORTING INFORMATION

Surrounding Land Uses

- Northerly: Single-family homes; zoned R-I, Single-Dwelling Unit District and guided Low Density Residential.
- Easterly: Single-family homes; zoned R-I, Single-Dwelling Unit District and guided Low Density Residential.
- Southerly: Single-family homes; zoned R-I, Single-Dwelling Unit District and guided Low Density Residential.
- Westerly: Apartments/Condos; zoned PRD-3, Planned Residential District and guided Medium Density Residential.

Existing Site Features

The subject property is 16,373 square feet in size and contains a single-story two-bay auto repair shop, accessory buildings and parking lot. The main building was constructed in 1957 and the site was also used as a gas station until the early 1990's. In 1992 the gas pumps were removed, and soil pollution remediation was done. The cleanup was satisfactorily done, and no further action was required by the MPCA. (See attached documentation from the MPCA.)

Planning

- Guide Plan designation: MDR, Medium Density Residential
- Zoning: PCD-4, Planned Commercial District – 4

Comprehensive Guide Plan Amendment

To accommodate the request, a Comprehensive Plan amendment is requested to change the future land use designation from Medium Density Residential to NN, Neighborhood Node.

This site is unique in Edina in that it is, and has been zoned PCD-4, Planned Commercial District for the automotive repair use and gas station, however, it is guided in the Comprehensive Plan for Medium Density Residential. The Comprehensive Plan designation has been in place at least since 1980 when that Comprehensive was adopted. (See attached 1980 future land use plan from the 1980 Comprehensive Plan.)

Staff assumes that when that Comprehensive Plan land use designation was established to match the existing medium density multi-family housing located to the west.

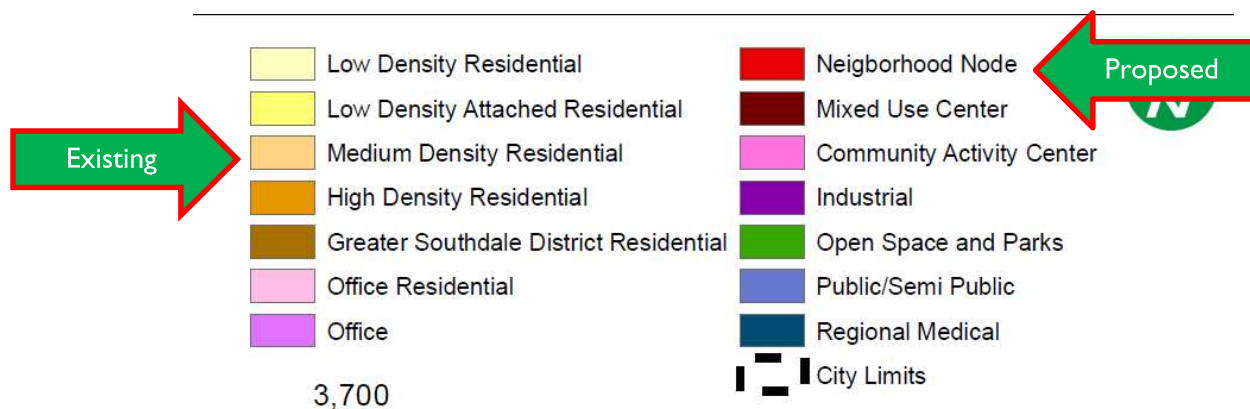
Existing Neighborhood Nodes are typically larger in size and include multiple properties; Examples being 44th and France, 70th and Cahill and Valley View/Wooddale area. In this instance it is the lowest density mixed use or commercial designation allowed in the Comprehensive Plan, therefore, would be the best fit for allowing commercial uses.

Based on the current land use designation of medium density residential, 4 units could be constructed on the site.

Existing Land Use Plan



Proposed Land Use Plan Change



Below are the land use description descriptions in the Comprehensive Plan for both the proposed NN, Neighborhood Node designation and the existing MDR, Medium Density Residential designation:

NN Neighborhood Node*** Current examples: • 44th & France • 70th & Cahill • Valley View & Wooddale	In general, small-to moderate-scale commercial, residential or mixed-use buildings serving primarily the adjacent neighborhood(s). Primary uses encouraged are neighborhood-serving retail and services, offices, studios, institutional and residential.	Building footprints generally less than 20,000 sq. ft. (or less for individual storefronts). Parking is less prominent than pedestrian features. Encourage underground parking (for comparatively larger developments), district parking for smaller developments, and open space linkages where feasible; emphasize enhancement of the pedestrian environment.	Varies by small area: • Wooddale/Valley View – 12-30 du/acre • 70th & Cahill – 10-50 du/acre • 44th & France – 12-60 du/acre 30%/70% residential/commercial mixed-use
------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

MDR Medium-Density Residential	Applies to attached housing (townhouses, quads, etc.) and multi-family complexes of moderate density. May also include small institutional uses.	In new development or redevelopment, improve integration of multi-family housing into an interconnected street network and work to create an attractive, pedestrian-friendly street edge.	5 – 12 residential dwelling units/acre
-----------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------

Based on the size of the subject property and the density allowed in the MDR Districts, four (4) units could be constructed on the subject property. This site is similar in size to the property at 4404 Valley View Road that just received City approval to build 4 townhomes. That site is 11,691 square feet in size, while the subject property is 16,373 square feet in size.

Rezoning

Per Section 36-216 of the City Code, the Commission may recommend approval by the council based upon, but not limited to, the following factors:

Is consistent with the comprehensive plan.

The proposed rezoning is not consistent with the Comprehensive Plan; therefore, an amendment is requested. The current Comprehensive Plan designation is for medium density attached residential which is described as “attached housing (townhouses, quads, etc.) and multi-family complexes of moderate density. May also include small institutional uses.

Will not be detrimental to properties surrounding the tract.

If a site plan is properly designed for a restaurant, the use itself may not be detrimental to a residential neighborhood; however, in this specific instance, because of the significant variances requested, concern over parking, lack of landscape screening, lack of green space, car and truck maneuvering on the site, staff believes the restaurant as proposed would be detrimental to surrounding properties.

Will not result in an overly intensive land use.

Again, if the use is properly designed, the proposed land use (restaurant) could be compatible in a residential area; however, due the size of the site, and a site plan proposed with significant variances requested, concern over parking, lack of landscape screening, lack of green space, car and truck maneuvering on the site, staff believes the restaurant as proposed would be an overly intensive use for the site.

Will not result in undue traffic congestion or traffic hazards.

Traffic study was done by WSB and concludes that the existing roadways can support the project.

Conforms to the provisions of this section and other applicable provisions of this Code.

The site plan proposed for the Rezoning does not conform to several provision of the Zoning Ordinance. Variances are requested as noted in the compliance table on page 8 of this report.

Provides a proper relationship between the proposed improvements, existing structures, open space and natural features.

As mentioned above, there are several variances requested, including a building expansion to extend just 5 feet from the side lot line.

Site Plan Review

Parking

Based on the City Code requirement, Section 36-1311, (this application was made prior to the adoption of the new parking regulations) the required parking spaces meet City Code. A 59-seat restaurant with 5 employees on a maximum shift would require 25 stalls. The applicant is proposing 28 stalls. Under the recently approved new parking regulations, 28 stalls would be required.

A parking study was conducted by WSB and concluded that in order to provide enough parking spaces, the total number of seats should be limited to 53 seats total, that includes outdoor seating. The parking analysis did not differentiate between indoor and outdoor seating. Therefore, if this project were to be approved, the maximum number of seats should be limited to 53. That total number shall include outdoor seating. Number of seats within a restaurant is difficult to enforce. As noted in the parking study, staff has similar concern that parking would spill out in to the adjacent single-family neighborhood. Signage could be provided indicated no restaurant parking on Eden Prairie Road.

Site Circulation/Access/Traffic

Primary access to the proposed development would be off Vernon Avenue. There are two access points with two separate parking fields. The parking areas are separated by the outdoor patio and outdoor seating area.

Staff has concern about site circulation, maneuvering on site, especially larger trucks, and hours of freight deliveries. Hennepin County has stated similar concerns. (See attached email from Hennepin County.) Sec. 36-1347 of City Code requires the following for circulation within parking areas: (1) Unobstructed access to each parking space from a drive aisle shall be provided; (2) Traffic moving from one part of a parking area to another shall be capable of doing so without using a street; and (3) Dead-end drive aisles shall not be permitted. Due to the location of the patio, there are two parking lots, therefore traffic moving from one part of a parking area to another is not capable of doing so without using Vernon Avenue. The applicant has not provided a specific plan for how delivery trucks would maneuver on the site.

WSB also conducted a traffic study. The study concludes that the existing roadways can be supported by the project. (See attached traffic study.)

Landscaping

Based on the perimeter of the site, 17 overstory trees would be required. The proposed plans show 34 existing and proposed overstory trees on site. A full complement of understory shrubs and bushes are also proposed. The applicant is proposing a cedar fence to provide screening the residential area to the north and west. Given that the proposed addition is just 5 feet from the

west lot line and the parking lot extends up to the lot line, there is no landscape screening provided to the multifamily homes located to the west.

Per Section 36-1457 (4) of the Zoning Ordinance: "Off-street parking facilities containing six or more spaces and all loading facilities shall be screened from streets located within 50 feet, and from lots which are used for any residential purpose which are located within 50 feet. Said distance shall be the shortest distance between the parking facility or loading facility and the nearest part of the street or the nearest lot line of the residential lot." This site is located within 50 feet of residential uses to the west and north.

Trash Enclosure

Trash storage facilities, including recycling storage facilities, shall be screened from all lot lines and public road rights-of-way. As proposed, the trash enclosure would be located north of the existing building within a fence enclosure. Per Section. 36-1460 all required screening shall be located on the lot occupied by the use, building, facility or structure to be screened. No screening shall be located upon any public road right-of-way, or within 20 feet of the traveled portion of a street. The screening would be located within 20 feet of the Eden Prairie Road at 16 feet.

Grading/Drainage/Utilities

The city engineer has reviewed the proposed plans and found them to be generally subject to the comments and conditions outlined in the attached memo. Any approvals of this project would be subject to review and approval of the Nine Mile Creek Watershed District, as they are the City's review authority over the grading of the site.

Building/Building Material

The building material of the existing building is metal panel and tile. The proposed addition is designed to match with tile and metal and aluminum panel. The project would meet the City Code provision regarding expansion of existing buildings. Per Section 36-617 (11) f. "All subsequent additions, exterior alterations and accessory buildings constructed after the erection of an original building shall be constructed of the same materials as the original building and shall be designed in a manner conforming to the original architectural design and general appearance."

Mechanical Equipment

Any rooftop and/or ground level equipment would have to be screened if visible from adjacent property lines.

Loading Dock/Trash Enclosures

Loading area would be within the existing parking areas. The trash enclosure is located on the north end of the building and would be screened with landscaping and fencing. Staff has concern regarding deliver trucks and garbage trucks maneuvering on the site.

Living Streets/Multi-Modal Consideration

Sec. 36-1274. - Sidewalks, trails and bicycle facilities.

- (a) In order to promote and provide safe and effective sidewalks and trails in the City and encourage the use of bicycles for recreation and transportation, the following improvements are required, as a condition of approval, on developments requiring the approval of a final development plan or the issuance of a conditional use permit pursuant to article V of this chapter:
- (1) It is the policy of the City to require the construction of sidewalks and trails wherever feasible so as to encourage pedestrian and bicycle connectivity throughout the City. Therefore, developments shall provide sidewalks and trails which adjoin the applicant's property:
 - a. In locations shown on the City's sidewalk and trail plan; and
 - b. In other locations where the council finds that the provision of such sidewalks and trails enhance public access to mass transit facilities or connections to other existing or planned sidewalks, trails or public facilities.
 - (2) Developments shall provide sidewalks between building entrances and sidewalks or trails which exist or which will be constructed pursuant to this section.
 - (3) Developments shall provide direct sidewalk and trail connections with adjoining properties where appropriate.
 - (4) Developments must provide direct sidewalk and trail connections to transit stations or transit stops adjoining the property.
 - (5) Design standards for sidewalks and trails shall be prescribed by the engineer.
 - (6) Nonresidential developments having an off-street automobile parking requirement of 20 or more spaces must provide off-street bicycle parking spaces where bicycles may be parked and secured from theft by their owners. The minimum number of bicycle parking spaces required shall be five percent of the automobile parking space requirement. The design and placement of bicycle parking spaces and bicycle racks used to secure bicycles shall be subject to the approval of the city engineer. Whenever possible, bicycle parking spaces shall be located within 50 feet of a public entrance to a principal building.
- (b) The expense of the improvements set forth in subsection (a) of this section shall be borne by the applicant.

The City's Comprehensive Plan identifies a new sidewalk on the north side of Vernon Avenue between Blake Road/Olinger Boulevard to Olinger Road/Highwood Drive. Therefore, a boulevard style sidewalk should be installed on the site, should this proposal be approved per the attached engineering memo.

Compliance Table

	City Standard (PCD-1)	Proposed
<u>Structure Setbacks</u> Front – Vernon Front Patio – Vernon Front – Eden Prairie Road Side – West <u>Parking & Drive-aisle Setbacks</u> Front – Vernon Front – Eden Prairie Road Side – West Space between building and parking area	35 feet 35 feet 35 feet (structure) 25 feet 20 feet 20 feet 10 feet 10 feet	- 40 feet (30 feet existing) ** 1-foot* 12 feet* (20 feet existing) ** 5 feet* 1 Foot** 3 feet** 0 feet* 4 feet**&*
Height	2-1/2 stories and 30 feet	1 story
Parking Stalls	Restaurant = 1 stall per 3 seats + number of employees on max shift (25 <u>total stalls required</u>)	28 stalls
Lot Size (Restaurant in PCD-1)	1 acre	16,373 s.f.
Trash Enclosure Screening	20 feet	16 feet*
FAR	1.0	.13%

***Variance Required**

****Existing Condition**

PRIMARY ISSUES/STAFF RECOMMENDATION

Primary Issues

- **Are the proposed Variances justified?**

No. Staff believes that the Variances requested with this project are excessive for this site, do not meet the variance criteria as outlined below, and would have a negative impact on surrounding residential properties. The following pieces of the project do not meet City Code:

- The proposed building expansion encroaches on the required street setback toward Eden Prairie Road to 12 feet. The required setback is 35 feet.
- The building expansion to the west encroaches on the side yard setback to 5 feet. The required setback is 25 feet.
- The front patio constructed toward Vernon Avenue would have a one-foot setback to the lot line. A 35-foot setback is required. The patio causes a separation in the parking lot, which would have impacts on maneuvering on the site for customers, delivery trucks and garbage trucks.
- Expansion of the west parking lot requires a Variance from 10 feet to 0 feet to the west lot line, and from 10 feet to 4 feet for the building separation to the parking lot. The result is no room to provide on-site landscaping to screen from the residential property to the west. (The nearest residence to the west is 80 feet away.)
- Trash enclosure screening is 16 feet from the traveled portion of Eden Prairie Road and 20 feet is required.
- Minimum lot size for a restaurant in a PCD-I District is 1 acre. This site is 16,000 square feet in size.

Per Chapter 36 of the City Code, a variance should not be granted unless it is found that the enforcement of the Ordinance would cause practical difficulties in complying with the Zoning Ordinance and that the use is reasonable. As demonstrated below, staff believes the proposal does not meet the variance standards, when applying the three conditions:

Minnesota Statutes and Edina Ordinances require that the following conditions must be satisfied affirmatively. The Proposed Variance will:

1) Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

While there are practical difficulties with this lot (the small lot size and irregular shape), staff believes the proposed variances are not reasonable. As demonstrated in the table above, the site is nearly being developed from lot line to lot line with very little to no parking lot setback area or building setback area. This causes a lack of area for green space to provide adequate landscaping, screening and buffering from adjacent residential uses to the north and west, and to Vernon Avenue to the south.

Additionally, the on-site circulation within the parking areas is not adequate. Due to the

location of the patio just one foot from the front lot line, there are two parking lots, therefore traffic moving from one part of a parking area to another is not capable of doing so without using Vernon Avenue. Sec. 36-1347 of City Code requires the following for circulation within parking areas: (1) Unobstructed access to each parking space from a drive aisle shall be provided; (2) Traffic moving from one part of a parking area to another shall be capable of doing so without using a street; and (3) Dead-end drive aisles shall not be permitted.

The site could continue to operate with auto repair, or the property owner could propose a 4-unit housing development consistent with the Comprehensive Plan, either would be seen as a reasonable use.

2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?*

Yes. The site is generally unique and not common to similarly zoned PCD, Planned Commercial properties. The site is very small in size, is triangular in shape, and has two street frontages. It would be difficult to build anything on this site without a variance. This site is similar in size to the property at 4404 Valley View Road that just received approval to build 4 townhomes. That site is 11,691 square feet in size, while the subject property is 16,373 square feet in size.

3) *Will the variance alter the essential character of the neighborhood?*

Yes. Given the magnitude and number of variances requested, the lack of screening and separation for residential uses, concern over parking and vehicles maneuvering in, out and around the site, the variances and intensification of the site would alter the essential character of the neighborhood.

• **Is the proposed Rezoning to PCD-1 reasonable?**

No. In this instance, with the circumstances surrounding the proposed site plan, staff does not support the request for the following reasons:

1. The proposal does not meet the findings for rezoning per Section 36-216 of the City Code. specifically:
 - a) The proposal is not consistent with the comprehensive plan.
 - b) The site plan would be detrimental to properties given the magnitude and number variances requested, lack of green space, setback and separation from residential uses, potential parking issues and vehicle maneuvering in and out of the site.
 - c) Will result in an overly intensive land use.
 - d) Does not conform to the provisions of the City Code.
 - e) Does not “provide a proper relationship between the proposed improvements, existing structures, open space and natural features.”
2. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance, specifically, traffic moving from one part of a parking area to another is not capable of doing so without using Vernon Avenue.
3. Staff would recommend a rezoning of the site to PRD-3 to bring the site in to compliance

with the existing Comprehensive Plan designation. The property owner would then have the option of continuing the automotive repair use as a legally existing non-conforming use or could propose to redevelop the site with 4 units of housing under the PRD-3 standards.

- **Is the Comprehensive Plan Amendment reasonable?**

No. Staff does not support the Variances or Rezoning, therefore, does not support the Comprehensive Plan Amendment for the following reasons:

1. The subject property is too small to accommodate all that is being proposed on the site. As proposed with the significant number of variances being requested, the restaurant would be an overly intensive use for the site.
2. The proposed use and site plan to accommodate the use is not compatible with the adjacent residential land uses. The variances proposed are significant.
3. There is a lack of green space and landscaping to minimize impact to the adjacent properties. The parking lots are located right up to the lot lines, and the proposed addition is just 5 feet from the west lot line, providing no opportunity for green space and landscaping.
4. As proposed, based on the parking study done by VWSB, there is potential for parking on adjacent streets. There is additional concern over car and truck maneuvering in and out of the site off Vernon Avenue. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance.

Options for consideration

For this project, the City of Edina has complete discretion to approve or deny the request. A case can be made for both approval and denial of this project. The following outlines alternatives for the Planning Commission to consider.

Approval

Comprehensive Plan

Recommend the City Council approve the Comprehensive Plan Amendment to re-guide the site from MDR, Medium Density Residential to NN, Neighborhood Node. Approval is based on the following findings:

1. The subject property has been used a commercial site with proper zoning for over 50 years. The proposed amendment is reasonable given the change in use from an auto-repair and former gas station to a restaurant. The Comprehensive Plan Amendment would be consistent with the existing commercial zoning on the site.
2. The proposed amendment would allow a re-development of a commercial property that would be an amenity serving the area. A restaurant would be a community gathering space for this neighborhood which does not have this type of use in the area.

3. With the requirement of an 8-foot cedar fence located along the west and north lot lines and the landscaping proposed, the project would be screened from adjacent residential land uses.

Rezoning with Variances

Recommend the City Council Approve the Rezoning from PCD-4 to PCD-I, Site Plan Review and Variances. Approval is based on the following findings:

1. The re-zoning would be generally consistent with existing zoning on the site.
2. The practical difficulties include the small lot size, irregular shape of the lot and street frontages on two sides.
3. The proposed variances are reasonable given the practical difficulties associated with the site including the triangular shape of the site, street frontage on two sides and the lots small size.
4. The project would include a restoration of the existing building; the expansion area would be to the west, where the nearest building would be 80 feet away.
5. The proposed Cedar Fence along the west and north lot lines would minimize impact on the adjacent residential use to the north and west.
6. The proposal would be an improvement over existing conditions and use of the site.

Approval is subject to the following Conditions:

1. The Final Site Plans must be consistent with the Preliminary Site Plans dated July 29, 2022.
2. The Final Landscape Plan must meet all minimum landscaping requirements per Chapter 36 of the Zoning Ordinance. A performance bond, letter-of-credit, or cash deposit must be submitted for one and one-half times the cost amount for completing the required landscaping, screening, or erosion control measures at the time of any building permit. The property owner is responsible for replacing any required landscaping that dies after the project is built.
3. Compliance with all the conditions outlined in the city engineer's memo dated August 31 and June 30, 2022, and the building official memo dated August 23, 2022.
4. Approval of a Site Improvement Performance Agreement at Final approval,
5. Variances are subject to Final Rezoning and Final Site Plan approval by City Council.
6. Submit a copy of the Nine Mile Creek Watershed District permit. The City may require revisions to the approved plans to meet the district's requirements.
7. Final Rezoning is contingent on the Metropolitan Council approval of the Comprehensive Plan Amendments.
8. An eight-foot cedar fence must be installed and maintained along the west and north lot line as proposed to provide screening from adjacent properties.

9. A boulevard-style sidewalk must be constructed along Vernon Avenue. Sidewalk must be 6 feet minimum width with a 5-foot minimum width boulevard.
10. Seating capacity of the restaurant, including outdoor seating shall be limited to 53 seats.
11. Hours of construction shall be limited to: Monday – Friday 7 A.M. to 7 P.M. Saturdays – 9A.M. to 5 P.M. Sundays and Holidays – No Work Allowed.
12. Hours of operation shall be determined at the time of final approvals and would be subject to any conditions established as part of a liquor license.
13. Noise from the site shall be subject to the city's noise regulations in accordance article II, division 5 of chapter 23.

Denial

Comprehensive Plan

Recommend the City Council deny the Comprehensive Plan Amendment to re-guide the site from MDR, Medium Density Residential to NN, Neighborhood Node. Denial is based on the following findings:

1. The subject property is too small to accommodate all that is being proposed on the site. As proposed with the significant number of variances being requested, the restaurant would be an overly intensive use for the site.
2. The proposed use and site plan to accommodate the use is not compatible with the adjacent residential land uses. The variances proposed are significant.
3. There is a lack of green space and landscaping to minimize impact to the adjacent properties. The parking lots are located right up to the lot lines, and the proposed addition is just 5 feet from the west lot line, providing no opportunity for green space and landscaping.
4. As proposed, based on the parking study done by WSB, there is potential for parking on adjacent streets. There is additional concern over car and truck maneuvering in and out of the site off Vernon Avenue. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance.

Rezoning with Variances

Recommend the City Council Deny the Rezoning from PCD-4 to PCD-1, Site Plan Review and Variances. Denial is based on the following findings:

1. The Variance criteria has not been met. There are no practical difficulties that prohibit reasonable use of the property.
2. The practical difficulty is caused by the applicant's desire for a restaurant that does not fit properly on the site to minimize impacts on adjacent properties.
3. PCD Zoning District minimum area for restaurants is 1 acre in size.

4. The proposal does not meet the findings Per Section 36-216 of the City Code. specifically:
 - a) The proposal is not consistent with the comprehensive plan.
 - b) The site plan would be detrimental to properties given the large variances requested, lack of green space, setback and separation from residential uses, potential parking issues and vehicle maneuvering in and out of the site.
 - c) Will result in an overly intensive land use.
 - d) Does not conform to the provisions of the City Code.
 - e) Does not “provide a proper relationship between the proposed improvements, existing structures, open space and natural features.
5. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance which requires the following for circulation within parking areas: (1) Unobstructed access to each parking space from a drive aisle shall be provided; (2) Traffic moving from one part of a parking area to another shall be capable of doing so without using a street; and (3) Dead-end drive aisles shall not be permitted. Traffic moving from one part of a parking area to another is not capable of doing so without using Vernon Avenue.

Staff Recommendation

Staff recommends denial of the Comprehensive Plan Amendment, Rezoning, Site Plan and Variances subject to the findings above.

Deadline for a City decision: November 16, 2022



Date: August 23, 2022

To: Cary Teague, Community Development Director

From: David Fisher, Chief Building Official & Dave Ehmler, Fire Marshal

Subject: 6016 Vernon Ave – Westside Café Project – Addition and Restaurant

Information / Background:

The Westside Café will be a change in use from a repair garage to a restaurant with an addition to the building. The restaurant is one-story building over 2,000 square feet.

- The restaurant building would be an A-2 Assembly use. Because of the occupant load maybe under 50 occupants, it may be classified as “B” in the 2020 Minnesota State Building Code & Fire Code.
- Provide a complete Building Code analysis with plans when submitting for the building permit.
- NFPA 13 Fire Sprinkler System is required in the building.
- All Fire Department connections must be no more than 100 feet from an accessible fire hydrant and within 50 feet of the main entrance; be fully visible and immediately accessible by fire personnel for each building (placement subject to approval by AHJ)
- Verify Fire Department access roads are per 2020 MSFC or per AHJ approval for the whole site and for each building.
- Ensure adequate Emergency Responder Radio Coverage per policy number SP-022-F2 in the building.
- See [Fire Permits and Policies](https://www.edinamn.gov/717/Fire-Permits-Policies) page on the city website for additional information.
(<https://www.edinamn.gov/717/Fire-Permits-Policies>)
- Assessable parking is required to be close as possible to the main entry. It appears two assessable spaces are required based on the number of parking spaces.
- A grease interceptor will be required.
- Verify noise ordinance will be complied with and that it’s understood.
- Working Hours: Monday – Friday 7 A.M. to 7 P.M. Saturdays – 9A.M. to 5 P.M. Sundays and Holidays – No Work Allowed
- Recommend a 30, 60 and 90 percent meeting with staff before applying for the building permit.



DATE: 8/31/2022

TO: 6016 Vernon Ave, Owner and Development Team

CC: Cary Teague – Community Development Director

FROM: Chad Millner, PE, Director of Engineering
Ross Bintner, PE, Engineering Services Manager
Zuleyka Marquez, PE, Graduate Engineer
Mattias Oddsson, Engineering Services Intern

RE: 6016 Vernon Ave – Development Review

The Engineering Department has reviewed the subject property for pedestrian facilities, utility connections, grading, flood risk, and storm water. Plans reviewed included civil, landscape, and survey drawings dated July 2022.

Review Comment		Required For
General		
1.	Deliver as-build records of public and private utility infrastructure post construction.	Certificate of Occupancy
Survey		
2.	An existing and proposed site condition survey is required.	Grading/Building Permit
2.1	Show all existing and proposed public and private easements.	Grading/Building Permit
Living Streets		
3.	Sidewalk required along Vernon Avenue – 6-ft minimum width with a 5-ft minimum width boulevard connecting near Highwood Drive.	Grading/Building Permit
4.	Staff recommends consideration of a more direct pedestrian connection (in the form of a 5' minimum width sidewalk) between the building and Eden Prairie Road to promote multi-modal connectivity with the adjacent residential neighborhood.	General Comment
5.	Design sidewalks to meet ADA requirements.	Grading/Building Permit
6.	Saw cut concrete sidewalk joints on public sidewalks.	Grading/Building Permit
Traffic and Street		
7.	Review fire access requirements with fire department. Fire truck turning template attached.	Grading/Building Permit



8.	Provide traffic study and implement City-approved recommendations, attached.	Grading/Building Permit
9.	ROW permit from Hennepin County may be required for driveway entrance replacement. Comply with City standard plate 410 where possible.	
10.	Road patching shall conform to Hennepin County standards.	
11.	Turning movements and travel routes for delivery vehicles should be reviewed by the applicant. Steps should be taken to minimize the impact of delivery vehicles on pedestrian and bicycle movement through the site (additional signage, designated delivery zones, etc.)	General Comment
12.	Proposed trees, vegetation, signage and other items adjacent to intersections should maintain a clear view zone as defined in Section 26-190 of City Code.	Grading/Building Permit
Sanitary and Water Utilities		
13.	Verify fire demand and hydrant locations.	Grading/Building Permit
14.	Domestic water shall be sized by the developer's engineer.	Grading/Building Permit
15.	Domestic sanitary shall be sized by the developer's engineer.	Grading/Building Permit
16.	Apply for a sewer and water connection permit with Public Works.	Prior to Starting Utility Work
16.1	Meter required for building service line and combined lines. No meter required for fire only service line.	Grading/Building Permit
16.2	Public Works to determine acceptable installation methods.	Grading/Building Permit
17.	Disconnected sanitary and water services to be capped at main.	
18.	A SAC determination will be required by the Metropolitan Council. The SAC determination will be used by the City to calculate sewer and water connection charges	Grading/Building Permit
19.	Single connection from main for fire and domestic, split after main connection.	Grading/Building Permit
20.	Verified sealed well located onsite. No issues	
Storm Water Utility		
21.	Provide geotechnical report with soil borings.	Grading/Building Permit
22.	A portion of this site drains to a structural flooding issue. Volume control may be required for that drainage area.	Grading/Building Permit

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



23.	Provide hydraulic and hydrologic report meeting watershed and state construction site permit requirements.	Grading/Building Permit
24.	Submit watershed district permit and copies of private maintenance agreement in favor of watershed.	Grading/Building Permit
25.	<p>Rain gardens are proposed on site with various MPCA soil contamination / investigation programs listed. Refer to link: https://webapp.pca.state.mn.us/wimn/site/104880</p> <p>Confirm soil remediation meets MPCA/MDH Guidance to allow soil infiltrating features. Nine Mile Creek WD permit review should specifically address this issue.</p> <p>Per the attached Technical Assistance Letter: The MPCA recommends that future construction activities at the Site (e.g., potential addition, new building, new utility trenches, etc.) be preceded by a soil vapor investigation within the footprint of the proposed construction area, so a vapor mitigation decision for the new feature can be made based on concurrent data.</p>	Grading/Building Permit
Grading Erosion and Sediment Control		
26.	A SWPPP consistent with the State General Construction Site Stormwater Permit is required.	Grading/Building Permit
Constructability and Safety		
27.	Construction staging, traffic control, and pedestrian access plans will be required.	Grading/Building Permit
Sustainability		
28.	Staff recommends installing EV chargers for a minimum of 5% proposed parking in addition to wiring 10% for EV conversion in the future.	General Comment
29.	Staff recommends providing a minimum of one bike parking stall for every 10 potential restaurant patrons. These parking stalls should be in convenient, well-lit locations within 50' of a public entrance to the building. Rack style and spacing should follow the recommendations of the Association for Pedestrian and Bicycle Professionals (APBP).	General Comment
30.	The Metropolitan Council's Extreme Heat map shows that during an extreme heat event (when air temperatures are 90 or above), this area of Edina can be 4-10 degrees F hotter than surrounding areas. Green roofs reduce the urban heat island effect, reducing amount of greenhouse gas emissions trapped in the atmosphere	General Comment

ENGINEERING DEPARTMENT



	and energy needs to cool a building. Staff suggests exploring a green roof or garden to reduce this urban heat island effect and energy costs to cool the building.	
31.	The University of Minnesota's Solar Suitability map rates 6016 Vernon Ave. as "optimal" for solar roof installations with a grade of 95 out of 100. Staff recommends considering this option when assessing the roof for green roof or solar options.	General Comment
32.	See Sustainable Design Questionnaire for additional considerations.	General Comment
Other Agency Coordination		
33.	MDH, MPCA and MCES permits required as needed.	Grading/Building Permit
34.	Nine Mile Creek Watershed District permit is required.	Grading/Building Permit
35.	Hennepin County is requesting consideration of site plan adjustment to connect the two parking lots and only have 1 driveway off of Vernon Avenue. Also requesting a sidewalk connection to Eden Prairie Rd	General Comment

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



Date: June 30, 2022

To: Cary Teague – Community Development Director
Chad Millner, PE – Director of Engineering

Cc: 6016 Vernon Avenue, Owner and Development Team

From: Andrew Scipioni – Transportation Planner

Re: **6016 Vernon Avenue – Transportation Review**

Special X Properties, LLC and Christian Dean Architecture are proposing to redevelop 6016 Vernon Avenue, currently occupied by Kevin Kee's Auto Service (closed). The proposed redevelopment would remodel and expand the existing building into a 2,370-square-foot, 69-seat restaurant. WSB completed a traffic impact study (TIS) for this project on behalf of the City. This memo will review the findings of the TIS and other transportation impacts of the proposed development.

Trip Generation

WSB analyzed proposed trip generation based on the *Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition*. This manual provides national average traffic generation rates for different land uses. WSB estimates that the proposed development will generate 302 daily trips, with 31 and 27 trips during the a.m. and p.m. peak hours, respectively.

Capacity Analysis

Four intersections along Vernon Avenue adjacent to the site were studied by WSB (see Figure 2).

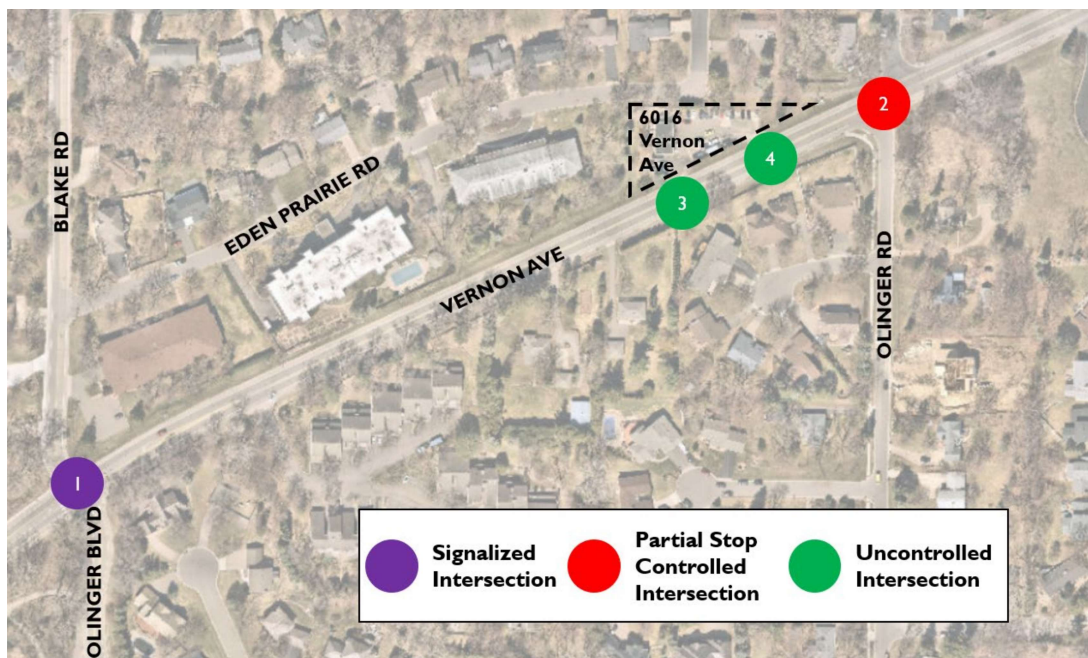


Figure 1: Study Intersections



Assuming no changes to current lane geometry and traffic control, it is anticipated that the proposed redevelopment traffic will have minimal impact on the surrounding roads. More specifically, the analysis shows that all intersections currently operate at Level of Service B or better and will continue to do so through the 2030 build scenario.

No improvements are recommended to accommodate this proposed redevelopment. It is recommended that the intersection of Vernon Avenue and Blake Road/Olinger Boulevard should be monitored as traffic in the area grows to determine if improvements may be warranted in the future.

Parking Analysis

28 surface stalls are proposed for this site, which meets City Code requirements (assuming the restaurant size is capped at 69 seats). WSB evaluated parking demand for the proposed development using national data from ITE's *Parking Generation*, 5th Edition. Based on this analysis, the peak parking demand is estimated at 36 stalls between on weekdays, or eight stalls more than what is proposed. The traffic impact study predicts that in the event of a parking deficit, Eden Prairie Road to the north would likely be used for overflow parking. On-street parking is currently unrestricted on Eden Prairie Road, and staff believes that the street can accommodate the expected amount of overflow parking (eight vehicles on weekdays, four to five on Fridays and Saturdays) without impacting access to adjacent single-family and multi-family residential properties. However, if the City desires to discourage overflow parking, one of the following scenarios is recommended;

- Reduce the restaurant capacity to 53 seats so expected demand equals proposed supply.
- Provide eight additional parking stalls on site to satisfy expected demand.

While WSB recommends installing No Parking signage on Eden Prairie Road adjacent to the site, staff would only recommend this as a reactive measure if it were shown that additional on-street parking is negatively impacting traffic operations on Eden Prairie Road after the restaurant has been opened for business.

Multi-Modal Facilities

6016 Vernon Avenue is currently bordered by a 5' asphalt sidewalk to the north between Eden Prairie Road and Highwood Drive. 6' on-street bike lanes are present on Vernon Avenue adjacent to the site, as well as a 5' edge-of-road asphalt sidewalk on the south side of Vernon Avenue. The Pedestrian and Bicycle Master Plan (2018) recommends a new sidewalk on the north side of Vernon Avenue adjacent to the site and buffered bike lanes on Vernon Avenue. The recommended sidewalk on Vernon Avenue is proposed for construction in 2025 as part of the current 5-year Capital Improvement Plan.

Staff recommends that the applicant construct a new sidewalk (6' minimum width with a 5' minimum boulevard) adjacent to their property along Vernon Avenue and connecting to the existing bituminous path along the north side of the site. It is also recommended that the applicant provide a more direct pedestrian connection (in the form of a 5' minimum width sidewalk) between the building and Eden Prairie Road to promote multi-modal connectivity with the adjacent residential neighborhood.

There is currently no transit service provided directly adjacent to or within one mile of the site.

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



Compliance with Transportation Plans/Policies

Table I details the ways in which the proposed redevelopment supports current City transportation plans and policies.

Table I: Compliance with Transportation Plans/Policies
Comprehensive Plan (2018)

Goal	Assessment
1. Improve mobility for residents, visitors and businesses with a balanced system of transportation alternatives for transit users, pedestrians, bicyclists and motorists.	The project provides facilities for motorists but lacks in facilities for pedestrians and bicyclists.
2. Implement a fully multi-modal transportation system that supports the land use vision and future land use plan for managing and shaping future growth.	The project provides facilities for motorists but lacks in facilities for pedestrians and bicyclists.
3. Minimize the impacts of the transportation system on Edina's environment and neighborhood quality of life and emphasize methods to reduce greenhouse gas emissions.	Staff recommends installing electric vehicle (EV) charging stations for a minimum of 5% (2 stalls) of proposed parking in addition to wiring 10% (3 stalls) for EV conversion in the future. EV charging stations should be in convenient locations near primary building entrances.
4. Reduce the overall dependence on and use of single-occupancy vehicles by promoting land use patterns that allow for shorter vehicle trips and the use of alternative travel options.	Staff recommends construction of a new sidewalk (6' minimum width with a 5' minimum boulevard) adjacent to the property along Vernon Avenue and connecting to the existing bituminous path along the north side of the site to improve multi-modal connectivity. It is also recommended that the applicant provide a more direct pedestrian connection (in the form of a 5' minimum width sidewalk) between the building and Eden Prairie Road to promote multi-modal connectivity with the adjacent residential neighborhood.
6. Develop and manage parking provisions to encourage joint and shared use of facilities, ride-sharing and bicycle parking.	Applicant shall provide surface bike parking stalls at a minimum rate of 5% of the automobile parking requirement (2 for 28-stall parking lot). These parking stalls should be in convenient, well-lit locations within 50' of a public entrance to a principal building. Rack style and spacing for surface and underground bike storage should follow the recommendations of the Association of Pedestrian and Bicycle Professionals (APBP).

ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



9. Provide for efficient movement of goods within Edina, while minimizing the impacts of freight traffic on other trips and reducing negative impacts on land uses on freight corridors.	Turning movements and travel routes for delivery vehicles should be reviewed by the applicant. Steps should be taken to minimize the impact of delivery vehicles on pedestrian and bicycle movement through the site (additional signage, designated delivery zones, etc.)
13. Provide and maintain adequate access to and from, and safety on, local and regional roadway adjacent to community redevelopment and other activity that potentially impacts the City of Edina.	Proposed trees, vegetation, signage and other items adjacent to intersections should maintain a clear view zone as defined in Section 26-190 of City Code.
14. Manage, maintain and operate roadways to maximize wherever possible the safety and mobility of all users and all modes.	<p>Staff recommends construction of a new sidewalk (6' minimum width with a 5' minimum boulevard) adjacent to the property along Vernon Avenue and connecting to the existing bituminous path along the north side of the site to improve multi-modal connectivity.</p> <p>It is also recommended that the applicant provide a more direct pedestrian connection (in the form of a 5' minimum width sidewalk) between the building and Eden Prairie Road to promote multi-modal connectivity with the adjacent residential neighborhood.</p>
Living Streets Plan (2015)	
Principle	Assessment
2. Living Streets provide access and mobility for all transportation modes while enhancing safety and convenience for all users.	The project provides facilities for motorists but lacks in facilities for pedestrians and bicyclists.
4. The City will require new developments to provide interconnected street and sidewalk networks that connect to existing or planned streets or sidewalks on the perimeter of the development.	The project provides facilities for motorists but lacks in facilities for pedestrians and bicyclists.
10. Living Streets are designed and built with coordination between business and property owners along commercial corridors to develop vibrant commercial districts.	<p>Staff recommends construction of a new sidewalk (6' minimum width with a 5' minimum boulevard) adjacent to the property along Vernon Avenue and connecting to the existing bituminous path along the north side of the site to improve multi-modal connectivity.</p> <p>If overflow parking is expected to be utilized on Eden Prairie Road, a direct pedestrian connection should be provided from the street to the building.</p>

ENGINEERING DEPARTMENT



13. Living Streets will improve the current and future quality of life for the public.	Boulevard-style sidewalk along Vernon Avenue will improve pedestrian safety and comfort adjacent to the property.
Travel Demand Management Policy (2021)	
Proposed Strategies (Tier 2 – min. 3 unique strategies identified)	<ul style="list-style-type: none">• Provide short-term bicycle parking spaces for restaurant patrons exceeding City requirements (minimum rate of one for every 10 restaurant seats, or 7 for a 69-seat capacity).• Provide maps that show the area bicycle and pedestrian facilities.• Restrict freight deliveries to off peak hours to avoid traffic conflicts on adjacent roadways.
Suggested Additional Strategies	<ul style="list-style-type: none">• Provide incentives/discounts to patrons who walk, bike or roll to the restaurant.• Designate 10% preferential parking stalls (3 for 28-stall parking lot) for carpools or vanpools.

Transportation Commission Comments

Members of the Transportation Commission were given an opportunity to provide comments on the TIS and other transportation impacts of the proposed project. These comments are reflective of individual Commissioners, not the entire Commission:

- Commissioners support the development proposal and feel that the new benefits of the redevelopment outweigh the incremental increase in traffic or parking concerns.
- Commissioners support the proposed city and applicant-responsible sidewalk and pedestrian enhancements, especially in the absence of transit service at this time.
- Commissioners recommend increasing bike parking and other bike facilities, noting that this site is accessible by bike lanes on many surrounding streets (Vernon Avenue, Tracy Avenue, Blake Road, and Olinger Boulevard).

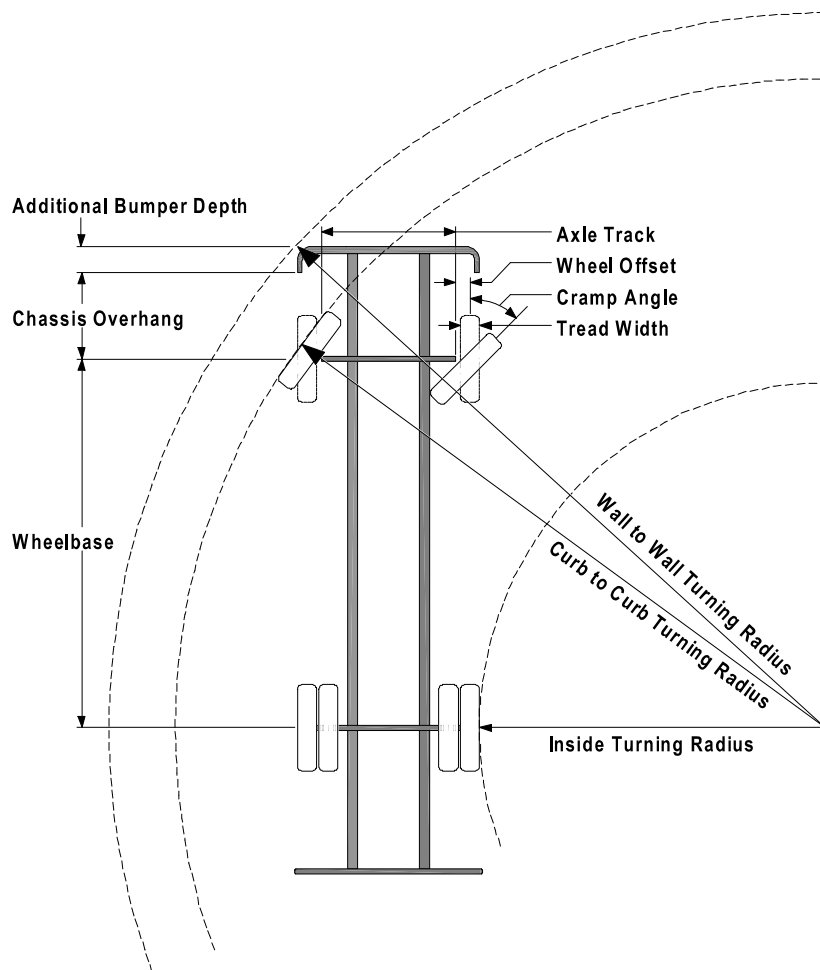
ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



Turning Performance Analysis

5/1/2013



Parameters:

Inside Cramp Angle:	45.00 °
Axle Track:	81.92 in.
Wheel Offset:	5.25 in.
Tread Width:	16.60 in.
Chassis Overhang:	65.99 in.
Additional Bumper Depth:	19.00 in.
Front Overhang:	84.99 in.
Wheelbase:	258.00 in.

Calculated Turning Radii:

Inside Turn:	20 ft. 4 in.
Curb to Curb:	36 ft. 8 in.
Wall to Wall:	41 ft. 1 in.

Comments:

Truck 12205

Components	PRIDE #	Description
Front Tires	0078244	Tires, Michelin, 425/65R22.50 20 ply XZY 3 tread
Chassis	0070220	Dash-2000, Chassis, PAP/SkyArm/Midmount
Front Bumper	0123625	Bumper, 19" extended, Imp/Vel
Aerial Device	0006900	xxxAerial, 100' Pierce Platform

Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



Definitions:

Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.

September 6, 2022

VIA EMAIL

Marty Collins
Special X Properties LLC
6016 Vernon Avenue South
Edina, Minnesota 55436-1908

RE: Technical Assistance Letter: Completion of Soil Vapor Assessment
Kevin Kee's Auto Service, 6016 Vernon Ave, Edina
MPCA Site ID: BF0001999
Billing ID: 104880
PIN: 3211721230027

Dear Marty Collins:

The Minnesota Pollution Control Agency (MPCA) staff in the Voluntary Investigation and Cleanup (VIC) Program has been requested to provide confirmation that the soil vapor investigation at the Kevin Kee's Auto Service site, located at the address referenced above (the Site), has been successfully completed in accordance with the MPCA's Best Management Practices for Soil Vapor Investigations and Mitigation Decisions.

The MPCA staff has reviewed the information submitted for the Site. The 0.38-acre Site was undeveloped until construction of the current Site building in 1957. The building was occupied by a gas station until the early 1990s and has since operated as an auto repair shop. A petroleum release was discovered in November 1992 when underground storage tanks were being removed from the Site. The leak site (MPCA Site ID# LS0002247) was closed in February 2002. Special X Properties LLC purchased the Site in 2021 and has since started renovating the existing building for use as a restaurant. The MPCA issued a No Association Determination to Special X Properties LLC, dated March 1, 2022. Based on data available to date, the Site appears to lie within a larger undefined area of soil vapor impacts that is currently under evaluation by the MPCA's Site Assessment Program.

Soil vapor and sub-slab soil vapor samples were collected at the Site as part of a larger Phase II environmental investigation in September 2021 (non-heating season) and November 2021 (heating season). Several non-petroleum volatile organic compounds (VOCs), including tetrachloroethylene (PCE) and cis-1,2-dichloroethene (cis-1,2-DCE), were detected in soil vapor samples at concentrations less than the MPCA's vapor intrusion action levels for a commercial building. Based on the two completed seasonal sampling events, the MPCA concurs that the existing building at the Site does not require a vapor intrusion mitigation system.

This determination is based on the recent soil vapor investigations completed at the Site, as described in the following reports, both prepared by The Javelin Group (Javelin):

- *Limited Phase II Environmental Site Assessment, October 5, 2021*
- *Vapor Intrusion Assessment Winter Season, December 9, 2021*

The building mitigation decision conveyed in this letter applies only to the existing commercial building at the Site, as described in the reports listed above. This letter does not address any conclusions or representations regarding future structures or changes in land use at the Site, which may create new potential exposure pathways for soil vapor contaminants. The MPCA recommends that future construction activities at the Site (e.g., potential addition, new building, new utility trenches, etc.) be preceded by a soil vapor investigation within the footprint of the proposed construction area, so a vapor mitigation decision for the new feature can be made based on concurrent data.

This letter does not address any conclusions or representations regarding soil or groundwater at the Site, or regarding petroleum-related VOCs that may have been detected in soil vapor. Petroleum contamination detected at the Site is under the oversight of the MPCA's Petroleum Brownfield Program.

Please be advised that the determination made in this letter is subject to the disclaimers found in Attachment A. If you have any questions about the contents of this letter, please contact Amanda Guertin, Project Manager, at 651-757-2369 or by email at amanda.guertin@state.mn.us.

Sincerely,



This document has been electronically signed.

Amy K. Hadiaris, P.G.
Supervisor
Remediation Division

AKH/AG:df

Attachment

cc: Greg Browne, The Javelin Group, Inc. (w/attachment) (electronic)
Sharon Allison, City of Edina (w/attachment) (electronic)
John Evans, Hennepin County (w/attachment) (electronic)

Disclaimers

Kevin Kee's Auto Service

MPCA Site ID: BF0001999

1. Reservation of authorities

The MPCA Commissioner reserves the authority to take any appropriate actions with respect to any release, threatened release, or other conditions at the Site. The MPCA Commissioner also reserves the authority to take such actions if the voluntary party does not proceed in the manner described in this letter or if actions taken or omitted by the voluntary party with respect to the Site contribute to any release or threatened release or create an imminent and substantial danger to public health and welfare.

2. No MPCA assumption of liability

The MPCA, its Commissioner, and staff do not assume any liability for any release, threatened release, or other conditions at the Site or for any actions taken or omitted by the voluntary party with regard to the release, threatened release, or other conditions at the Site, whether the actions taken or omitted are in accordance with this letter or otherwise.

3. Letter based on current information

All statements, conclusions, and representations in this letter are based on information known to the MPCA Commissioner and staff at the time this letter was issued. The MPCA Commissioner and staff reserve the authority to modify or rescind any such statement, conclusion, or representation and to take any appropriate action under the Commissioner's authority if the MPCA Commissioner or staff acquires information after issuance of this letter that provides a basis for such modification or action.

4. Disclaimer regarding use or development of the property

The MPCA, its Commissioner, and staff do not warrant that the Site is suitable or appropriate for any particular use.

5. Disclaimer regarding investigative or response action at the property

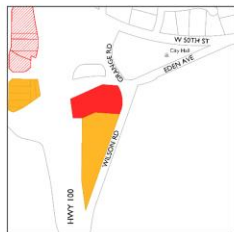
Nothing in this letter is intended to authorize any response action under Minn. Stat. § 115B.17, subd. 12.

6. This approval does not supplant any applicable state or local stormwater permits, ordinances, or other regulatory documents.

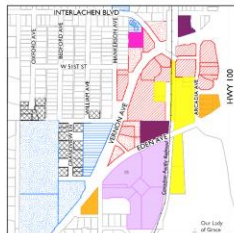
44TH & FRANCE



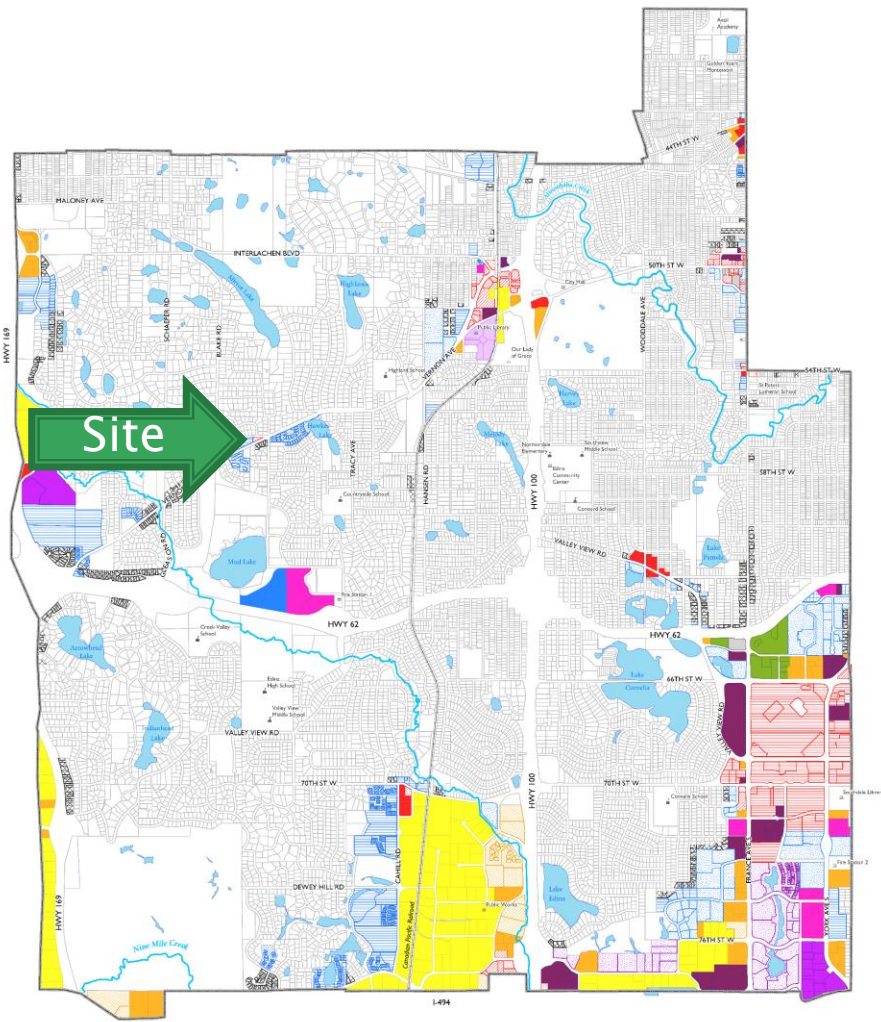
WILSON & EDEN



GRANDVIEW



CAHILL & 70TH



50TH & FRANCE



54TH & FRANCE



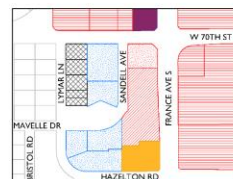
VALLEY VIEW & WOODDALE



SOUTHDALE



70TH & FRANCE

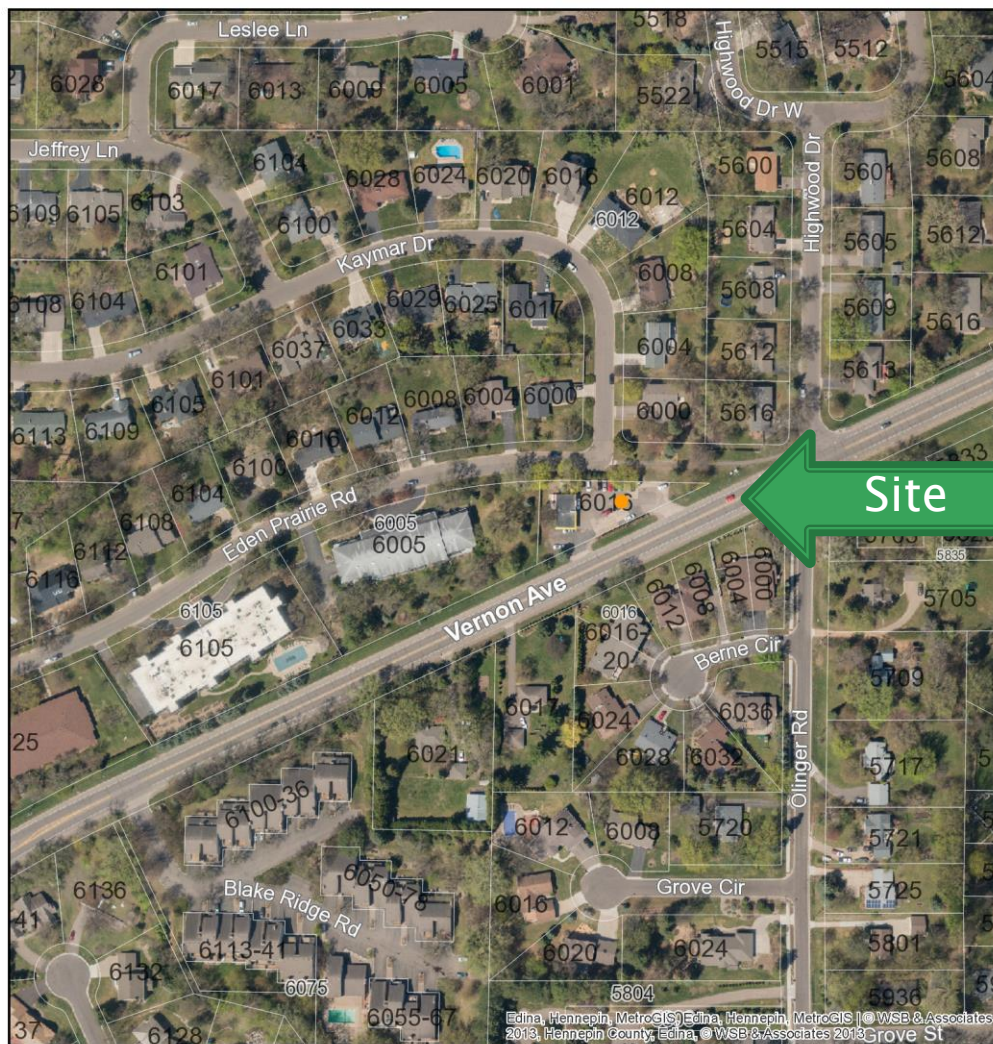


Zoning Map

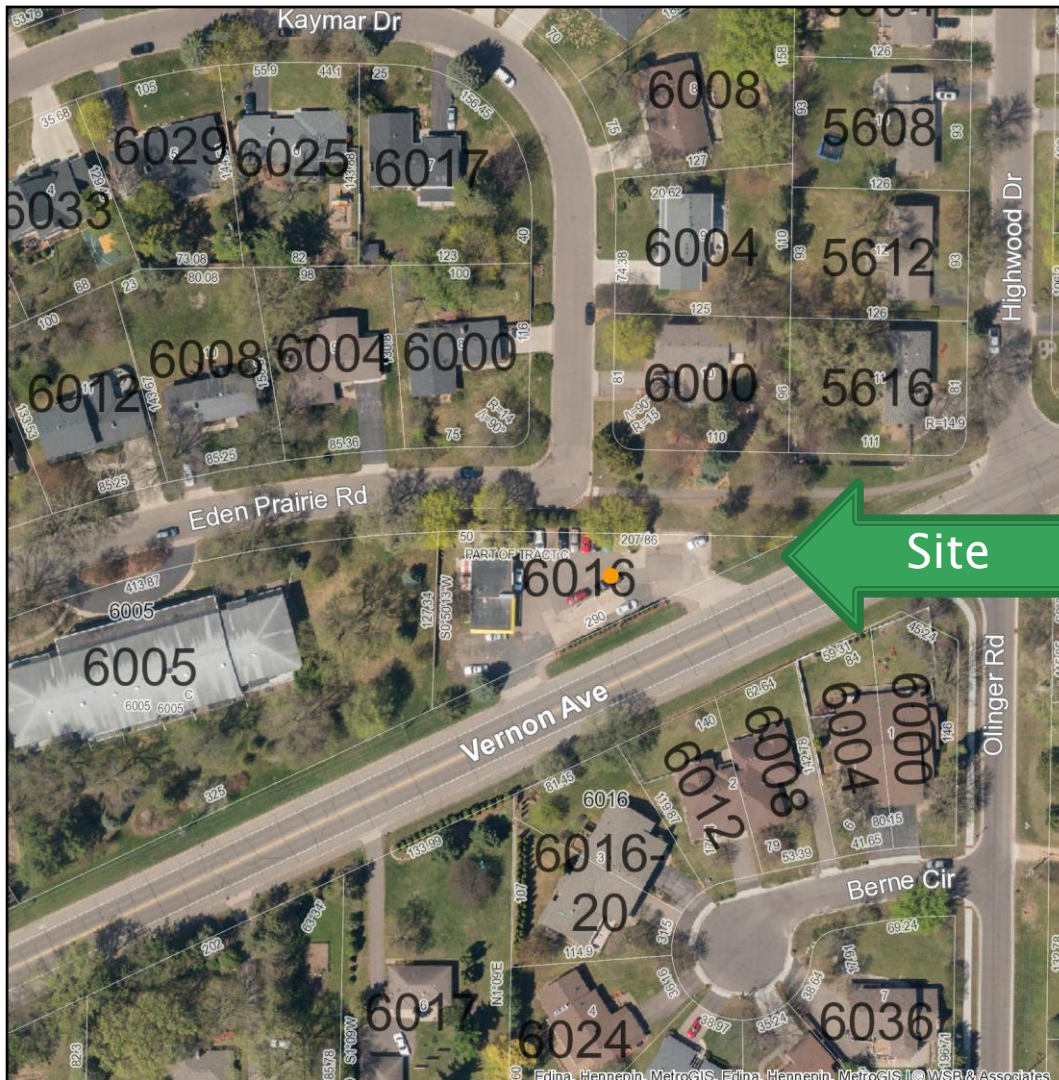
Legend

- R-1 - Single Dwelling Unit
- R-2 - Double Dwelling Unit
- PRD-1 - Planned Residence
- PRD-2 - Planned Residence
- PRD-3 - Planned Residence
- PRD-4 - Planned Residence
- PRD-5 - Planned Residence
- PCD-1 - Planned Commercial
- PCD-2 - Planned Commercial
- PCD-3 - Planned Commercial
- PCD-4 - Planned Commercial
- POD-1 - Planned Office
- POD-2 - Planned Office
- RMD - Regional Medical
- PID - Planned Industrial
- PUD - Planned Unit Development
- APD - Automotive Parking
- PSR-4 - Planned Residence
- MDD-4 - Mixed Development
- MDD-5 - Mixed Development
- MDD-6 - Mixed Development
- Lakes
- Creeks
- Edina Boundary
- Railroad
- Public Building
- Public School
- Private School





The CITY of
EDINA

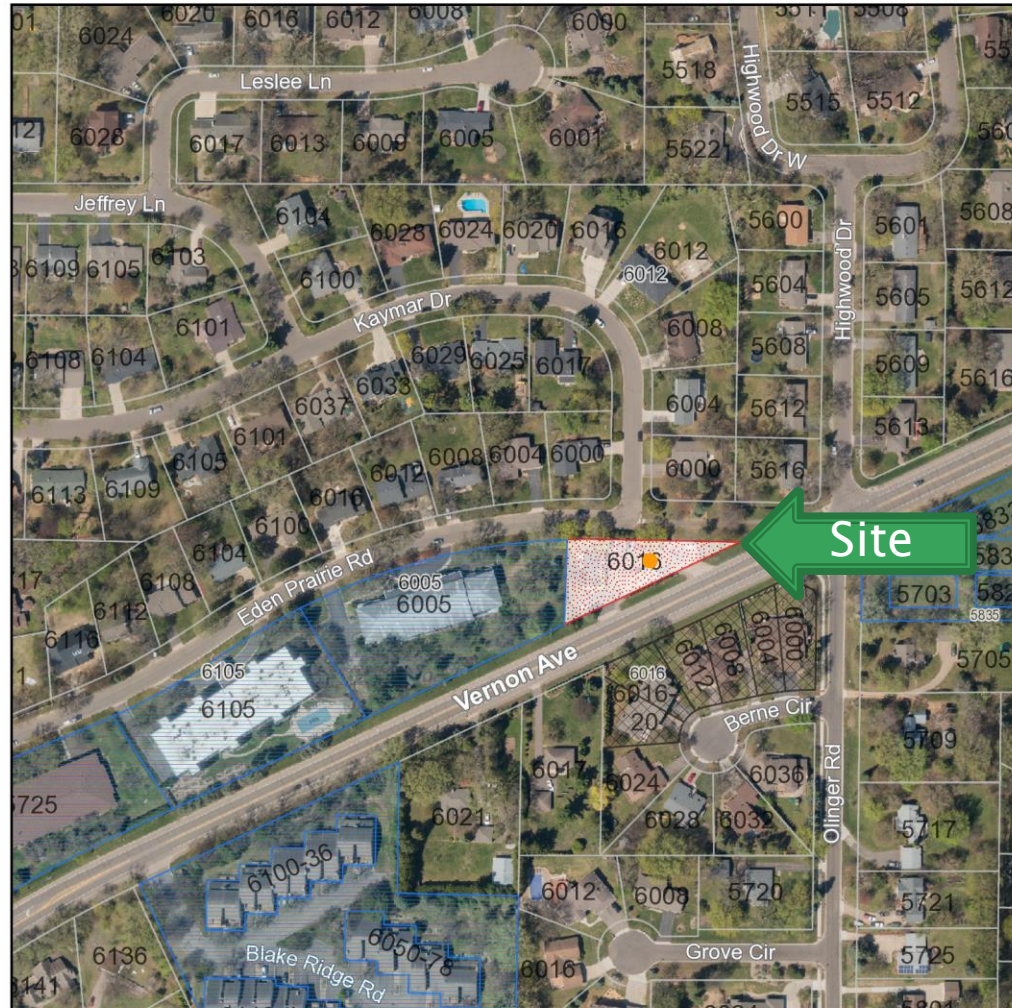


The CITY of
EDINA

Zoning



The CITY of
EDINA

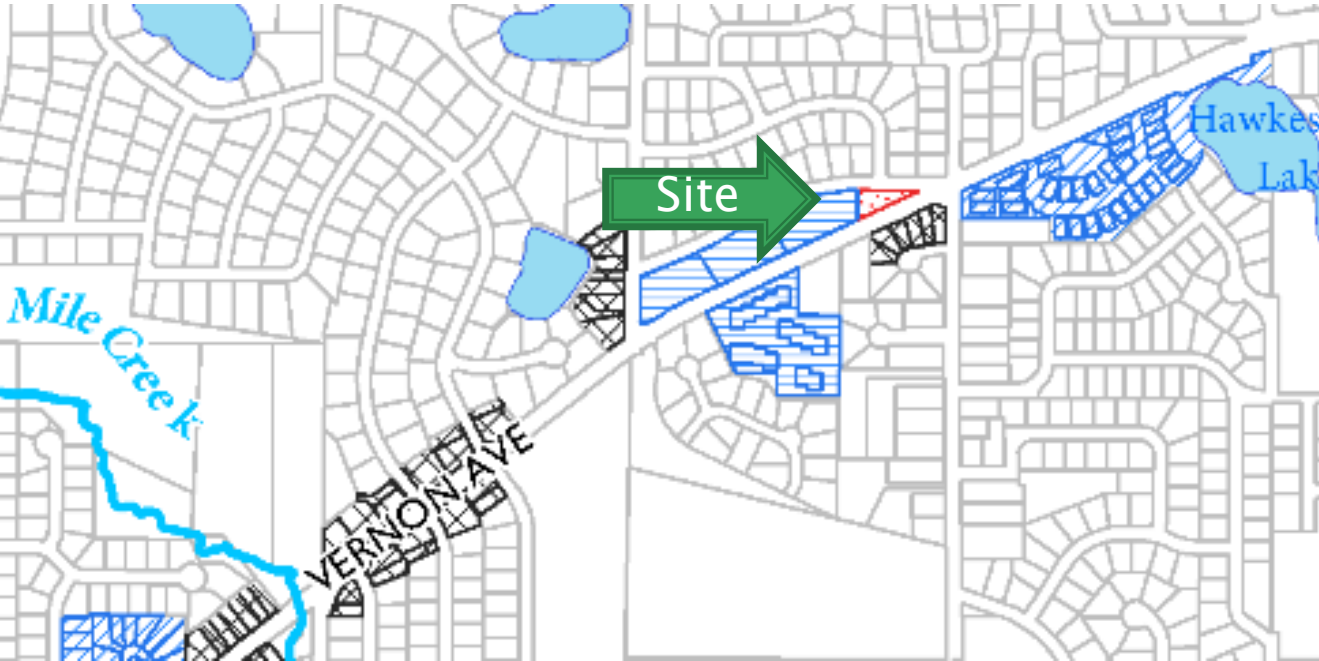


- R-2 - Double Dwelling Unit
- PRD-1 - Planned Residence
- PRD-2 - Planned Residence
- PRD-3 - Planned Residence
- PRD-4 - Planned Residence
- PRD-5 - Planned Residence
- PCD-1 - Planned Commercial
- PCD-2 - Planned Commercial
- PCD-3 - Planned Commercial
- PCD-4 - Planned Commercial**
- POD-1 - Planned Office
- POD-2 - Planned Office
- RMD - Regional Medical
- PID - Planned Industrial
- PUD - Planned Unit Development
- APD - Automotive Parking
- PSR-4 - Planned Residence
- MDD-4 - Mixed Development
- MDD-5 - Mixed Development
- MDD-6 - Mixed Development

Zoning



The CITY of
EDINA



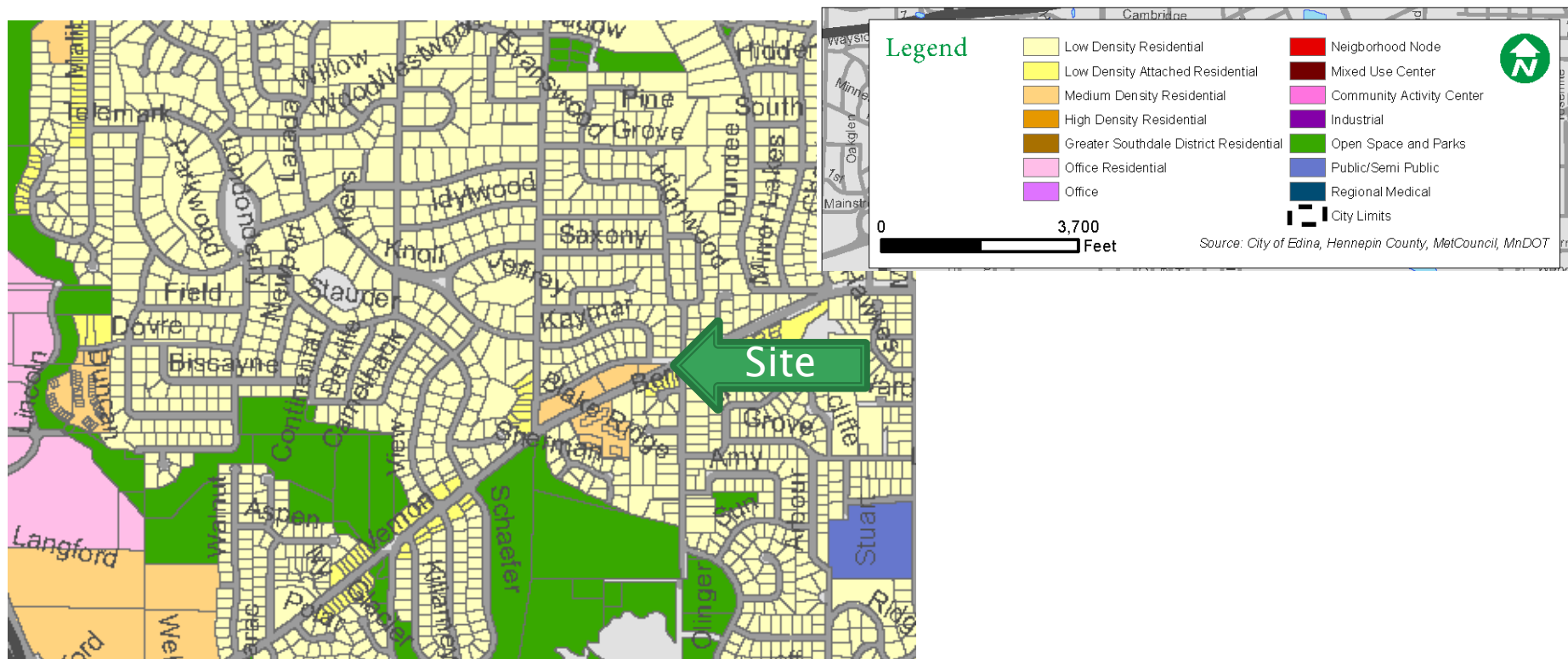
- R-2 - Double Dwelling Unit
- PRD-1 - Planned Residence
- PRD-2 - Planned Residence
- PRD-3 - Planned Residence
- PRD-4 - Planned Residence
- PRD-5 - Planned Residence
- PCD-1 - Planned Commercial
- PCD-2 - Planned Commercial
- PCD-3 - Planned Commercial
- PCD-4 - Planned Commercial**
- POD-1 - Planned Office**
- POD-2 - Planned Office
- RMD - Regional Medical
- PID - Planned Industrial
- PUD - Planned Unit Development
- APD - Automotive Parking
- PSR-4 - Planned Residence
- MDD-4 - Mixed Development
- MDD-5 - Mixed Development
- MDD-6 - Mixed Development

Comprehensive Plan



Edina 2040 Comprehensive Plan

Edina, Minnesota



CHRISTIAN DEAN ARCHITECTURE

WESTSIDE CAFE
6016 VERNON AVE
EDINA, MN



DRAWING INDEX

NO.	NAME
GENERAL	
G000	COVER
G102	ARCHITECTURAL SITE PLAN
G103	EXISTING CONDITIONS
G104	CONTEXT PHOTOS
G105	CONTEXT PHOTOS
LANDSCAPE	
L100	LANDSCAPE PLAN
ARCHITECTURAL	
A201	BASEMENT & LEVEL 1 FLOOR PLAN
A301	BUILDING ELEVATIONS & EXT. MATERIALS
CIVIL	
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & REMOVALS PLAN
C200	SEDIMENT & EROSION CONTROL DETAILS
C210	SEDIMENT & EROSION CONTROL PLAN PH I
C211	SEDIMENT & EROSION CONTROL PLAN PH II
C300	CIVIL SITE PLAN
C400	GRADING & DRAINAGE PLAN
C500	UTILITY PLAN
C900	DETAILS

REQUESTED VARIANCES

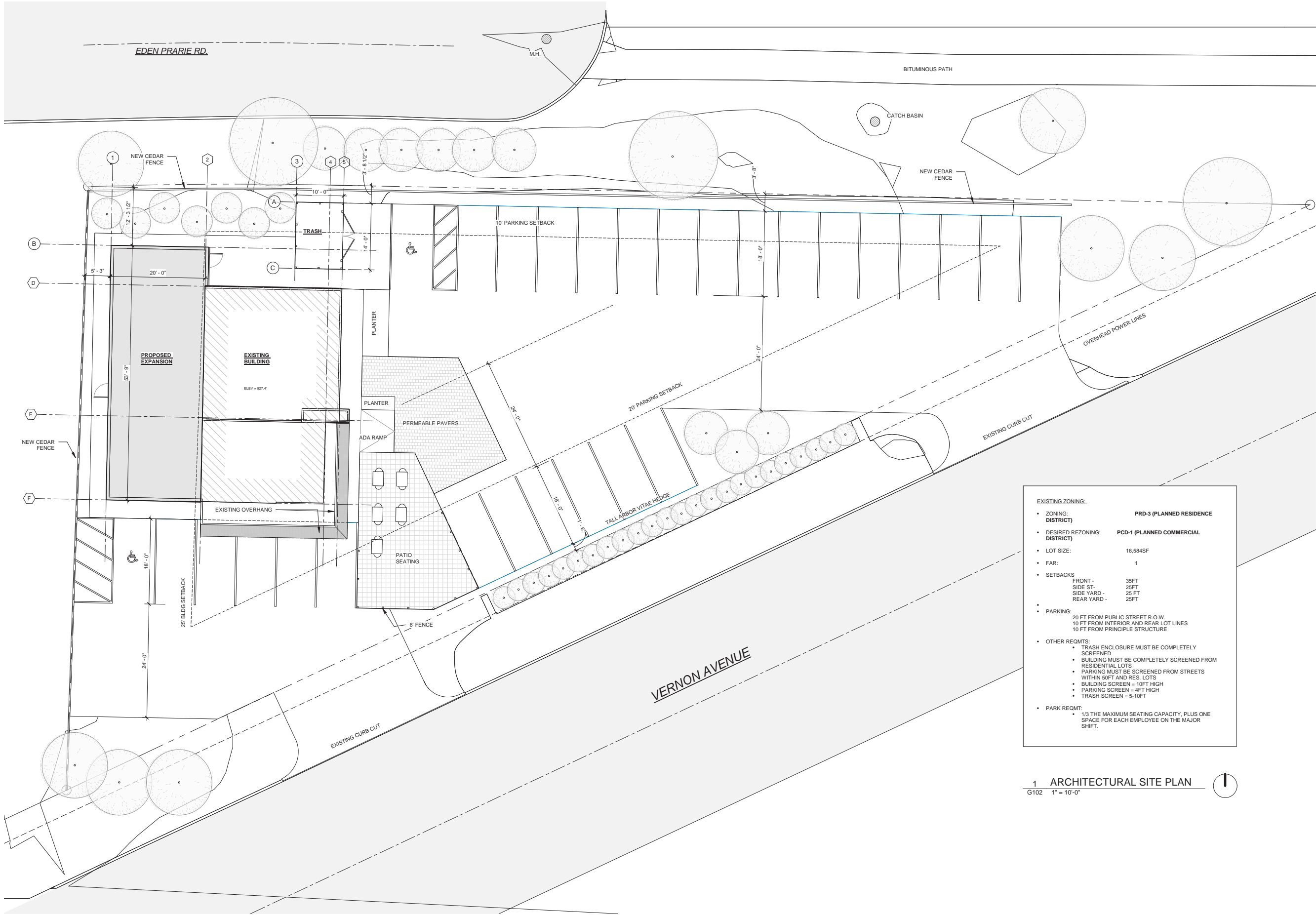
- REZONING FROM PCD-4 TO PCD-1
- REDUCE PARKING SETBACK ON NORTH PROPERTY LINE TO 3'-8" AND SETBACK AT SOUTH PROPERTY LINE TO 0' (TO REFLECT EXISTING PAVEMENT/PARKING CONDITIONS)
- REDUCE BUILDING SETBACK ON WEST PROPERTY LINE FROM 25' TO 5'
- REDUCE BUILDING SETBACK ON NORTH PROPERTY LINE FROM 25' TO 13' (EXISTING BUILDING IS 21' FROM the North property line)

Architect
CHRISTIAN DEAN ARCHITECTURE, LLC
2909 Bryant Avenue South, Suite 304
Minneapolis, MN 55408

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

NOT FOR CONSTRUCTION
APPLICATIONS | JULY 25,2022

7/25/2022 9:39:54 AM \\10.1.10.15\share\Dropbox\CD Architecture\CDA-2021-17-6016 VERNON AVE\02 REV\17-202117_MAIN MODEL_R19.rvt



EXISTING ZONING:	
• ZONING: DISTRICT)	PRD-3 (PLANNED RESIDENCE
• DESIRED REZONING: DISTRICT)	PCD-1 (PLANNED COMMERCIAL
• LOT SIZE:	16,584SF
• FAR:	1
• SETBACKS	
FRONT -	35FT
SIDE ST-	25FT
SIDE YARD -	25 FT
REAR YARD -	25FT
• PARKING:	
20 FT FROM PUBLIC STREET R.O.W.	
10 FT FROM INTERIOR AND REAR LOT LINES	
10 FT FROM PRINCIPLE STRUCTURE	
• OTHER REQMTS:	
• TRASH ENCLOSURE MUST BE COMPLETELY SCREENED	
• BUILDING MUST BE COMPLETELY SCREENED FROM RESIDENTIAL LOTS	
• PARKING MUST BE SCREENED FROM STREETS WITHIN 50FT AND RES. LOTS	
• BUILDING SCREEN = 10FT HIGH	
• PARKING SCREEN = 4FT HIGH	
• TRASH SCREEN = 5-10FT	
• PARK REQMT:	
• 1/3 THE MAXIMUM SEATING CAPACITY, PLUS ONE SPACE FOR EACH EMPLOYEE ON THE MAJOR SHIFT.	

1 ARCHITECTURAL SITE PLAN
G102 1" = 10'-0"



WESTSIDE CAFE

CHRISTIAN DEAN ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

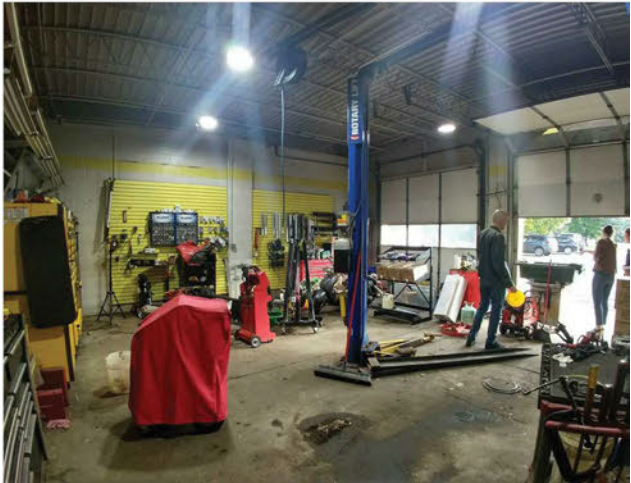
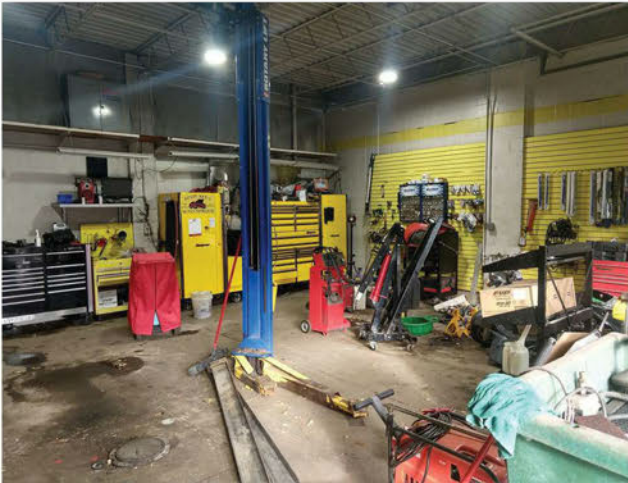
Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

ARCHITECTURAL SITE PLAN

G102

APPLICATIONS | JULY 25, 2022



WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or
report was prepared by me or under my
direct supervision and that I am a duly
Licensed Architect under the laws of the
State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

EXISTING
CONDITIONS

G103

APPLICATIONS | JULY 25, 2022

WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature _____
License Number _____

Issue / Revision Schedule		
NO	Description	Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

CONTEXT PHOTOS

G104

APPLICATIONS | JULY 25, 2022



7/25/2022 9:39:54 AM \\10.1.10.15\share\Dropbox\CD Architecture\CDA-2021-17-6016 VERNON AVE\REVIT\202117_MAIN MODEL_R19.rvt



5: LOOKING EAST ON EDEN PRARIE RD



6: WEST NEIGHBOR FROM EDEN PRARIE RD



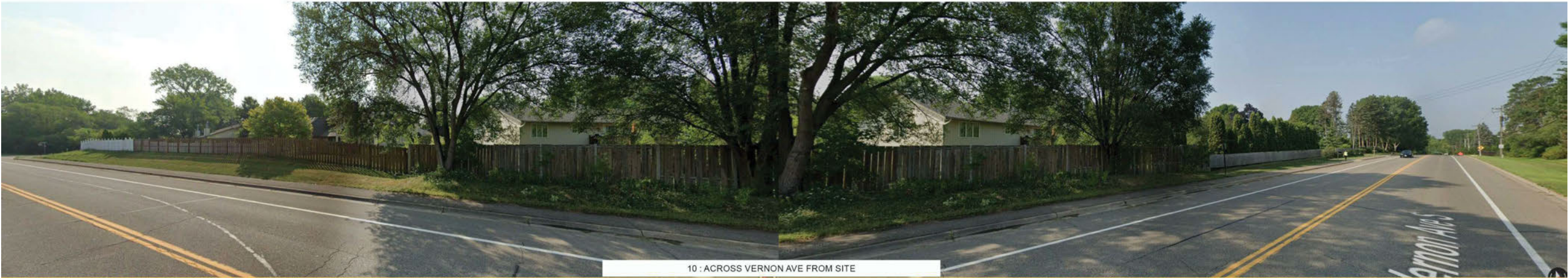
7: VIEW WEST FROM CORNER OF KAYMAR DR AND EDEN PRARIE RD



8: VIEW EAST OF PARK FROM CORNER OF KAYMAR DR AND EDEN PRARIE RD



9: VIEW OF SITE FROM KAYMAR DR, LOOKING SOUTH



10: ACROSS VERNON AVE FROM SITE

WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

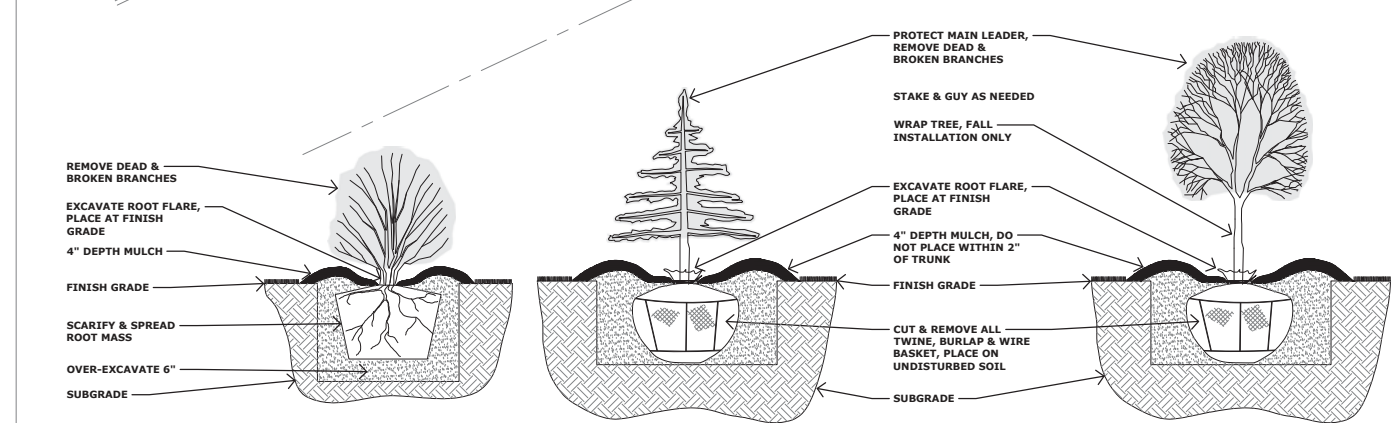
NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

CONTEXT PHOTOS

G105

APPLICATIONS | JULY 25, 2022

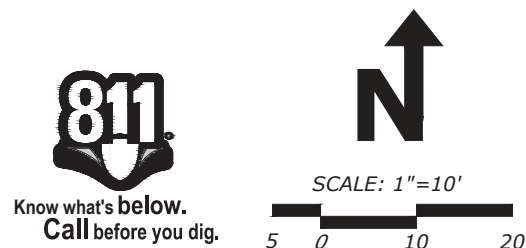
6016 VERNON AVE
EDINA, MN
Project Number: 202117



- ONE (1) TREE PER 40' OF SITE PERIMETER
- 676' = 17 TREE REQUIRED
- 16 PROVIDED + 1 EXISTING TO REMAIN

- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W. AND VERIFY ALL UTILITIES WHICH MAY AFFECT THEIR WORK.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- ALL PLANT MATERIALS TO BE GUARANTEED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME
- REPLACEMENT TOPSOIL (WHEN REQUIRED) SHOULD BE CLEAN, FREE OF DEBRIS, ROCKS AND WEEDS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY. NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF COMPLETION. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING LANDSCAPE AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 6" WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- PROVIDE BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE HYDOMULCH OR DISCED STRAW DEPENDING ON SEED TYPE.
- INSTALL BLACK VINYL EDGING AROUND ALL PLANTING BEDS AS SHOWN ON PLAN.
- MULCH TO BE FINELY SHREDED, UNWEED, HARDWOOD ORGANIC MULCH INSTALLED TO 4" DEPTH.
 - NO WEED FABRIC BARRIER BENEATH ORGANIC MULCHES.
- NO EDGING AROUND TREES OUTSIDE OF SHRUB BEDS.
- ROCK MULCH SHALL BE 1-1/2" DIAMETER WASHED RIVER ROCK INSTALLED TO 3" DEPTH WITH APPROVED WEED FABRIC BARRIER.
- INSTALL IRRIGATION SYSTEM PER IRRIGATION PLAN. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND PLANTINGS. R.O.W. TO BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. MINIMIZE OVER SPRAY.
- COORDINATE INSTALLATION OF ALL PVC SLEEVES UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER, DAILY CLEANING TO BE COMPLETED IF REQUIRED BY THE MUNICIPALITY.

LANDSCAPE PLANT LEGEND						
DECIDUOUS TREES						
TH	3	THORNLESS COCKSPUR HAWTHORN <i>Crataegus crus-galli</i> var. <i>inermis</i>	2" CAL.	B&B	15'H x 15'W	
ORNAMENTAL TREES						
DB	7	DAKOTA PINNACLE BIRCH <i>Betula platyphylla</i> 'Fargo'	1.5" CAL.	B&B	30'H x 8'W	
PF	3	PRAIRIE FIRE CRABAPPLE <i>Malus</i> 'Prairie Fire'	1.5" CAL.	B&B	15'H x 20'W	
EVERGREEN TREES						
LL	3	AMERICAN LARCH <i>Larix laricina</i>	6' HT	B&B	40'H x 15'W	
SJ	18	SPARTAN JUNIPER <i>Juniperus chinensis</i> 'Spartan'	4' HT	B&B	15'H x 4'W	
SHRUBS						
AJ	8	AMBER JUBILEE NINEBARK <i>Physocarpus opulifolius</i> 'Jefam'	#2 CONT.	POT	6'H x 4'W	
AF	25	ARCTIC FIRE DOGWOOD <i>Cornus stoloniifera</i> 'Farrow'	#2 CONT.	POT	5'H x 4'W	
ORNAMENTAL GRASSES						
NS	53	NORTHWIND SWITCH GRASS <i>Panicum virgatum</i> 'Northwind'	#1 CONT.	POT	4'H x 2.5'W	
SOD - --- SY EDGING - --- LF MULCH - --- CY						
AB	5	ASSORTED BOULDERS <i>LOCAL SOURCE</i>	VARIES		2'-5'	



WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name _____

Signature _____
License Number _____

Issue / Revision Schedule

NO	Description	Date
----	-------------	------

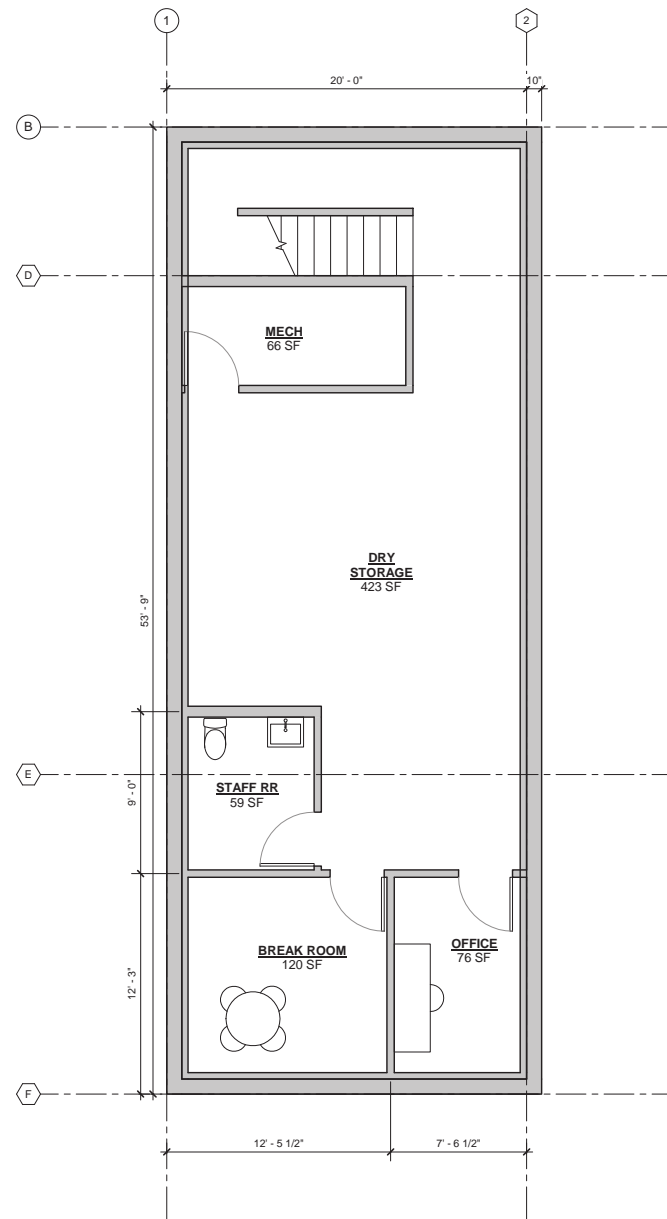
NOT FOR CONSTRUCTION

2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

BASEMENT & LEVEL 1 FLOOR PLAN

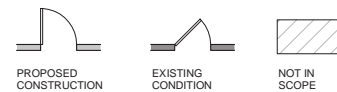
A201

APPLICATIONS | JULY 25, 2022

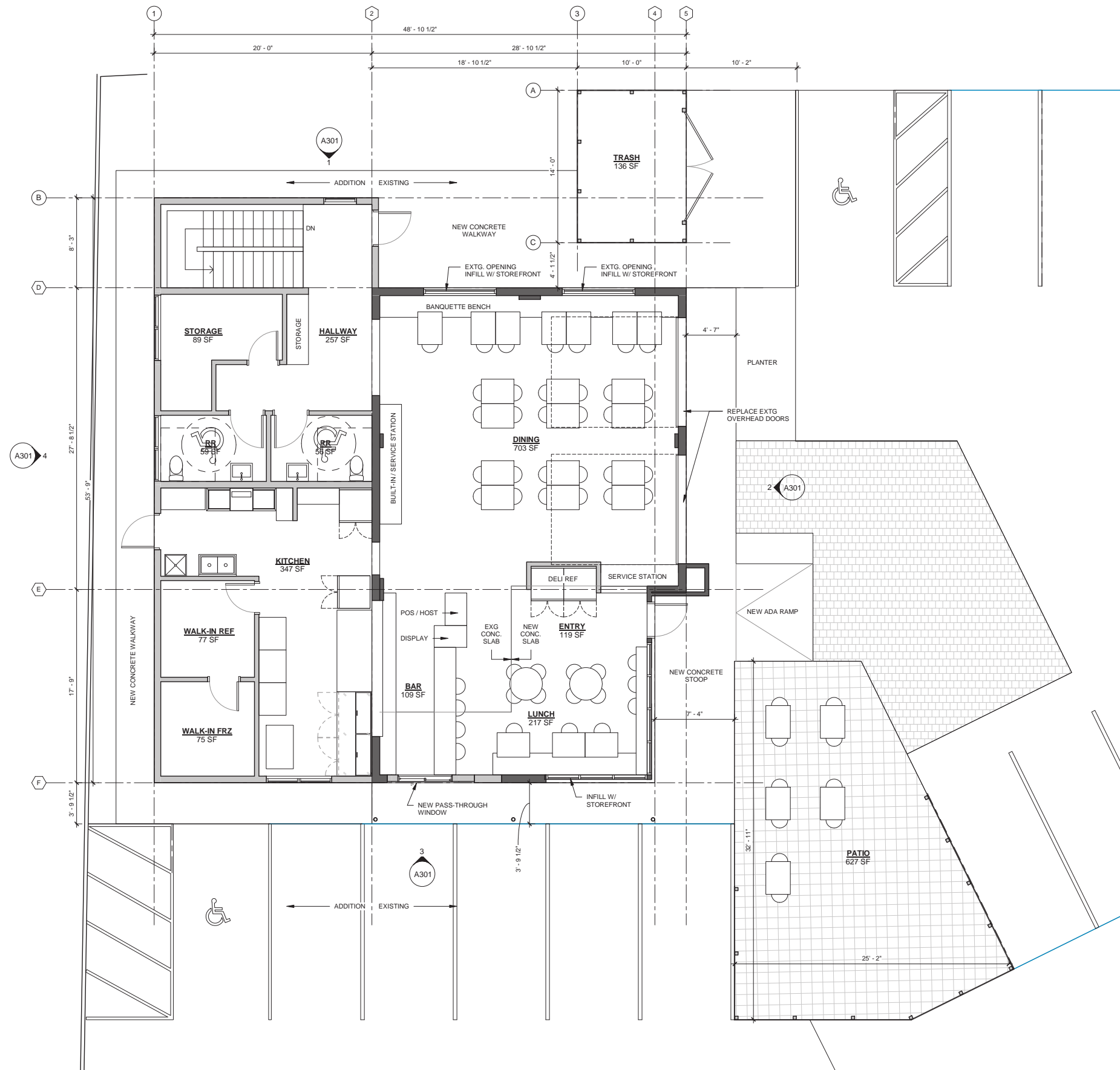


2	BASEMENT SLAB
A201	3/16" = 1'-0"

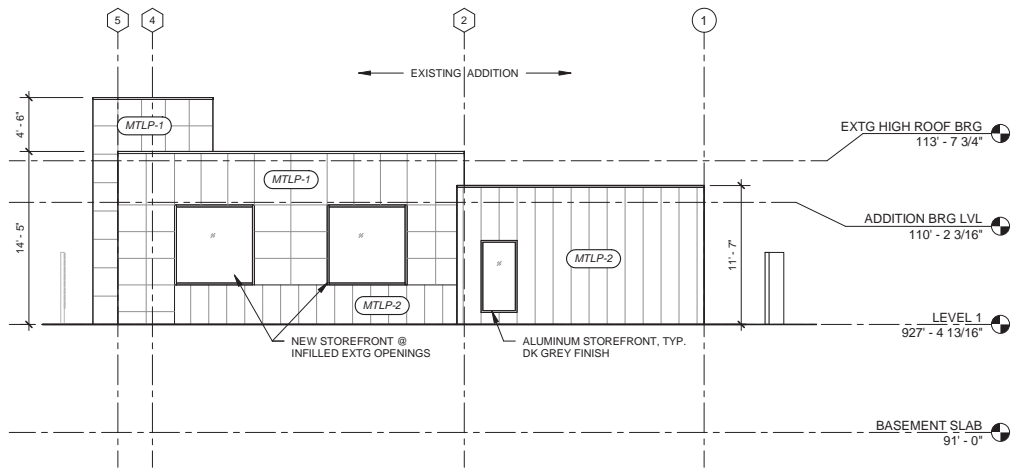
PLAN KEY



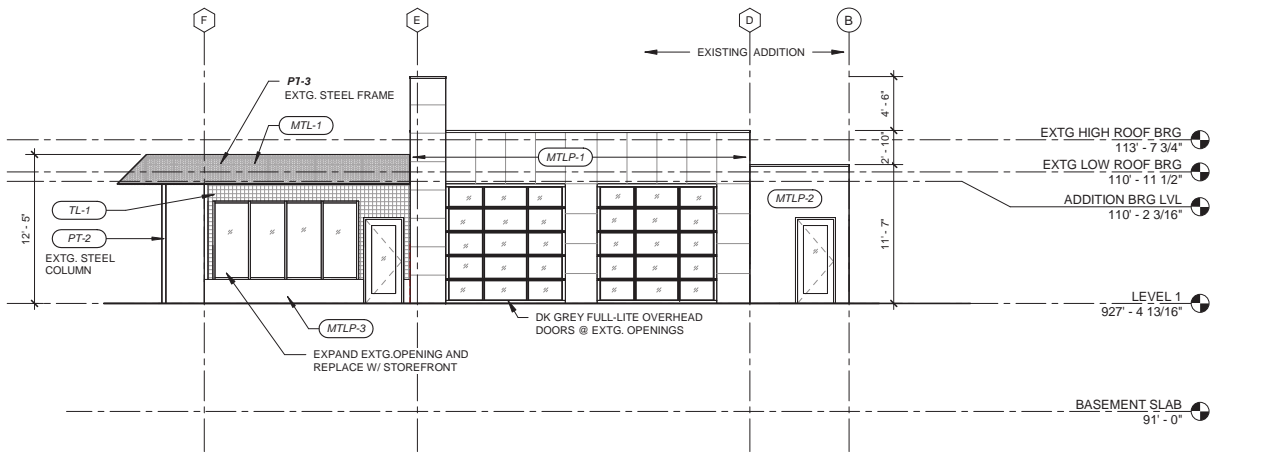
GROSS BUILDING AREA	
Name	Area
EXISTING BUILDING	1,241 SF
BASEMENT	1,120 SF
ADDITION	1,096 SF
Grand total	3,457 SF



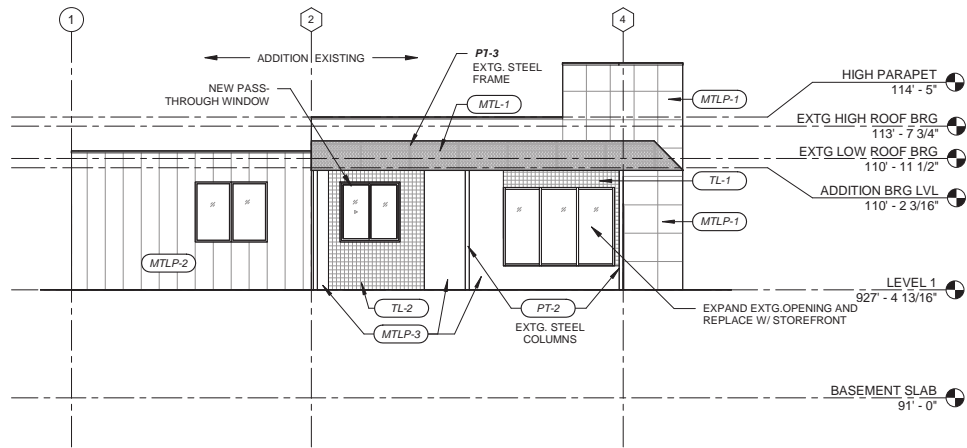
1 LEVEL 1 FLOOR PLAN
A201 3/16" = 1'-0"



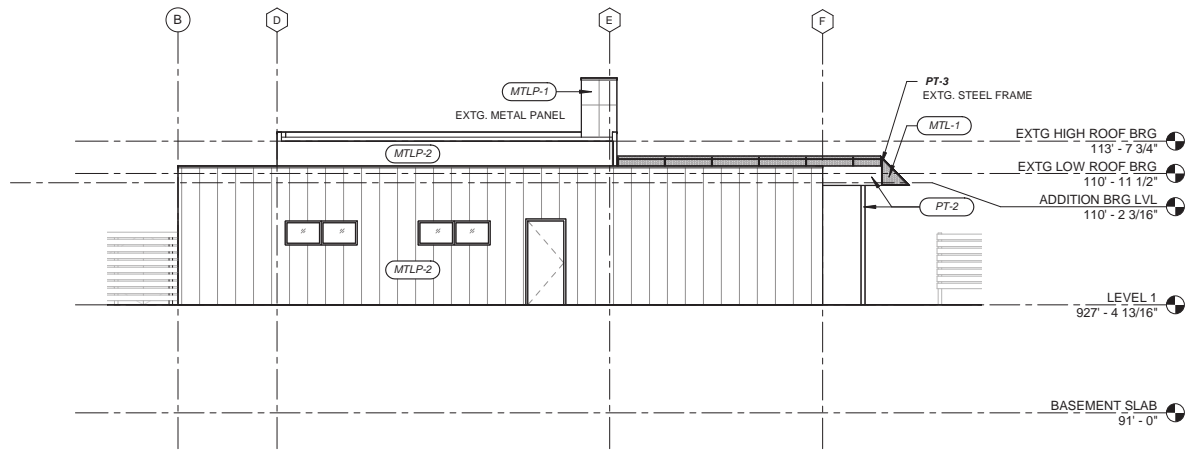
1 NORTH ELEVATION
A301 1/8" = 1'-0"



2 EAST DEMO ELEVATION
A301 1/8" = 1'-0"



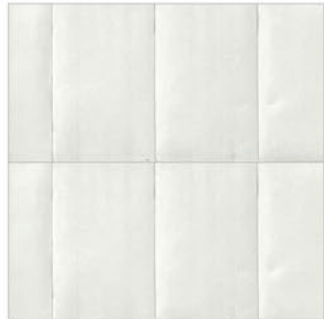
3 SOUTH ELEVATION
A301 1/8" = 1'-0"



4 WEST ELEVATION
A301 1/8" = 1'-0"

KEY - EXTERIOR MATERIALS

MTLP-1 EXTG. PAINTED METAL PANEL
RESTORE AND PAINT WHITE
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



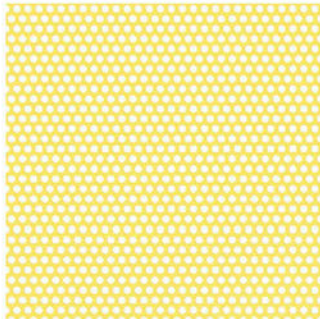
MTLP-2 REVEAL METAL PANEL
PAINT WHITE
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



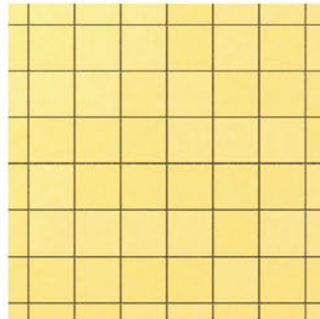
MTLP-3 METAL PANEL, DK GREY
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



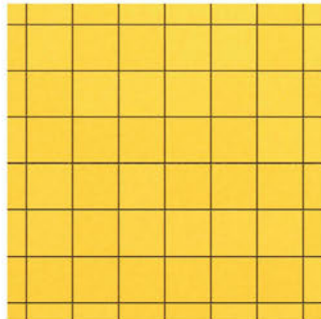
MTL-1 PERF ALUMINUM PANEL
POWDER COAT - LIGHT YELLOW
DIVISION 5 - METALS



TL-2 EXTERIOR TILE - YELLOW
YELLOW
4" SQUARE
DIVISION 9 - FINISHES



TL-1 EXTERIOR TILE - LIGHT YELLOW
LIGHT YELLOW
4" SQUARE
DIVISION 9 - FINISHES



PT-1 EXTERIOR PAINT FINISH - WHITE
DIVISION 9 - FINISHES



PT-2 EXTERIOR PAINT FINISH - GREY
DIVISION 9 - FINISHES



PT-3 EXTERIOR PAINT FINISH - YELLOW
DIVISION 9 - FINISHES



WESTSIDE CAFE

CHRISTIAN DEAN ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature

License Number

Issue / Revision Schedule

NO	Description	Date
----	-------------	------

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

**BUILDING
ELEVATIONS & EXT.
MATERIALS**

A301

APPLICATIONS | JULY 25, 2022

PRELIMINARY PLANS

FOR
SITE, GRADING, DRAINAGE, EROSION CONTROL,
UTILITIES, AND LANDSCAPING

FOR WESTSIDE CAFE

EDINA, MINNESOTA

BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

BENJAMIN LUCAS, P.E.
DATE: 7-22-22 REG. NO. 54265

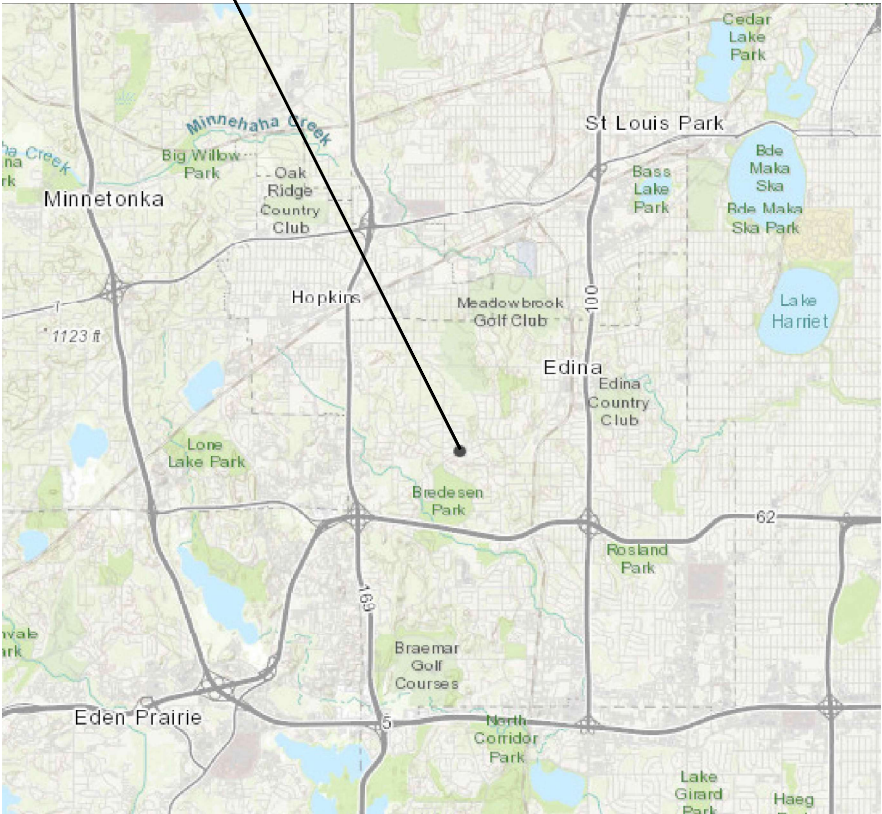
CIVIL COVER SHEET

SOLUTION BLUE PROJECT NO: 220609

C000

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

PROJECT
LOCATION



Sheet List Table			
Sheet Number	Sheet Title	Revision No.	Revision Date
C000	CIVIL COVER SHEET		
C001	GENERAL NOTES		
C100	EXISTING CONDITIONS & REMOVALS PLAN		
C200	SEDIMENT & EROSION CONTROL DETAILS		
C210	SEDIMENT & EROSION CONTROL PLAN PH I		
C211	SEDIMENT & EROSION CONTROL PLAN PH II		
C300	CIVIL SITE PLAN		
C400	GRADING & DRAINAGE PLAN		
C500	UTILITY PLAN		
C900	DETAILS		
S1	EXISTING SURVEY		
L100	LANDSCAPE PLAN		

SUBSURFACE UTILITY INFORMATION

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THE DRAWINGS CONCERNING TYPE AND LOCATION OF UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL "C". THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02. ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

PROJECT CONTACTS

ARCHITECT
CHRISTIAN DEAN
CHRISTIAN DEAN ARCHITECTURE
2909 BRYANT AVE #304
MINNEAPOLIS, MN 55408
TEL: 612-886-2814

CIVIL ENGINEER
BENJAMIN LUCAS, PE
SOLUTION BLUE, INC.
6110 BLUE CIRCLE DRIVE
SUITE 230
MINNETONKA, MN 55343
TEL: 651-294-0038

SURVEYOR
ADVANCE SURVEYING & ENGINEERING CO.
17917 HIGWAY NO. 7
MINNETONKA, MN 55345
TEL: 952-474-7964

LANDSCAPE ARCHITECT
JOSEPH SCHEFFLER
PLAN-TYPE SITE PLANNING & LANDSCAPE ARCHITECTURE
MINNEAPOLIS, MN 55408
TEL: 737-900-1464

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN LUCAS\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECTURE - CADD\DWG\PLAN SHEETS\C000 - COVER.DWG PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:35 PM

EDEN PRAIRIE RD.

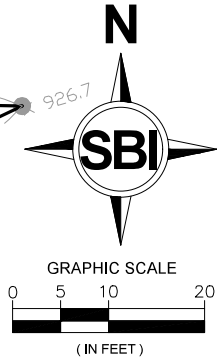
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)

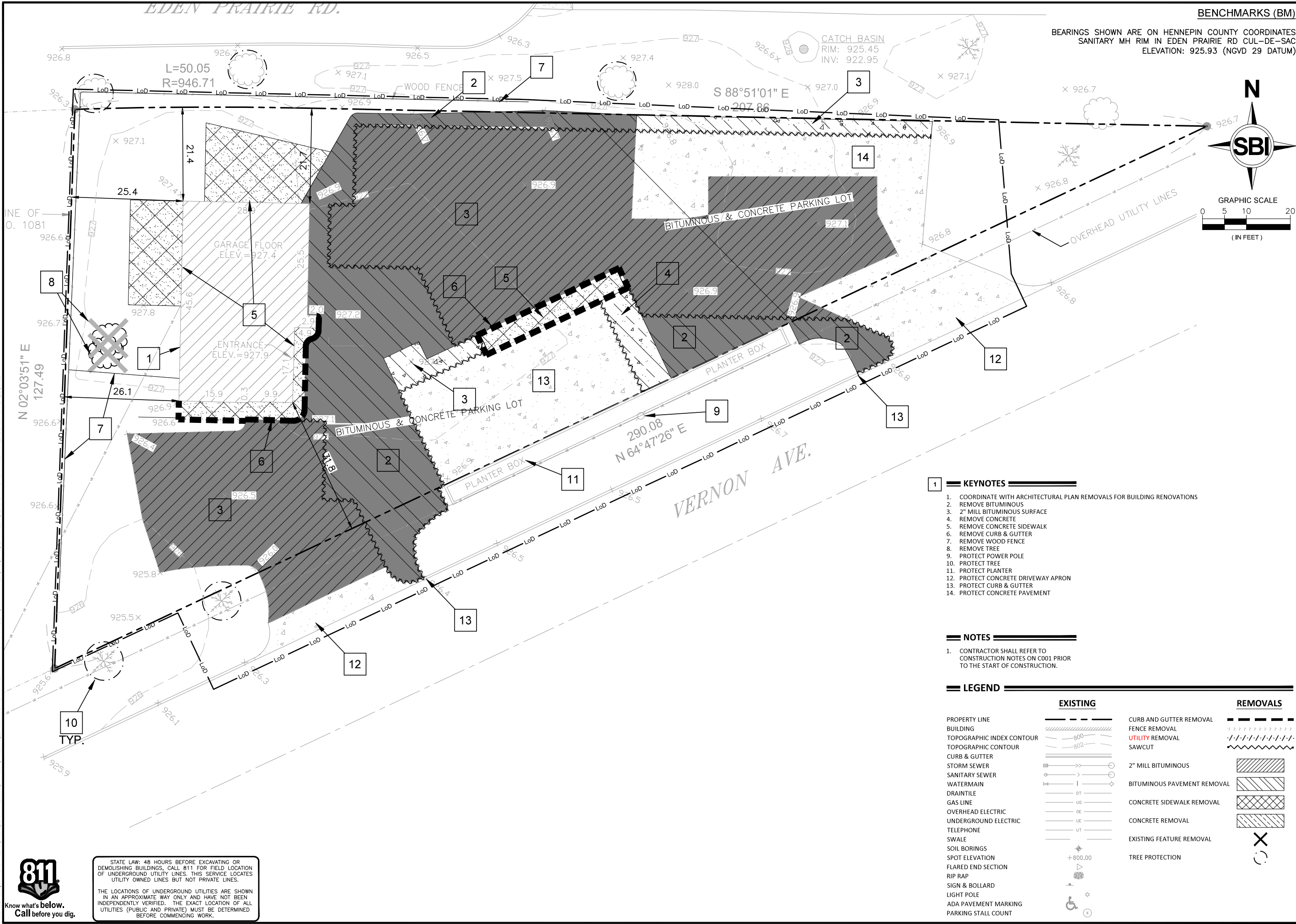


CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECT - EC & REM.DWG PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM



- 1 KEYNOTES**
- COORDINATE WITH ARCHITECTURAL PLAN REMOVALS FOR BUILDING RENOVATIONS
 - REMOVE BITUMINOUS
 - 2" MILL BITUMINOUS SURFACE
 - REMOVE CONCRETE
 - REMOVE CONCRETE SIDEWALK
 - REMOVE CURB & GUTTER
 - REMOVE WOOD FENCE
 - REMOVE TREE
 - PROTECT POWER POLE
 - PROTECT TREE
 - PROTECT PLANTER
 - PROTECT CONCRETE DRIVEWAY APRON
 - PROTECT CURB & GUTTER
 - PROTECT CONCRETE PAVEMENT

- NOTES**
- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

LEGEND	
EXISTING	REMOVALS
PROPERTY LINE	CURB AND GUTTER REMOVAL
BUILDING	FENCE REMOVAL
TOPOGRAPHIC INDEX CONTOUR	UTILITY REMOVAL
TOPOGRAPHIC CONTOUR	SAWCUT
CURB & GUTTER	2" MILL BITUMINOUS
STORM SEWER	BITUMINOUS PAVEMENT REMOVAL
SANITARY SEWER	CONCRETE SIDEWALK REMOVAL
WATERMAIN	CONCRETE REMOVAL
DRAINTILE	EXISTING FEATURE REMOVAL
GAS LINE	TREE PROTECTION
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
TELEPHONE	
SWALE	
SOIL BORINGS	
SPOT ELEVATION	
FLARED END SECTION	
RIP RAP	
SIGN & BOLLARD	
LIGHT POLE	
ADA PAVEMENT MARKING	
PARKING STALL COUNT	

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

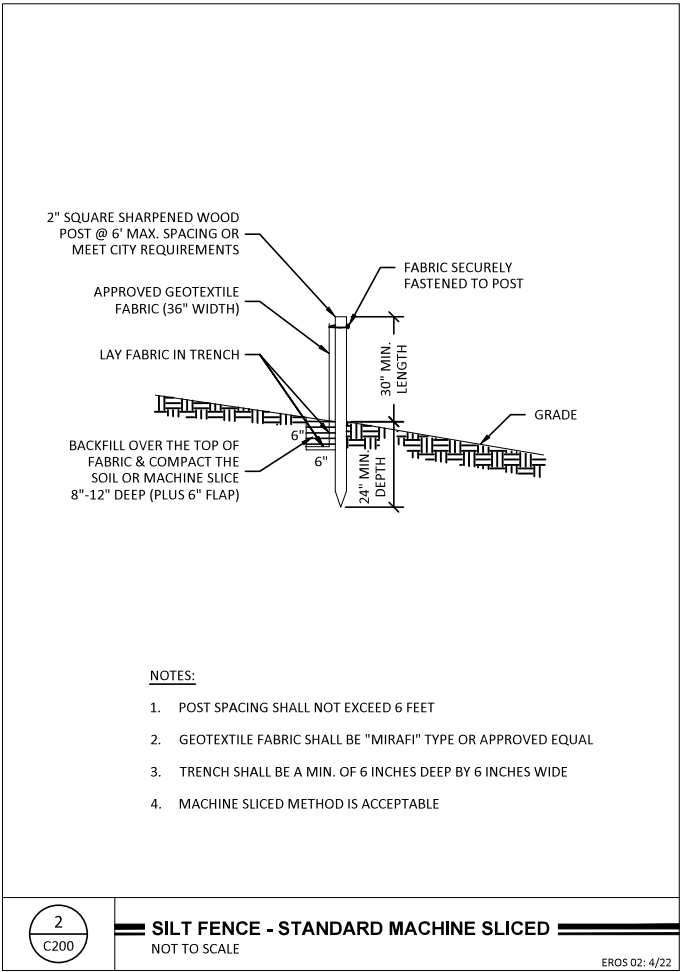
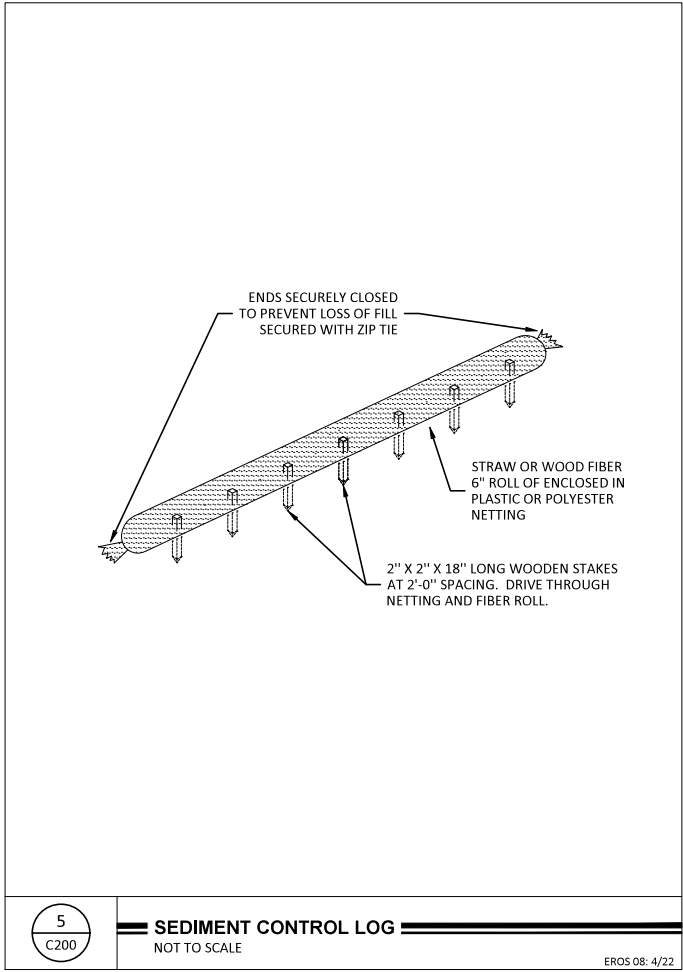
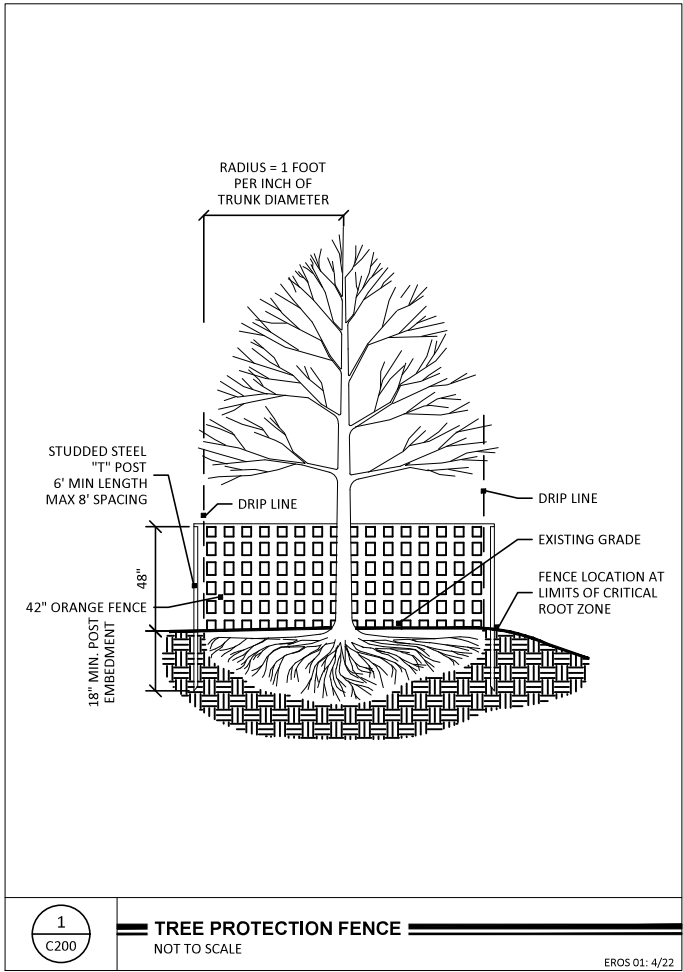
EXISTING CONDITIONS &
REMOVALS PLAN

SOLUTION BLUE PROJECT NO: 220609

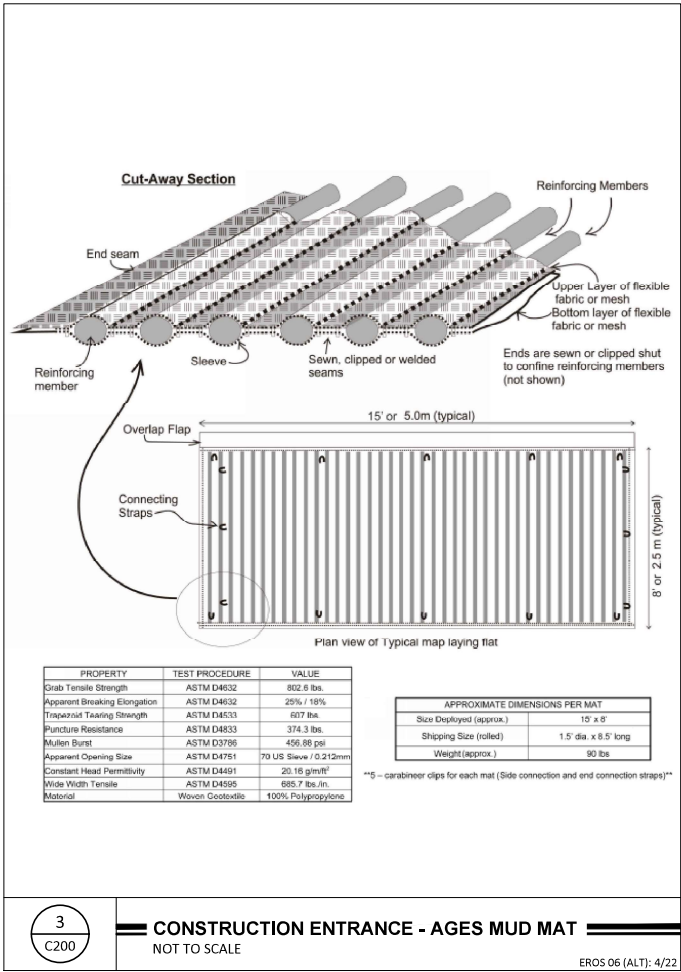
C100

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN WORKING FILES\CADD\DWG\PLAN SHEETS\C200 - EROS.DWG PLAN SHEET: 1:1 PLOT DATE: 7/26/2022 3:36 PM



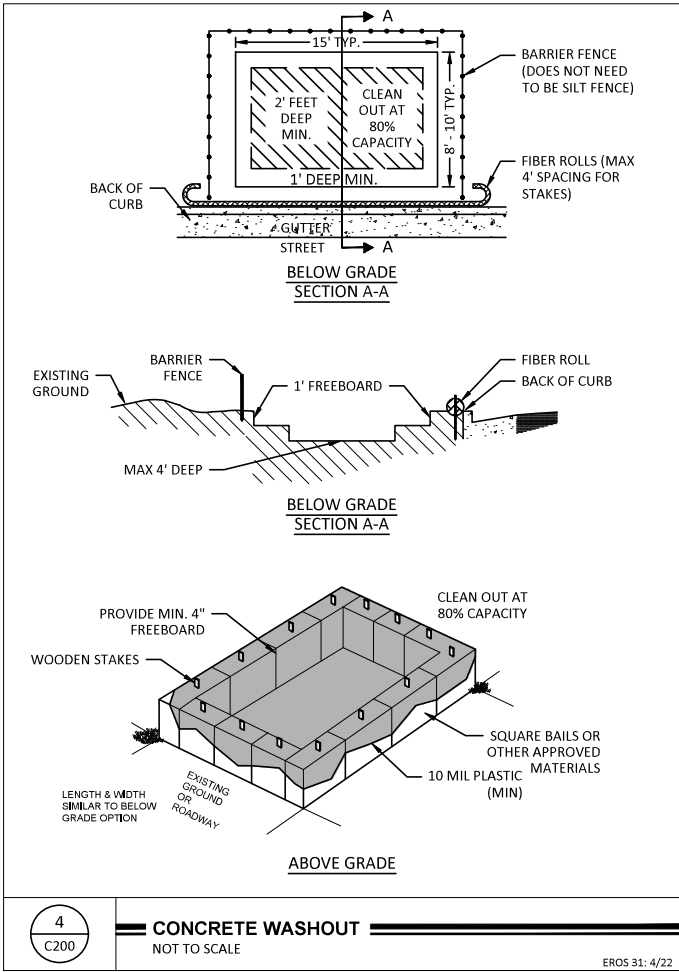
- NOTES:
- POST SPACING SHALL NOT EXCEED 6 FEET
 - GEOTEXTILE FABRIC SHALL BE "MIRAFI" TYPE OR APPROVED EQUAL
 - TRENCH SHALL BE A MIN. OF 6 INCHES DEEP BY 6 INCHES WIDE
 - MACHINE SLICED METHOD IS ACCEPTABLE



PROPERTY	TEST PROCEDURE	VALUE
Grab Tensile Strength	ASTM D4632	802.6 lbs.
Apparent Breaking Elongation	ASTM D4632	25% / 18%
Triaxial Tensile Strength	ASTM D4633	607 lbs.
Puncture Resistance	ASTM D4633	374.3 lbs.
Mullen Burst	ASTM D3786	456.88 psi
Apparent Opening Size	ASTM D4751	70 US Sieve / 0.212mm
Constant Head Permeability	ASTM D4491	20.15 g/m ² /s
Wide Width Tensile	ASTM D4595	685.7 lbs./in.
Material	Woven Geotextile	100% Polypropylene

APPROXIMATE DIMENSIONS PER MAT	
Size Deployed (approx.)	15' x 8'
Shipping Size (rolled)	1.5' dia. x 6.5' long
Weight (approx.)	90 lbs

5 - carabineer clips for each mat (Side connection and end connection straps)



SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BENJAMIN LUCAS, P.E.
DATE: 7-22-22 REG. NO. 54265

EDEN PRAIRIE RD.

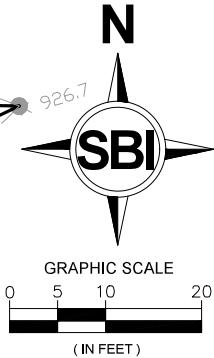
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



L=50.05
R=946.71

TREE PROTECTION FENCE
(SEE DETAIL 1/C200), TYP.

WOOD FENCE

CATCH BASIN
RIM: 925.45
INV: 922.95

S 88°51'01" E
207.86

SILT FENCE (SEE
DETAIL 2/C200)

GRAPHIC SCALE
0 5 10 20
(IN FEET)

GARAGE FLOOR
ELEV.=927.4

ENTRANCE
ELEV.=927.9

BITUMINOUS & CONCRETE PARKING LOT

PLANTER BOX

290.08
N 64°47'26" E

VERNON AVE.

ROCK CONSTRUCTION EXIT
(SEE DETAIL 3/C200)

NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION
NOTES ON C001 PRIOR TO THE START OF
CONSTRUCTION.

EROSION CONTROL MATERIALS QUANTITIES - PHASE 1

ITEM	UNIT	QUANTITY
ROCK CONSTRUCTION EXIT	EA	2
SILT FENCE	LF	100
TREE PROTECTION FENCE	EA	5

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	Diagonal hatching	Diagonal hatching
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	Double line	Double line
STORM SEWER	DT	DT
DRAINTILE	DT	DT
SWALE	DT	DT
SOIL BORINGS	+800.00	+800.00
SPOT ELEVATION	+800.00	+800.00
FLARED END SECTION	Flared end	Flared end
RIP RAP	Rip rap	Rip rap
GUTTER OUT CURB	Gutter out curb	Gutter out curb
DIRECTION OF OVERLAND FLOW	SF	SF
SILT FENCE	SF	SF
FILTER LOG	Filter log	Filter log
ROCK CONSTRUCTION EXIT	Rock construction exit	Rock construction exit
EROSION CONTROL BLANKET	Erosion control blanket	Erosion control blanket
INLET PROTECTION	Inlet protection	Inlet protection
TREE PROTECTION FENCE	Tree protection fence	Tree protection fence

STATE LAW: 48 HOURS BEFORE EXCAVATING OR
DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION
OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES
UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN
IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL
UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED
BEFORE COMMENCING WORK.



SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

SEDIMENT & EROSION
CONTROL PLAN PH I

SOLUTION BLUE PROJECT NO: 220609

C210

EDEN PRAIRIE RD.

BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



GRAPHIC SCALE
0 5 10 20
(IN FEET)

NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

AREA SUMMARY

PAVEMENT AREA	10,771 SF
BUILDING AREA	2,350 SF
SEEDING AREA	2,380 SF
PRE-CONSTRUCTION IMPERVIOUS	13,941 SF
POST-CONSTRUCTION IMPERVIOUS	15,181 SF

EROSION CONTROL MATERIALS QUANTITIES - PHASE 2

ITEM	UNIT	QUANTITY
ROCK CONSTRUCTION EXIT	EA	NO ADDITIONAL
SILT FENCE	LF	210 ADDITIONAL
TREE PROTECTION FENCE	EA	NO ADDITIONAL

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	///	///
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	---	---
STORM SEWER	---	---
DRAIN TILE	DT	DT
SWALE	---	---
SOIL BORINGS	+	+
SPOT ELEVATION	+800.00	+800.00
FLARED END SECTION	---	---
RIP RAP	---	---
GUTTER OUT CURB	---	---
DIRECTION OF OVERLAND FLOW	---	---
SILT FENCE	SF	---
FILTER LOG	---	---
ROCK CONSTRUCTION EXIT	---	---
EROSION CONTROL BLANKET	---	---
RAIN GARDEN BMP	---	---
INLET PROTECTION	---	---
TREE PROTECTION FENCE	---	---

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

SEDIMENT & EROSION
CONTROL PLAN PH II

SOLUTION BLUE PROJECT NO: 220609

C211

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN LUCAS\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTAIN DEAN ARCHITECT - EROS DWS PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM



Know what's below.
Call before you dig.

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.

EDEN PRAIRIE RD.

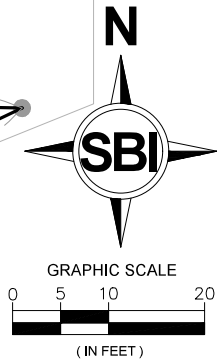
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



LINE OF
O. 1081

N 02°03'51" E
127.49

L=50.05
R=946.71

SIGN POST
A

WOOD FENCE

S 88°51'01" E

207.86

16

GARAGE FLOOR
ELEV.=927.4

ENTRANCE
ELEV.=927.9

WALL MOUNT
A

START
7

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

17.1

15.9

9.9

0.3

4.3

4.9

EDEN PRAIRIE RD.

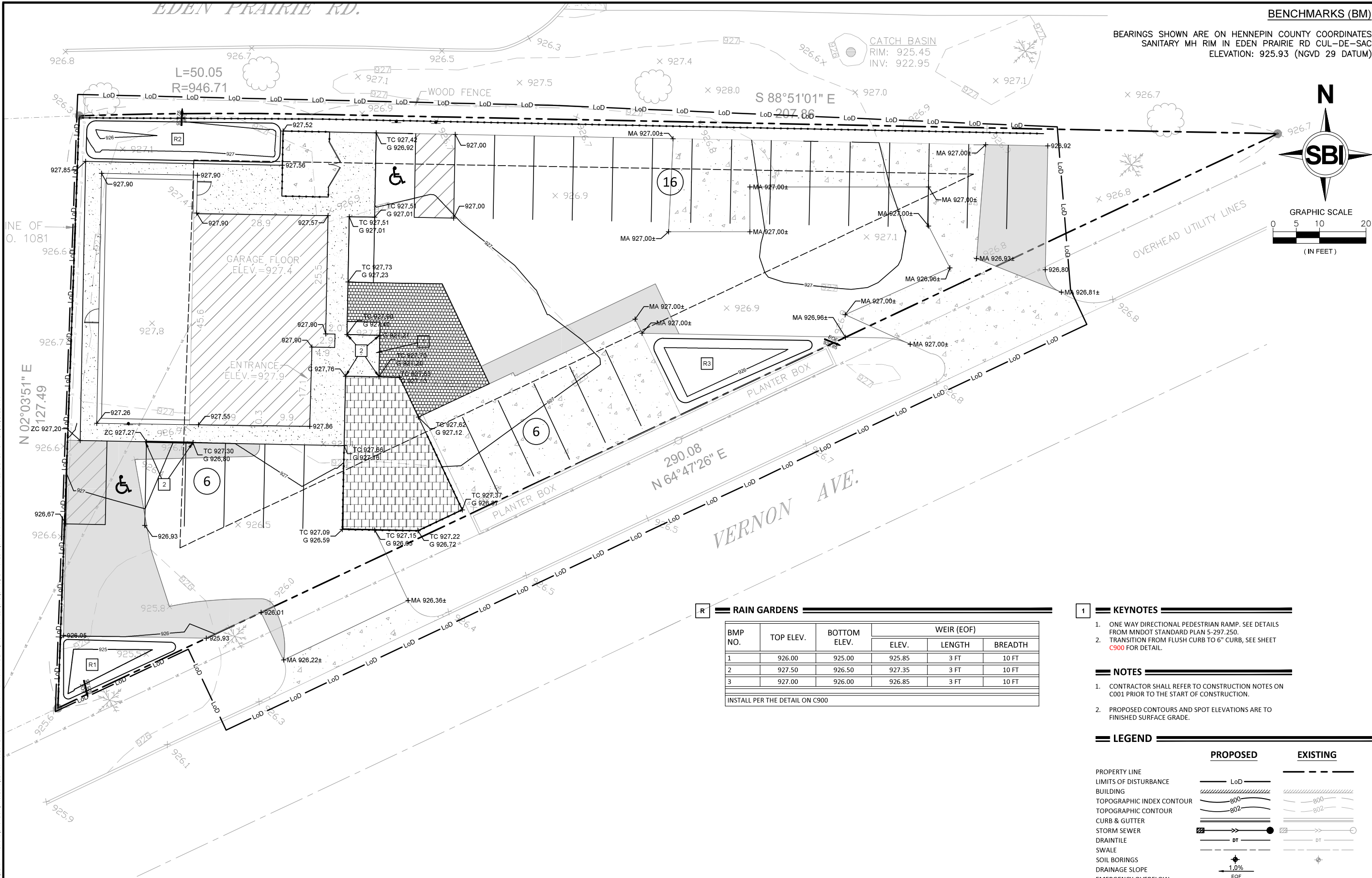
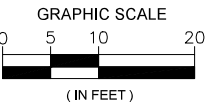
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



RAIN GARDENS

BMP NO.	TOP ELEV.	BOTTOM ELEV.	WEIR (EOF)		
			ELEV.	LENGTH	BREADTH
1	926.00	925.00	925.85	3 FT	10 FT
2	927.50	926.50	927.35	3 FT	10 FT
3	927.00	926.00	926.85	3 FT	10 FT

INSTALL PER THE DETAIL ON C900

KEYNOTES

- ONE WAY DIRECTIONAL PEDESTRIAN RAMP. SEE DETAILS FROM MNDOT STANDARD PLAN 5-297.250.
- TRANSITION FROM FLUSH CURB TO 6" CURB, SEE SHEET C900 FOR DETAIL.

NOTES

- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED SURFACE GRADE.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	LoD	---
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	LoD	---
STORM SEWER	LoD	---
DRAINTILE	LoD	---
SWALE	LoD	---
SOIL BORINGS	LoD	---
DRAINAGE SLOPE	LoD	---
EMERGENCY OVERFLOW	LoD	---
FLARED END SECTION	LoD	---
RIP RAP	LoD	---
GUTTER OUT CURB	LoD	---
SPOT ELEVATION	LoD	---
TOP OF CURB	LoD	---
GUTTER	LoD	---
ZERO CURB	LoD	---
MATCH EXISTING	LoD	---
CONCRETE	LoD	---

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



Know what's below.
Call before you dig.

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

GRADING & DRAINAGE PLAN

SOLUTION BLUE PROJECT NO: 220609

C400

EDEN PRAIRIE RD.

BENCHMARKS (BM)

CATCH BASIN
RIM: 925.45
INV: 922.95

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)

Solution

Blue

water matters

6110 Blue Circle Dr, Suite 230
Minnetonka, MN 55343

651-294-0038
www.SolutionBlue.com

CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.


BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

UTILITY PLAN
SOLUTION BLUE PROJECT NO: 220609

C500

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED



OVERHEAD UTILITY LINES

RAIN GARDEN, SEE SHEET C400

290.08
N 64°47'26" E

VERNON AVE.

RAIN GARDEN, SEE SHEET C400

GARAGE FLOOR
ELEV. = 927.4

ENTRANCE
ELEV. = 927.9

RAIN GARDEN, SEE SHEET C400

WOOD FENCE

L=50.05
R=946.71

LINE OF
O. 1081

N 02°03'51" E
127.49

NOTES

- EXISTING SERVICES WILL REMAIN IN PLACE EXTERIOR TO BUILDING. REFER TO ARCHITECTURAL & MECHANICAL PLANS FOR INTERIOR IMPROVEMENTS TO SANITARY AND WATER SERVICES.
- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

LEGEND

PROPERTY LINE
LIMITS OF DISTURBANCE
BUILDING
CURB & GUTTER
STORM SEWER
SANITARY SEWER
WATERMAIN
DRAIN TILE
GAS LINE
OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL
TELEPHONE
SWALE
SOIL BORINGS
LIGHT POLE

PROPOSED

LoD
DT
UG
OE
UE
UT

EXISTING

DT
UG
OE
UE
UT

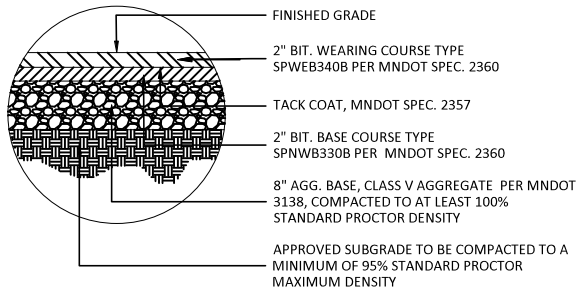
STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECTURE - CADD\DWG\PLAN SHEETS\C500 - UTILITY DWG\PILOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN LUCAS\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECT - DETAILING PLAN SHEETS\C900 - DETAILING PLAN SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM



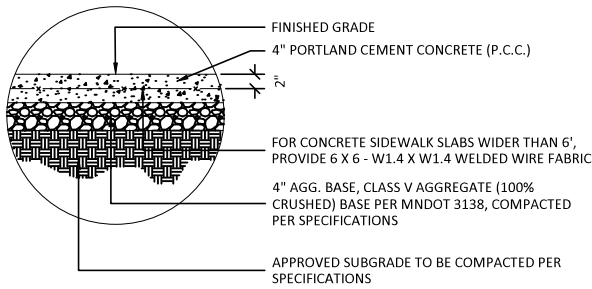
NORMAL DUTY

1
C900

TYPICAL BITUMINOUS PAVEMENT SECTIONS

NOT TO SCALE

SITE 01: 4/22



NOTES:

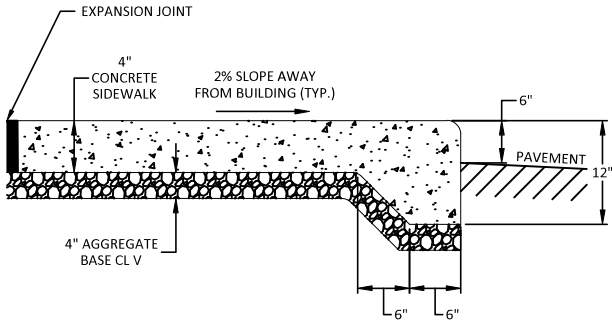
1. REFER TO MNDOT SPECIFICATION 2521 FOR SIDEWALK CONSTRUCTION.
2. SIDEWALKS TO HAVE 2% MAXIMUM CROSS SLOPE UNLESS INDICATED OTHERWISE.
3. CONTRACTION JOINTS AT 5' SPACING, EXPANSION JOINTS EVERY 60' OR LESS.

2
C900

TYPICAL CONCRETE SIDEWALK SECTION

NOT TO SCALE

SITE 06: 4/22

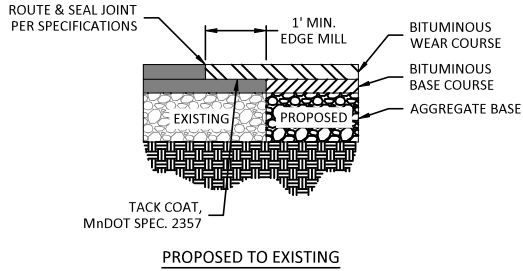


3
C900

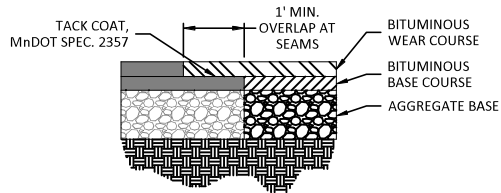
SIDEWALK SECTION WITH INTEGRAL CURB

NOT TO SCALE

SITE 10: 4/22



PROPOSED TO EXISTING



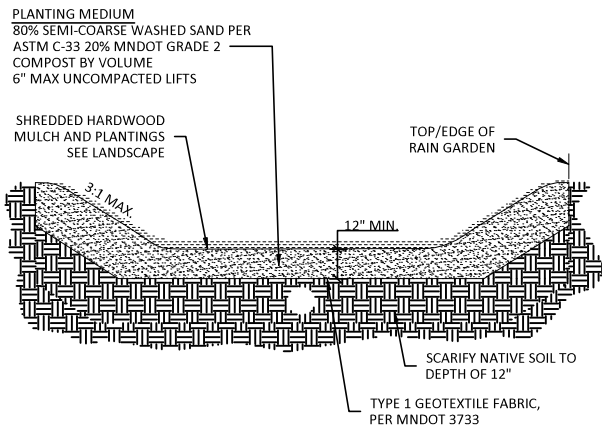
PROPOSED AT SEAMS

4
C900

BITUMINOUS PAVING TRANSITION

NOT TO SCALE

SITE 43: 4/22



CROSS SECTION

NOTES:

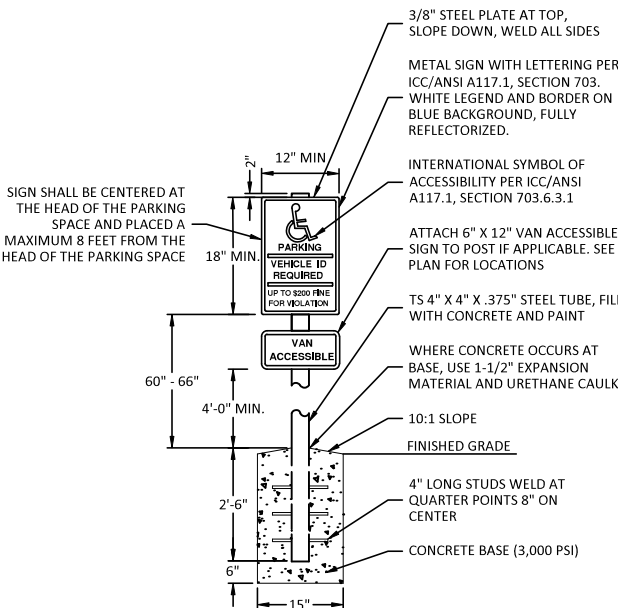
1. DO NOT ALLOW CONSTRUCTION TRAFFIC OR COMPACT SOIL WITHIN BASINS
2. RAIN GARDEN AREA MAY ONLY BE EXCAVATED TO ITS BASE AFTER THE CONTRIBUTING WATERSHED IS STABLE
3. THE FINAL GRADING OF THE RAIN GARDEN SHOULD FOLLOW THIS DETAIL WITH UNDULATIONS IN THE BOTTOM OF THE BMP. IT SHOULD NOT BE GRADED FLAT. THIS WILL INCREASE THE CHANCES OF ADEQUATE VEGETATION TAKING HOLD IN WET CONDITIONS.
4. PROVIDE 12" NATIVE SOIL LOOSENING AS DIRECTED BY ENGINEER

5
C900

RAIN GARDEN CROSS SECTION

NOT TO SCALE

GRAD 10: 4/22



NOTES:

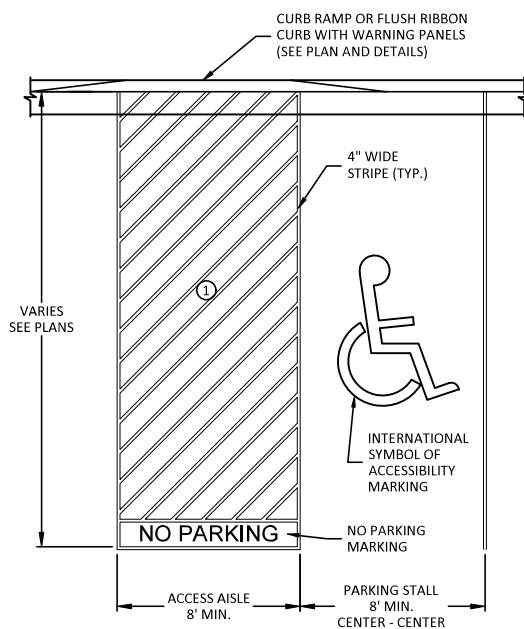
1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH ALL CURRENT STATE AND LOCAL CODES AND REGULATIONS

6
C900

ACCESSIBLE SIGN AND STEEL POST

NOT TO SCALE

ADA 05: 4/22



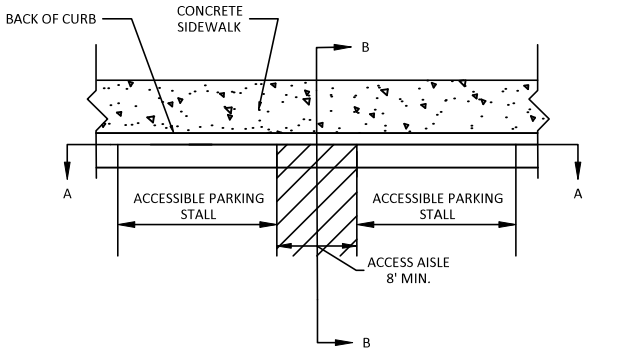
- 1 ACCESS AISLE SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE IT SERVES

7
C900

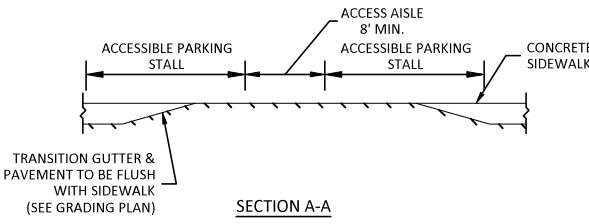
ACCESSIBILITY PARKING PAVEMENT MARKINGS

NOT TO SCALE

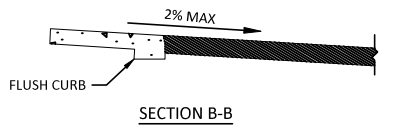
ADA 11: 4/22



PLAN VIEW OF SIDEWALK



SECTION A-A



SECTION B-B

8
C900

SIDEWALK WITH ZERO CURB

NOT TO SCALE

ADA 13A: 4/22

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

DETAILS

SOLUTION BLUE PROJECT NO: 220609

C900





PERSPECTIVE FROM PARKING LOT (EAST)

6016 VERNON AVE











Westside Café - Project Narrative

The proposed use of a family focused restaurant will provide a neighborhood and community gathering place supported by the majority of the surrounding residents as evidenced by the community survey conducted by the property owner. We sent out mailers to the neighborhood within 3 miles of us and did an on-line poll. We asked people what they would like to see us do with the property. The options were: multi-family housing, gas station/car wash, auto repair shop, or a restaurant. The total replies were 2,159. 2,083 people are in support of a restaurant. The community comments from that poll have been included in an attached document.

The new proposed use enhances the property from the current automobile service station into a vibrant neighborhood node located on an arterial street with limited single-family property owners sharing interior property lines. All the immediate neighboring single-family property owners are buffered by streets and public ways. The only immediate residential property is a large multi-family structure to the west. This structure has a large yard between it and the shared property line of approximately 88 feet. This large yard is fortunately adjacent to the interior 'yard' the project is seeking to reduce due to an addition necessary to make this a viable restaurant building.

The comp plan currently supporting multi-family housing has not been adequately evaluated for this site. The unique triangular site coupled with the required setbacks makes this site virtually undevelopable for multi-family of any density. While the comp plan designates multi-family housing for this property, the specific dimensions and geometry of the site are not conducive to multi-family house AND off-street parking. Brief site studies to plan housing and parking revealed a very inefficient and low-density outcome for this property.

The proposed use is more aligned with helping the immediate area become a livable community by providing a neighborhood amenity within walking and biking distance of a large resident population thus reducing the demand for vehicular travel for this segment of residents to access nearby commercial nodes that are not walkable. The proposed restaurant use is more compatible with a city planning effort for this location than the current auto repair shop. While 'Kevin Kee's Auto Service' has been a valued neighborhood business the new proposed use will provide an inclusive gathering place for all ages and community members throughout the day. The prior use was exclusively a car destination.

After sketch plan reviews with the Planning Commission and the City Council and after consulting with some of the neighbors who oppose the project, we have made a number of changes. We have reduced the size of the building, the number of seats in the restaurant and the corresponding parking stall requirements. We have shortened the hours of operation and we have moved the patio to the Vernon side of the building (away from the neighbors on Eden Prairie road).

This development will improve the city, the neighborhood and the Edina community. And the residents want it.

Technical Memorandum

To: Mr. Cary Teague AICP, Community Development Director
City of Edina

From: Charles Rickart PE, PTOE, Principal, Traffic Engineer
WSB

Date: June 13, 2022

Re: 6016 Vernon Avenue
Traffic and Parking Study
City of Edina, MN
WSB Project No. R-20157-000

Background

The purpose of this study is to determine the potential transportation impacts the proposed redevelopment of the existing Kee's auto repair shop at 6016 Vernon Avenue has on: the area traffic operations; site traffic circulation; pedestrian safety and circulation and parking demand.

The site is located on Vernon Avenue (County State Aid Highway (CSAH) 158) west of Olinger Road/Highwood Drive. The existing site contains an auto repair service station which is currently closed. Access to the existing site was provided at two locations on Vernon Avenue (CSAH 158). The project location is shown on **Figure 1**.

The proposed site redevelopment includes remodeling and expansion of the site with a new 69 seat restaurant. Access to the site will be maintained at the existing access locations on Vernon Avenue (CSAH 158). The current plan provides 28 parking spaces for the site. The proposed site plan is shown on **Figure 2**.

The traffic impacts of the existing and anticipated site redevelopment were evaluated at each site driveway as well as the primary impacted intersections on Vernon Avenue (CSAH 158). The parking demand was determined based on the City Code and Institute of Transportation Engineers (ITE) guidelines.

The following sections of this report document the traffic and parking analysis and the anticipated impacts of the proposed site redevelopment has on the adjacent transportation system.

Existing Conditions

The existing conditions for the proposed site redevelopment were evaluated at the following intersections:

- Vernon Avenue (CSAH 158) at Blake Road/Olinger Boulevard
- Vernon Avenue (CSAH 158) at Olinger Road/Highwood Drive

Roadway Characteristics

- Vernon Avenue (CSAH 158) is an east/west County Road classified as an A-Minor Arterial Reliever from TH 100, where it turns into W. 50th Street, to Gleason Road, which connects to TH 62 (Crosstown). The existing roadway adjacent to the site includes a 2-lane urban cross section with 8ft shoulders designated as a on-road bike lane in both directions. The existing average daily traffic volume (ADT) adjacent to the site is 9,500 (based on current count). The posted speed limit is 40 miles per hour (mph).

Figure 1 - Project Location

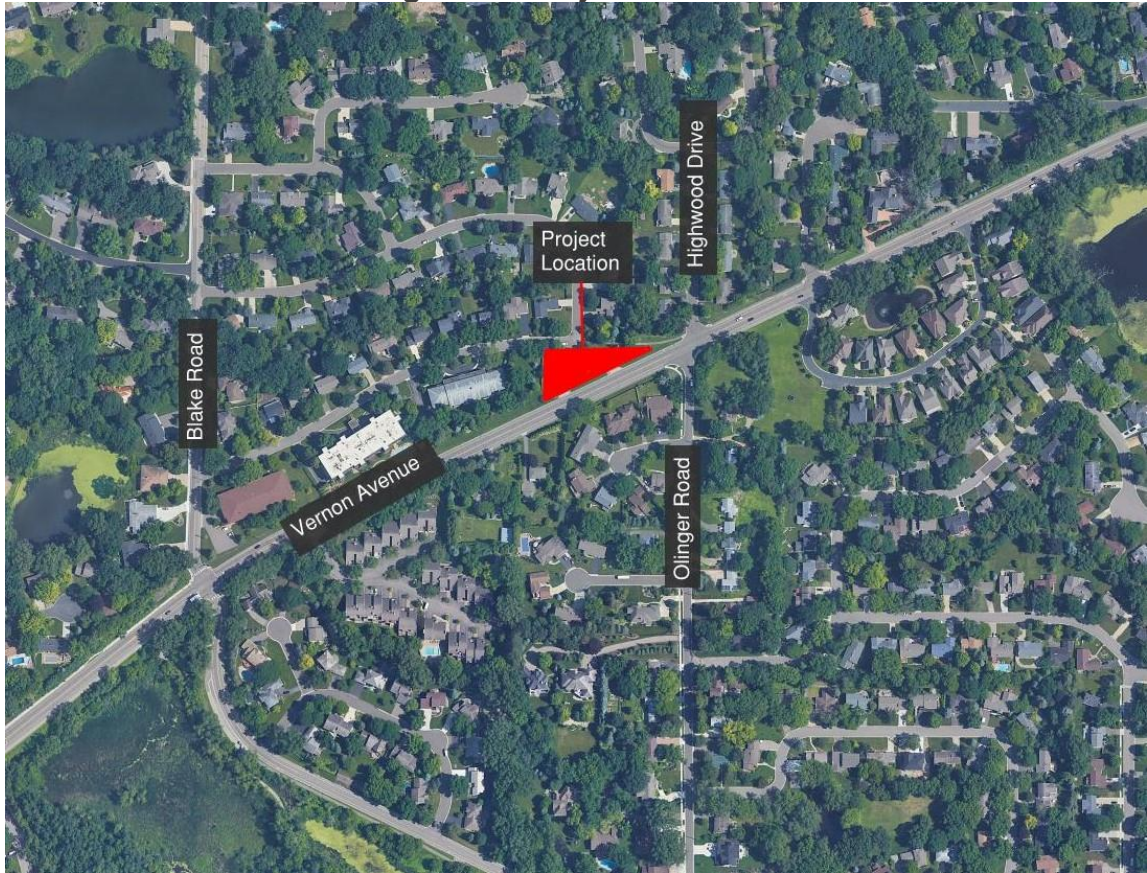
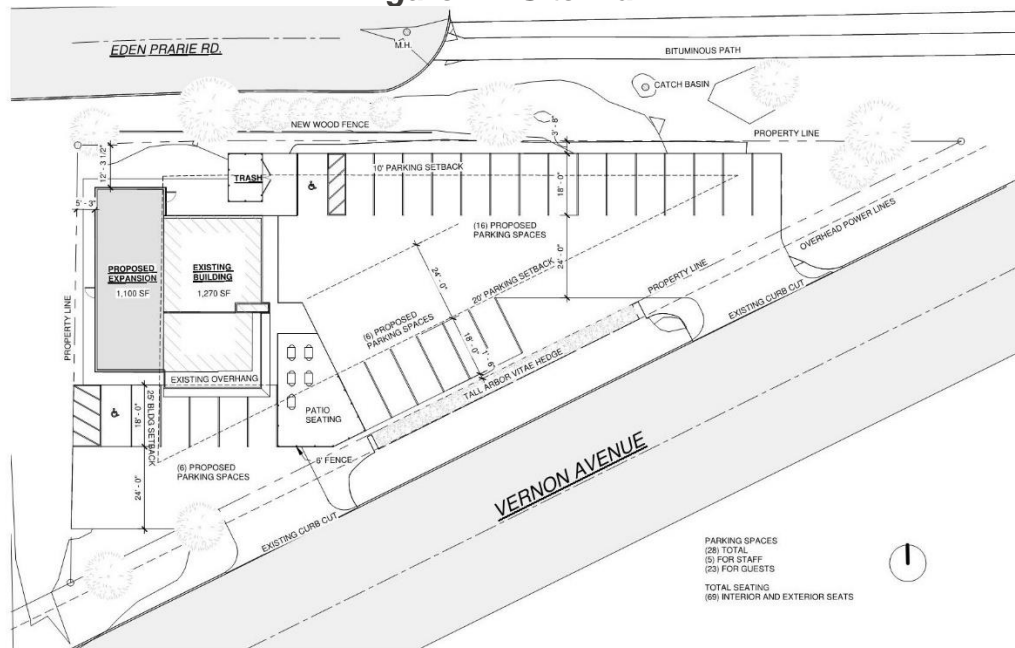


Figure 2 – Site Plan



The lane configurations at each of the study area intersection are as follows:

Vernon Ave (CSAH 158) at Blake Rd/Olinger Blvd – Traffic Signal Control

- EB Vernon Ave (CSAH 158) – one right / thru, one left
- WB Vernon Ave (CSAH 158) – one right / thru, one left
- SB Blake Road – one right / thru / left
- NB Olinger Boulevard – one right / thru / left

Vernon Ave (CSAH 158) at Olinger Rd/Highwood Drive – Side Street Stop Control

- EB Vernon Ave (CSAH 158) – one right / thru / left
- WB Vernon Ave (CSAH 158) – one right / thru / left
- SB Highwood Drive – one right / thru / left
- NB Olinger Road – one right / thru / left

Traffic Volumes

Existing peak hour turning movement volumes were developed based on new traffic counts conducted by WSB the week of April 4th, 2022, at the intersections noted above for the following time periods:

- AM Peak: 6:00 – 9:00 am
- PM Peak: 4:00 – 7:00 pm

Figure 3 shows the existing area intersections that were analyzed as part of this study, with the existing AM and PM peak hour and ADT traffic volumes.

Crash History

Existing crash data included with this study was obtained using the Minnesota Crash Mapping Analysis Tool (MnCMAT) developed by MnDOT. The database includes crashes reported to MnDOT by local law enforcement agencies.

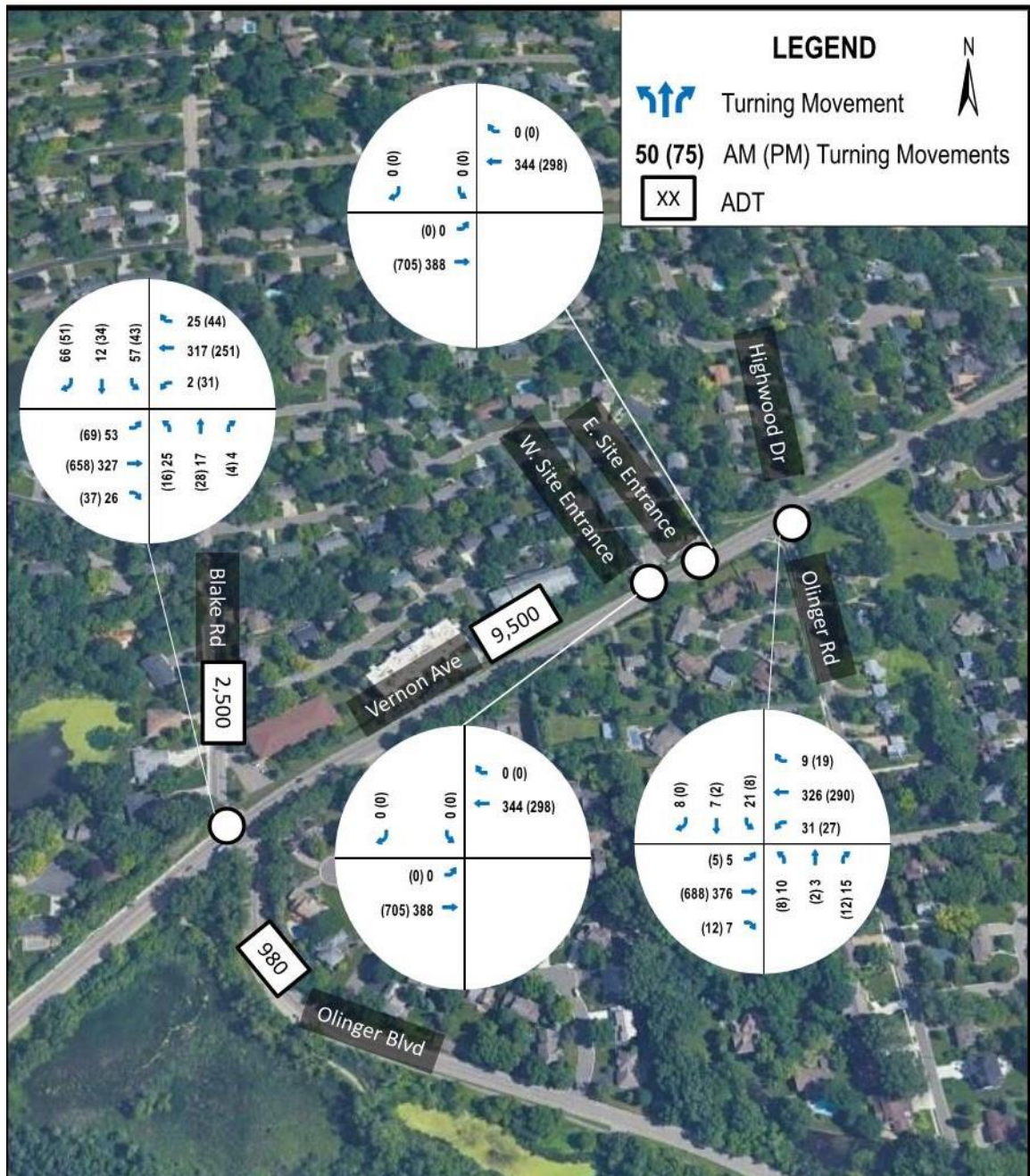
The crash data presented is for a 3-year period from 2019-2021. The MnCMAT database does not provide access to the original handwritten crash reports, which contain some details that are not represented in the MnCMAT database. Crashes that resulted in damages under \$1000 may not be included in the database results as well. Only the Vernon Avenue (CSAH 158) at Blake Road/Olinger Boulevard had reported crashes. A summary of the existing crash data is shown in **Table 1**.

Table 1: Crash Data Summary

Location	Crashes						Total Crashes
	2019		2020		2021		
	PD	PI	PD	PI	PD	PI	
Vernon Ave (CSAH 158) at Blake Rd/Olinger Blvd	2	0	1	0	0	1	4

The data shows that the intersection has a calculated crash rate and severity rate that is below MnDOT Metro and Statewide average rates.

Figure 3 – Existing Conditions



Traffic Projections

To analyze intersection lane configuration and traffic control needs projected traffic volumes were determined for the area. Traffic projections were prepared for **2024** which represents the year after the proposed site redevelopment is completed and the year **2030** future conditions. The following sections outline the anticipated background traffic growth, traffic generation from the proposed development, as well as the traffic distribution and projected traffic volumes.

Background (Non-Site) Traffic Growth

Traffic growth in the vicinity of a proposed development area will occur between existing conditions and any given future year due to other development within the region. This background growth must be accounted for and included in future year traffic forecasts. To account for some background traffic growth several factors were considered including the current City and County Transportation Plans, future traffic projections compared to the existing traffic volumes and historic traffic volumes, based on this review a factor of 0.8%/year was used to project traffic from 2022 to the 2024 and 2030 analysis years.

Proposed Development Area Traffic Generation

The estimated trip generation from the proposed site redevelopment project is shown below in **Table 2**. The trip generation used to estimate the proposed site traffic is based on rates for other similar land uses as documented in the Institute of Transportation Engineers *Trip Generation Manual*, 11th Edition. The table shows the daily, AM peak hour and PM peak hour trip generation for the proposed site development.

Table 2 – Development Site Trip Generation

Planned Use	Size	ADT	AM Peak			PM Peak		
			Total	In	Out	Total	In	Out
Restaurant (ITE Code 931)	69 Seats	180	11	6	5	21	12	9

Source: Institute of Transportation Engineers *Trip Generation Manual* 11th Edition.

Proposed Development Area Traffic Distribution

Proposed site generated trips were distributed to the adjacent roadway system based on the anticipated origins and destinations for the planned land use, existing travel patterns and engineering judgement. Based on these parameters the following general traffic distribution was used to distribute the projected site traffic volumes to the area roadway network:

- 55% to / from the east on Vernon Avenue (CSAH 158)
- 2% to / from the south on Olinger Road
- 3% to / from the south on Olinger Boulevard
- 35% to / from the west on Vernon Avenue (CSAH 158)
- 5% to / from the north on Blake Road

Projected Traffic Volumes

Traffic forecasts were prepared for the future build conditions by adding the projected annual background traffic growth to the existing traffic volumes to determine the no-build conditions. The 2024 and 2030 build conditions were then developed by adding the anticipated proposed site redevelopment traffic generation to the no-build volumes. **Figure 4** and **Figure 5** shows the projected 2024 and 2030 Build traffic volumes.

Figure 4 – 2024 Build Conditions

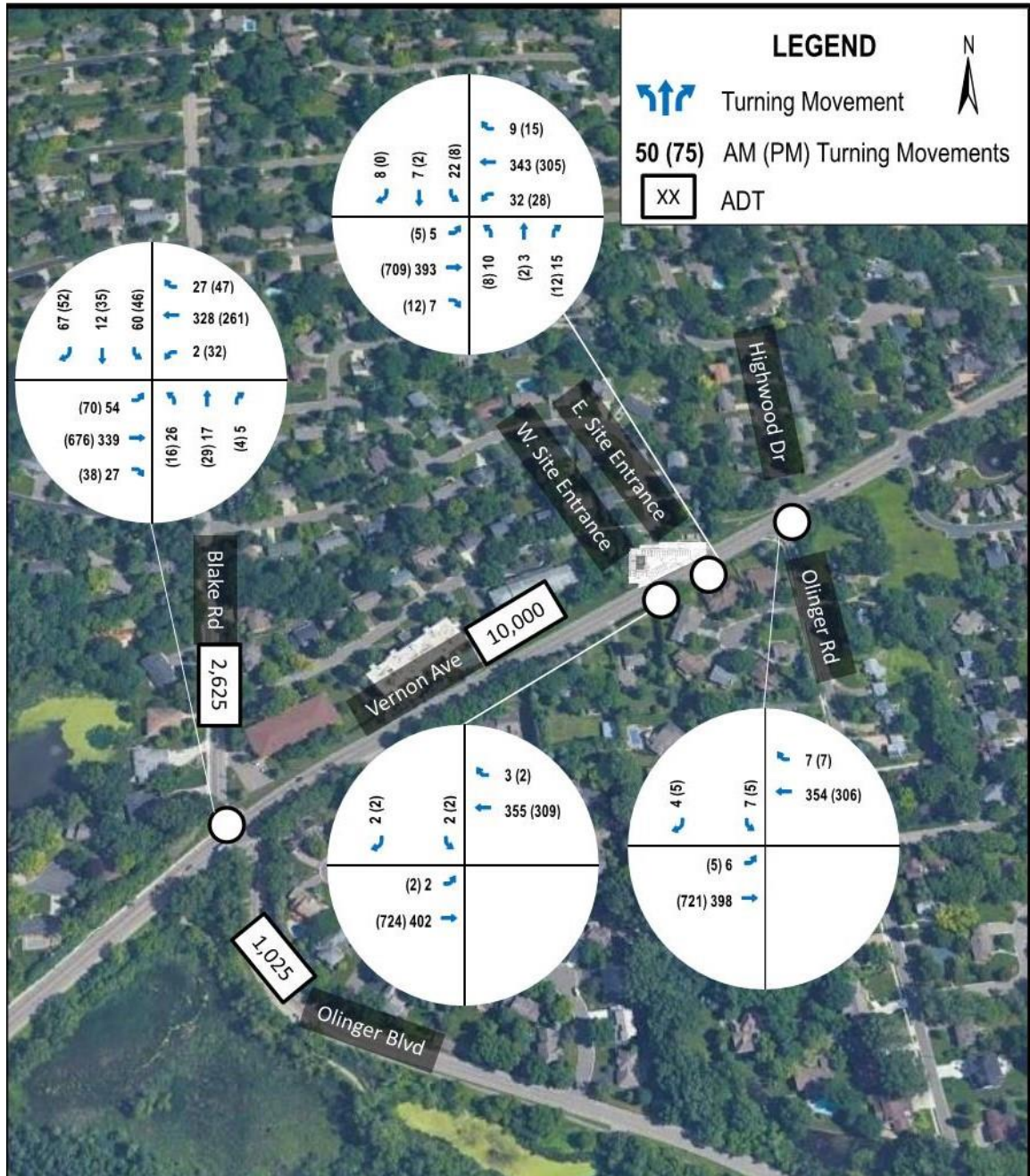
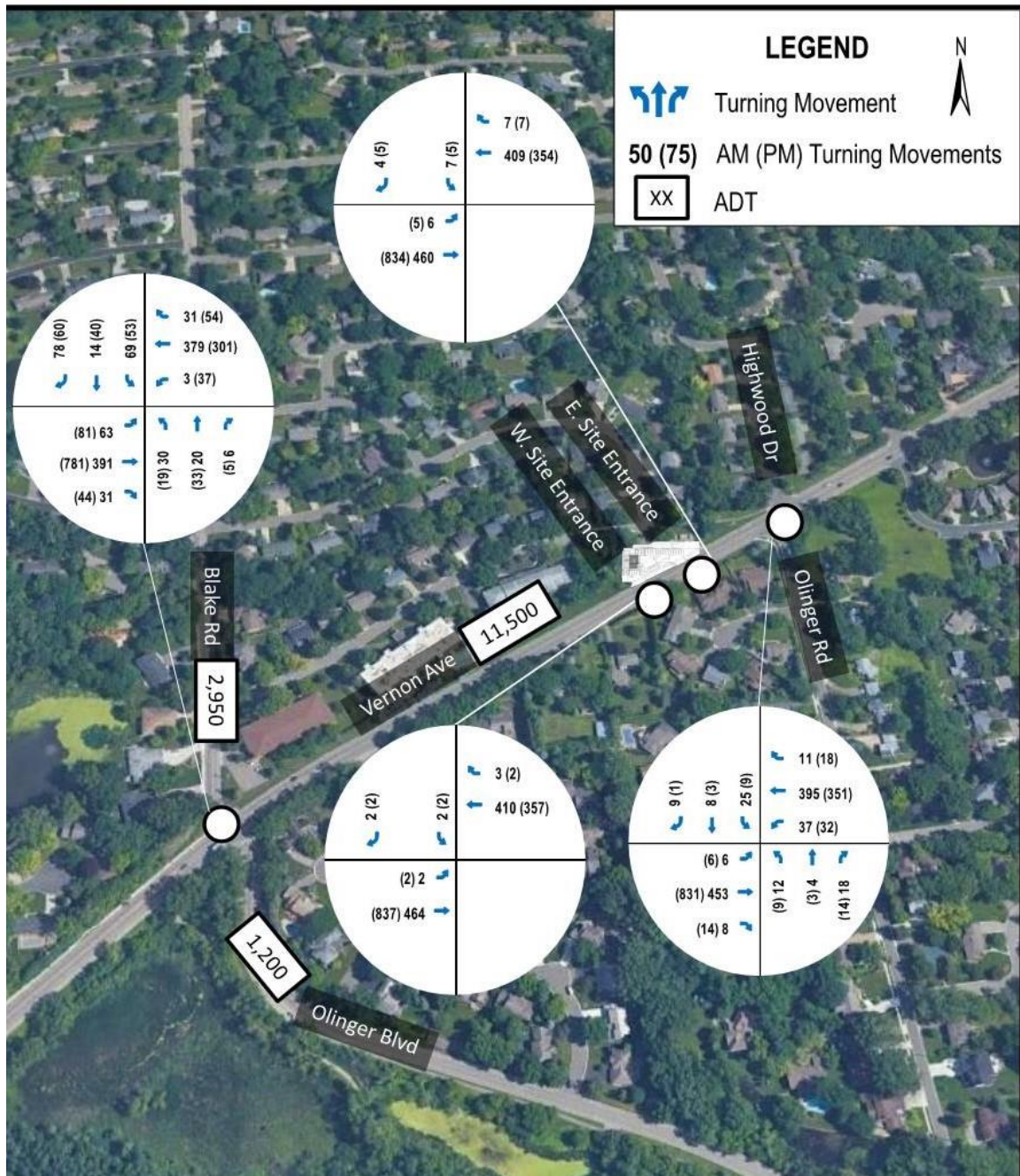


Figure 5 – 2030 Build Conditions



Traffic Operations Analysis

Existing and/or forecasted traffic operations were evaluated for the intersections and proposed site access in the study area. The analysis was conducted for the following scenarios.

1. Existing Conditions
2. Projected 2024 Build
3. Projected 2030 Build

The following sections describe the methodology used to assess the operations and provides a summary of traffic operations for each scenario.

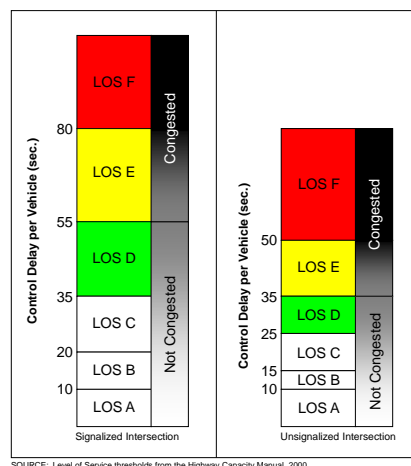
Methodology

The intersections in the study area were evaluated during the AM and PM peak hours using Synchro/SimTraffic micro simulation software. The results are derived from established methodologies documented in the Highway Capacity Manual (HCM). The software was used to evaluate the characteristics of the roadway network including lane geometrics, turning movement volumes, traffic control, and signal timing. In addition, the signal timing parameters for future year conditions were optimized using Synchro. This information was then transferred to SimTraffic, the traffic simulation model, to estimate average peak hour vehicle delays and queues. Due to the stochastic nature of the simulation models, there can be minor variations in the MOEs reported by the model between various runs.

One of the primary measures of effectiveness used to evaluate intersection traffic operations, as defined in the HCM, is Level of Service (LOS) – a qualitative letter grade, A – F, based on seconds of vehicle delay due to a traffic control device at an intersection. LOS A conditions represent high quality operations (i.e., motorists experience very little delay or interference) and LOS F conditions represent very poor operations (i.e., extreme delay or severe congestion). For side street stop intersections, the intersection LOS is reported as the worst side street movement.

Figure 6 depicts a graphical interpretation of delay times that define level of service. The delay thresholds are lower for un-signalized intersections than signalized intersections due to the public's perception of acceptable delays for different traffic controls as indicated in the HCM. In accordance with the Minnesota Department of Transportation (MnDOT) guidelines, this analysis used the LOS D/E boundary as an indicator of acceptable traffic operations.

Figure 6: LOS Ranges for Signalized and Un-signalized Intersections



LOS and other Measure of Effectiveness (MOEs) were calculated from the models and are discussed in the following sections for each analysis year.

Existing

Table 3 – Existing Traffic Operations shown below, summarizes the existing LOS and delays at the primary intersections in the study area based on the current lane geometry, traffic control and existing traffic volumes.

The analysis results show that all intersections are operating at overall LOS B or better during both the weekday AM and PM peak hours. In addition, all movements during the AM and PM peak hours are also operating at a LOS D or better.

Based on the queue analysis the only movements that have maximum queues that exceed existing storage lengths or block intersections, or driveways are:

- Eastbound Left turn from Vernon Avenue to Blake Road in the PM peak hour exceeds the existing storage by 24ft (one car length).
- Southbound approach backs up past first residential driveway in the PM peak hour.

Table 3 – Existing Traffic Operations

Control	Intersection	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec/veh)	LOS	Delay (sec/veh)
Signal	Vernon Ave (CSAH 158) at Blake Rd/Olinger Blvd	B (C)	13 (27)	B (D)	14 (36)
Thru-Stop	Vernon Ave (CSAH 158) at Olinger Rd/Highwood Dr	A (B)	1 (11)	A (C)	2 (19)

C = Overall LOS / Delay, (D) = Worst movement LOS / Delay

2024 Build

Table 4 – 2024 Build Traffic Operations shown below, summarizes the projected 2024 LOS and delays at the primary intersections in the study area assuming the current lane geometry and traffic control with the proposed site redevelopment traffic.

The analysis results show that similar to the existing conditions, all intersections including both site access driveways would operate at overall LOS B or better during both the weekday AM and PM peak hours. In addition, all movements during the AM and PM peak hours would operate at a LOS D or better.

Based on the queue analysis the movements that would still have maximum queues that exceed existing storage lengths or block intersections, or driveways with the 2024 Build condition are:

- Eastbound left turn from Vernon Avenue (CSAH 158) to Blake Road in the PM peak hour exceeds the existing storage by 25ft (one car length)
- Southbound Blake Road approach to Vernon Avenue (CSAH 158) backs up past first residential driveway in the PM peak hour

None of the site access driveways or adjacent street intersections would have queues that would be impacted.

Table 4 – 2024 Build Traffic Operations Summary

Control	Intersection	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec/veh)	LOS	Delay (sec/veh)
Signal	Vernon Ave (CSAH 158) at Blake Rd/Olinger Blvd	B (C)	13 (28)	B (D)	15 (36)
Thru-Stop	Vernon Ave (CSAH 158) at Olinger Rd/Highwood Dr	A (B)	1 (13)	A (C)	2 (21)
Thru-Stop	Vernon Ave (CSAH 158) at West Site Access	A (A)	1 (6)	A (A)	1 (9)
Thru-Stop	Vernon Ave (CSAH 158) at East Site Access	A (A)	1 (8)	A (B)	1 (13)

C = Overall LOS / Delay, (D) = Worst movement LOS / Delay

2030 Build Condition

Table 5 – 2030 Build Traffic Operations shown below, summarizes the projected 2030 LOS and delays at the primary intersections in the study area assuming the current lane geometry and traffic control with the proposed site redevelopment traffic.

The analysis results show that similar to the 2024 Build condition all intersections including the site access driveways would be operating overall LOS C or better during both the weekday AM and PM peak hours with all movements operating at LOS D or better, with only a slight increase in delay from the 2024 Build Condition.

Based on the queue analysis the movements that would still have maximum queues that exceed existing storage lengths or block intersections, or driveways with the 2030 Build condition are:

- Eastbound Left turn from Vernon Avenue to Blake Road in the PM peak hour exceeds the existing storage by 24ft (one car length)
- Westbound left turn from Vernon Avenue (CSAH 158) to Olinger Boulevard in the PM peak hour exceeds the existing storage by 8ft (one car length)
- Southbound Blake Road approach to Vernon Avenue (CSAH 158) backs up past first residential driveway in the PM peak hour

None of the site access driveways or adjacent street intersections would have queues that would be impacted.

Table 5 – 2030 Build Improved Traffic Operations Summary

Control	Intersection	AM Peak Hour		PM Peak Hour	
		LOS	Delay (sec/veh)	LOS	Delay (sec/veh)
Signal	Vernon Ave (CSAH 158) at Blake Rd/Olinger Blvd	B (C)	15 (32)	C (D)	22 (50)
Thru-Stop	Vernon Ave (CSAH 158) at Olinger Rd/Highwood Dr	A (C)	2 (16)	A (C)	2 (24)
Thru-Stop	Vernon Ave (CSAH 158) at West Site Access	A (B)	2 (10)	A (B)	2 (14)
Thru-Stop	Vernon Ave (CSAH 158) at East Site Access	A (B)	2 (13)	A (C)	2 (18)

C = Overall LOS / Delay, (D) = Worst movement LOS / Delay

MULTI MODAL REVIEW/ANALYSIS

Pedestrian/Bike System

The City's current 2040 Comprehensive Plan address's locations of existing and proposed sidewalk and bicycle facilities within the city. The proposed Sidewalk and Bicycle Facilities are shown in **Figure 7** and **Figure 8**. The City of Edina is committed to providing a comprehensive and coordinated pedestrian network that provides transportation as well as recreational value.

Currently there are several pedestrian and bike facilities that could be accessed from the proposed redevelopment site including:

- Bituminous sidewalk on the south side of Vernon Ave (CSAH 158) from east of Olinger Rd to Blake Rd, where it changes to a two-way trail to the west.
- Concrete sidewalk on the north side of Vernon Ave (CSAH 158) west of Blake Rd.
- Concrete sidewalk on the west side of Blake Rd north of Vernon Ave (CSH 158).
- Bituminous trail on the west side of Olinger Blvd south of Vernon Ave (CSAH 158)
- Bituminous trail on the north side of Vernon Ave (CSAH 158) from Highwood Dr to Eden Prairie Rd.
- Concrete sidewalk on the west side of Olinger Rd south of Vernon Ave (CSAH 158).
- On-road bike lane in both directions on Vernon Ave (CSAH 158)
- On-road bike lane in both direction on Olinger Blvd south of Vernon Ave (CSAH 158).
- On-road bike lane in both directions on Blake Rd north of Vernon Ave (CSAH 158).

The city's Comprehensive Plan identifies a new sidewalk on the north side of Vernon Avenue (CSAH 158) between Blake Road/Olinger Boulevard to Olinger Road/Highwood Drive adjacent to the proposed site (**Figure 7**). The Comprehensive Plan also identifies a proposed bike facility on Vernon Avenue (CSAH 158) which has been implemented (**Figure 8**).

Transit System

Transit service in the project area is provided by Metro Transit however, there is no bus service provided directly adjacent to the site along Vernon Avenue (CSAH 158). Currently the only route the area closest to the site is Route 46 which is a local bus route from Downtown St. Paul though south Minneapolis to Edina serving the 50th/France area and ending on Vernon Avenue (CSAH 158) west of TH 100 at Eden Avenue. The route operates during the weekdays, weekends, and holidays with 30 to 60-minute headways.

Figure 7: Proposed Sidewalk Facilities



Edina Comprehensive Plan
Edina, Minnesota

Figure 5.15. Proposed Sidewalk Facilities

January 2019

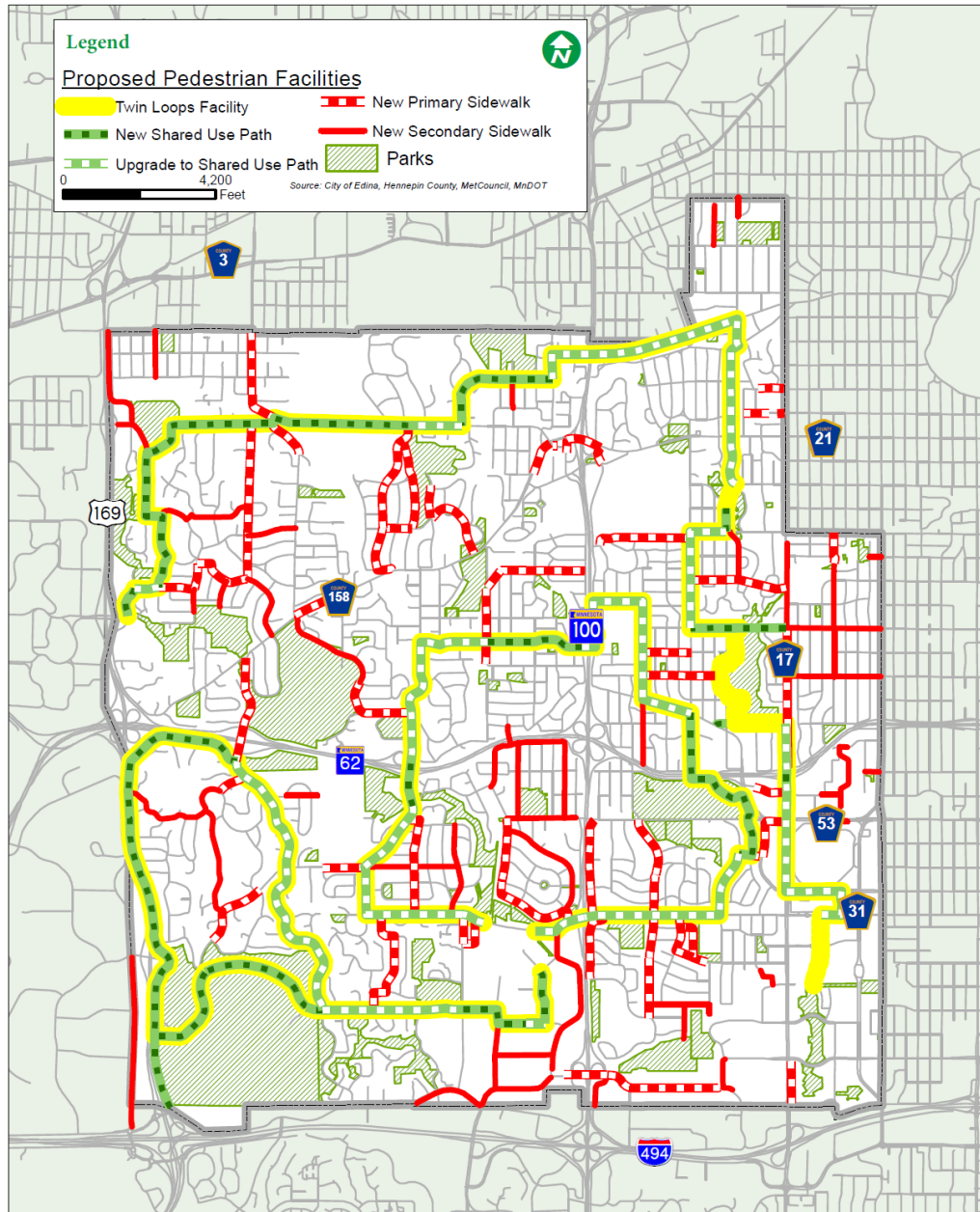
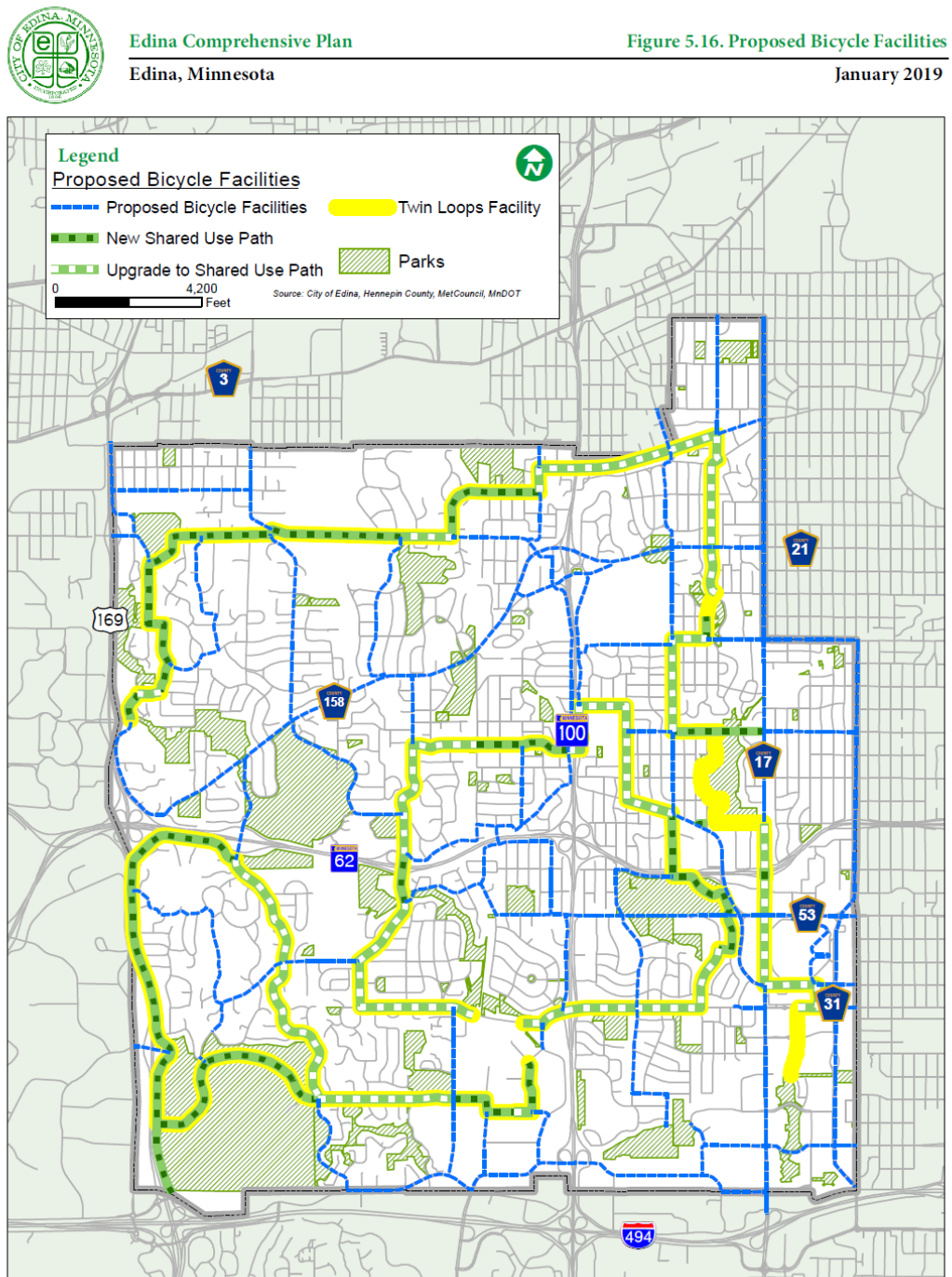


Figure 8: Proposed Bike Facilities



Parking Impact Analysis

The parking demand for the proposed site redevelopment was analyzed based on the anticipated uses on the site. Based on the current City Code the proposed development would require a total of 28 parking spaces. The current site plan includes 28 spaces. **Table 6** shows a breakdown of the parking required per City Code.

Table 6 – Parking Required per City Code

Use	Size	Rate	Parking Required	Parking Provided
Restaurant	69 Seats	1/3seats + employees (5) on max shift	28	28

Source: City of Edina

The parking demand was also analyzed based on industry standards. The parking generation rates used to estimate the parking demand was based on surveys of the parking generation for other similar land uses as documented in the Institute of Transportation Engineers *Parking Generation Manual*, 5th Edition.

Table 7 below shows the estimated parking generation rate and the anticipated peak parking demand on a typical weekday (Monday – Thursday), on a typical weekend Friday and on a typical Saturday. It shows that the peak parking demand for the site is on Friday or Saturday could be supported with 36 parking spaces. With the peak parking demand on Friday and with the proposed use, the assumption is that the restaurant would use all parking spaces available, therefore no reduction associated with “shared parking” can be taken.

Table 7 – Site Parking Demand per ITE

Use	Size	Weekday (Mon-Thur)		Friday		Saturday	
		Rate	Parking Required	Rate	Parking Required	Rate	Parking Required
Restaurant (ITE Code 931)	69 Seats	.52/seat	36	.47/seat	33	.46/seat	32

Source: Institute of Transportation Engineers *Parking Generation Manual*, 5th Edition

Based on the results of the parking demand analysis the parking included with the proposed site plan would meet City Code requirements, however it would not meet the guidelines based on industry standards. Four (4) to eight (8) additional parking spaces should be provided to meet this demand.

With any parking deficit, on-street parking in the neighborhood to the north on Eden Prairie Road would likely be used for overflow site parking. No Parking signing should be considered on Eden Prairie Road adjacent to the site. As an alternative to meet the industry standard guidelines the restaurant size would need to be reduced to 53 seats to get to the provided 28 spaces. **Table 8** shows the alternative parking demand.

Table 8 – Site Parking Demand Alternative

Use	Size	City Code		ITE Weekday (Mon-Thur)	
		Rate	Parking Required	Rate	Parking Required
Restaurant	53 Seats	1/3seats + employees on max shift	22	.52/seat	28

Travel Demand Management

The City of Edina has adopted a Travel Demand Management (TDM) policy that emphasis the reduction of vehicular trips on congested roadways during peak travel times. For the proposed 6016 Vernon Avenue site redevelopment, a Tier 2 Plan is required based on requirement “c” 20 or more parking stalls.

Tier 2 TDM plan is required when any of the following are met:

- a. Over 5,000 square feet of gross floor area;
- b. 10 or more residential units;
- c. 20 or more automobile parking stalls required by City Code; or
- d. Other development/redevelopment as required by Council condition

A Tier 2 Plan requires developers to demonstrate that proposed project is designed in ways that support TDM. This requires identifying strategies aimed at reducing employee and visitor traffic volumes, during peak travel hours. Based on the policy, the following shall be included in a Tier 2 TDM Plan:

Tier 2 TDM Plan shall include:

- a. Strategies, implementation measures and timeline. A minimum of three (3) unique strategies must be identified for implementation.
- b. Proposed total expenditures to implement the TDM strategies.

Based on these requirements **Table 9** outlines some recommended TDM strategies for the site that could be implemented by the developer:

Table 9 – TDM Strategies

Strategy	Implementation Measures	Timeline	Cost
Providing short-term bicycle parking spaces for restaurant patrons exceeding City requirements	<ul style="list-style-type: none"> • Include on site plan 	<ul style="list-style-type: none"> • With site plan approval • Construct with site improvements 	<ul style="list-style-type: none"> • TBD
Providing maps that show the area bus routes, light rail and bus schedules, and bicycle and pedestrian facilities.	<ul style="list-style-type: none"> • Create map or use available maps • Have available on Website and at restaurant 	<ul style="list-style-type: none"> • With occupancy 	<ul style="list-style-type: none"> • TBD
Directional signage/information for adjacent pedestrian, bicycle and transit facilities	<ul style="list-style-type: none"> • Include on site plan 	<ul style="list-style-type: none"> • With site plan approval • Construct with site improvements 	<ul style="list-style-type: none"> • TBD
Restricting freight deliveries to off peak hours to avoid traffic conflicts on adjacent roadways	<ul style="list-style-type: none"> • Coordination with vendors 	<ul style="list-style-type: none"> • Verification with occupancy • On-going 	<ul style="list-style-type: none"> • TBD

Conclusions / Recommendations

Based on the analysis documented in this memorandum, WSB offers the following conclusions and recommendations:

- The existing Kee's auto repair shop (6016 Vernon Avenue) located on Vernon Avenue (County State Aid Highway (CSAH) 158) west of Olinger Road/Highwood Drive is proposed to be remodeled and expanded.
- The site is proposed to include a new 69-seat restaurant that is expected to generate 180 daily, 11 AM peak hour and 21 PM peak hour trips. Access to the site will be maintained at the existing access locations on Vernon Avenue (CSAH 158). The current plan provides 28 parking spaces for the site.
- The crash data shows that only the Vernon Avenue (CSAH 158) at Blake Road/Olinger Boulevard intersection had reported crashes over the past 3 years. The intersection has a calculated crash rate and severity rate that is below the MnDOT Metro and Statewide average rates.
- The traffic operations analysis evaluated impacts for existing conditions and the horizon years of 2024 and 2030 for the local roadway network, specifically, the following intersections in the vicinity of the proposed site redevelopment:
 - Vernon Avenue (CSAH 158) at Blake Road/Olinger Boulevard
 - Vernon Avenue (CSAH 158) at Olinger Road/Highwood Drive
 - Vernon Avenue (CSAH 158) at East and West Site Driveway
- With the existing conditions based on the current lane geometry, traffic control and existing traffic volumes, the analysis results show that all intersections are operating at overall LOS B or better during both the weekday AM and PM peak hours with all movements also operating at a LOS D or better.
- With the 2024 Build and 2030 Build conditions assuming the current lane geometry and traffic control with the proposed site redevelopment traffic, the results show that all intersections including both site access driveways would operate at overall LOS B or better during both the weekday AM and PM peak hours with all movements operating at a LOS D or better.
- Based on the queue analysis the only movements that have maximum queues that exceed existing storage lengths or block intersections, or driveways are:
 - Eastbound Left turn from Vernon Avenue to Blake Road in the PM peak hour exceeds the existing storage by one car length – Beginning with the existing condition.
 - Westbound left turn from Vernon Avenue (CSAH 158) to Olinger Boulevard in the PM peak hour exceeds the existing storage by one car length – Only with the 2030 condition.
 - Southbound Blake Road approach to Vernon Avenue (CSAH 158) backs up past first residential driveway in the PM peak hour – Beginning with the existing condition.

No improvements are recommended at this time. However, these movements should be monitored as traffic in the area grows to determine if any improvements would be required in the future.

- The city's Comprehensive Plan identifies a new sidewalk on the north side of Vernon Avenue (CSAH 158) between Blake Road/Olinger Boulevard to Olinger Road/Highwood Drive.

The section of sidewalk adjacent to the redevelopment site should be completed with the proposed project.

- There is currently no transit bus service provided directly adjacent to the site along Vernon Avenue (CSAH 158). Currently the only route in the area closest to the site is Route 46 which has a bus stop on Vernon Avenue (CSAH 158) at Eden Avenue.

The city should work with Metro Transit to evaluate extending this route to serve the area between TH 100 and TH 62 along Vernon Avenue (CSAH 158).

- Based on the results of the parking demand analysis the parking included with the proposed site plan would meet City Code requirements however, it would not meet the guidelines based on industry standards. With this parking deficit, on-street parking in the neighborhood to the north on Eden Prairie Road would likely be used for overflow site parking.

No Parking signing should be installed on Eden Prairie Road. In addition, to meet industry standard guidelines, a minimum of 8 additional parking spaces should be provided with the site redevelopment or as an alternative the restaurant size could be reduced to 53 seats.

- The City of Edina has adopted a Travel Demand Management (TDM) Policy that requires developers to demonstrate that the proposed project is designed in ways that support TDM. This requires identifying strategies aimed at reducing employee and visitor traffic volumes, during peak travel hours. The proposed redevelopment site proposal would require a Tier 2 TDM Plan.

Based on the requirements some potential TDM strategies for the site that could be implemented by the developer include:

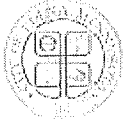
- ***Providing short-term bicycle parking spaces for restaurant patrons exceeding City requirements***
- ***Providing maps that show the area bus routes, light rail and bus schedules, and bicycle and pedestrian facilities.***
- ***Directional signage/information for adjacent pedestrian, bicycle and transit facilities***
- ***Restricting freight deliveries to off peak hours to avoid traffic conflicts on adjacent roadways***

If you have any questions or comments, please feel free to contact Chuck Rickart at (612).360.1283.

Cary Teague

From: Chad Millner
Sent: Friday, September 2, 2022 9:40 AM
To: Cary Teague; Andrew Scipioni
Subject: FW: [External] 6016 Vernon - Development Application
Attachments: Proposed Plans with signatures.pdf

FYI on county comments.



Chad Millner, Director of Engineering

952-826-0318 | Fax 952-826-0392
7450 Metro Blvd. | Edina, MN 55439
cmillner@EdinaMN.gov | EdinaMN.gov

Share your thoughts and ideas with the City online! Visit www.BetterTogetherEdina.org.

From: Jason D Gottfried <Jason.Gottfried@hennepin.us>
Sent: Friday, September 2, 2022 9:17 AM
To: Chad Millner <cmillner@EdinaMN.gov>
Cc: Ashley Morello <Ashley.Morello@hennepin.us>; Michael D Olmstead <Michael.Olmstead@hennepin.us>
Subject: RE: [External] 6016 Vernon - Development Application

EXTERNAL EMAIL ALERT: This email originated from outside the City of Edina. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Chad,

I was able to quickly circulate with our most relevant staff. Not surprisingly a lot of the original concerns we raised last Fall (21') were again cited. It would seem from our perspective that severing the parking lot in two, forcing the need for two driveways, should and could be avoided. Perhaps the patio could be located where the westerly parking lot is proposed? We would generally be hesitant to make extensive comments when a building is simply being renovated but this is more than that with all the parking lot work. The nature of the traffic for a restaurant is much different than for a car repair place. During the peak hour, there's going to be unfamiliar drivers vying for all those tight parking stalls and backups easily could extend onto Vernon, often in the peak afternoon rush. As proposed, the easternmost parking stalls are going to be most problematic, as it will be difficult to back out of the stalls without a ripple effect onto Vernon Ave. If anyone turning into the site from Vernon at the same time as someone backing out of a stall would block traffic on Vernon Ave. This 40mph section of Vernon is already an awkward place for confusing entrances and departures we again encourage the city and developer to exhaust all viable site configurations before retaining two access points.

Additionally, we anticipate a lot of pedestrian and bike activity here. Ideally sidewalk connections can be made to the north. We understand especially with the new Olde Vernon Townhomes development across the street there will be increasing demand for enhanced crossings of Vernon. We welcome further discussion with city staff a lot longer-term solutions.

Appreciate any further consideration. Happy to discuss in more detail at your convenience if preferred

Enjoy your holiday weekend!

Jason

Jason Gottfried

Transportation Planner
Transportation Planning

Office: 612-596-0394 Cell: 612-719-8073

jason.gottfried@hennepin.us

Hennepin County Public Works

1600 Prairie Drive

Medina, MN 55340

(working remotely)

From: Chad Millner cmillner@EdinaMN.gov

Sent: Thursday, September 1, 2022 8:15 AM

To: Jason D Gottfried <Jason.Gottfried@hennepin.us>

Subject: [External] 6016 Vernon - Development Application

CAUTION: This email was sent from outside of Hennepin County. Unless you recognize the sender and know the content, do not click links or open attachments.

Please get me comments in 9/6 if possible.

Thanks



Chad Millner, Director of Engineering

952-826-0318 | Fax 952-826-0392

7450 Metro Blvd. | Edina, MN 55439

cmillner@EdinaMN.gov | EdinaMN.gov

Share your thoughts and ideas with the City online! Visit www.BetterTogetherEdina.org.

Disclaimer: If you are not the intended recipient of this message, please immediately notify the sender of the transmission error and then promptly permanently delete this message from your computer system.

City of Edina Sustainable Construction Questionnaire

The City of Edina has set ambitious goals to reduce greenhouse gas emissions in the community. To help achieve these goals, developers seeking City approval must complete this form as part of their zoning application.

Upon receipt of this form, please email Sustainability Division lead, Grace Hancock, GHancock@edinamn.gov, to set up a time to walk through the form and discuss sustainable building strategies. Please email the completed form to Cary Teague, CTeague@edinamn.gov, and copy Grace Hancock.

Development Address: 6016 Vernon Ave. S		
Developer Applicant Name: Special X Properties		
Date: 09/05/2022		
Is the development seeking a PUD or City financing? See Sustainable Buildings Policy if so NO		
Topics	Answers Yes or No	Brief Description
Sustainable Design & Energy Consumption		
Will you utilize Xcel Energy's Energy Design Assistance or Energy Efficient Buildings, and/or Centerpoint Energy's Builder and Developer programs for this development?	yes	
Will the buildings meet SB2030 energy goals?	no	
Will the building be LEED certified?	no	
Will all appliances and equipment be Energy Star or EPA WaterSense certified?	no	
Will water heaters be electric or natural gas?	gas	
Will building heat be powered by electricity or natural gas?	electric	
Will different strategies to conserve energy (beyond those required by code) be included? If so, please describe	yes	Adaptive reuse of a building
Will there be renewable energy such as solar or wind be generated on site?	no	
Will the project include a geothermal system?	no	
Will the completed project subscribe to a community solar program or other renewable energy program?	no	
Will there be purchase of renewable energy credits (RECs)?	no	
Comments:		
Managing Storm Water		
What percent of the property is pervious surface before the redevelopment? What is the percent post development?	16% 8.5%	
What new surfaces will be pervious? (i.e. Sidewalks, driveways, overflow parking)	pavers	Possible permeable paving will replace some exist. asphalt
Will a green roof be included on the new structure to assist in storm water retention?	no	

City of Edina Sustainable Construction Questionnaire

Will rain gardens or similar features be included on site to filter and retain the storm water?	yes	See civil plans provided
Comments:		
Landscaping Features to Manage Air Quality and Heat Island Effect		
Will existing healthy trees be protected and saved?	yes	
What percent of the property is covered by tree canopy before redevelopment? What is the percent post development?	unknown	
Will you meet the current tree preservation and planting ordinance?	unknown	
Will shade trees be provided along roadways, drives and surface parking areas beyond those required by code?	yes	New trees will be planted
Will native plantings be used in the landscaping?	yes	
Will landscaping include pollinator-friendly varieties?	yes	
Will future owners and managers be trained in methods to avoid harmful chemicals being used on landscaping?	yes	
Comments:		
Managing Construction Waste		
Will demolition of existing structures meet LEED Green Building Demolition and/or B3 State of Minnesota Sustainable Building Guidelines ?	na	We are renovating an existing building.
Will existing building elements be salvaged for reuse? Example, timber, steel, asphalt, cabinets, etc.	yes	We will salvage viable materials
Are scrap and excess construction materials being separated and recycled?	yes	
Are workers provided with separate recycling dumpsters and training in proper use?	yes	Training but same dumpsters
Comments:		
Managing Operational Waste		
Will a recycling service be provided to those in the multifamily complex? To any businesses on site?	na	
Will an organic recycling service be provided to those in the multifamily complex? To any businesses on site?	na	
Will future users of the building be provided with education and training regarding proper recycling practices?	yes	
Comments:		
Managing Water Consumption		

City of Edina Sustainable Construction Questionnaire

Is the project including features to reduce water consumption beyond features required by code?		Unknown at this time
Is there a grey water system included to reuse water on site? Will future users of the building be provided with education and training regarding conservation of water?	no	
Will outdoor landscaping watering system include a water sensor to automatically reduce watering in wet conditions?	yes	
Comments:		
Sustainable Transportation Features		
Is the site accessible by public transit within ½ mile?	yes	
Are site features included to make the use of public transit convenient and simple? Examples include sheltered waiting areas, paved sidewalks and clear site lines.	no	
If there is no public transit within ½ mile, is the project providing features to help bridge the distance to allow flexibility to use public transit?	yes	
Is bike parking available near the main entrance for guests? Space in parking structure (e.g. bike corral, bike lockers) for residents' bikes?	yes	
Is bike parking and a shower facility provided for employees?	no	
Do you have EV Charging Stations for owners, guests or customers to use?	no	Not yet
Will there be parking spaces provided for car-sharing vehicles to reduce the overall number of cars?	no	They usually park in the normal spots

Updated June 2022

Survey Responses

Public Hearing Comments-6016 Vernon, Westside Cafe

Better Together Edina

Project: Public Hearing: 6016 Vernon Ave., Westside Café



VISITORS

853

CONTRIBUTORS

683

RESPONSES

684

4

Registered

0

Unverified

679

Anonymous

5

Registered

0

Unverified

679

Anonymous

**Respondent No:** 1**Login:** Anonymous**Email:** n/a**Responded At:** Aug 13, 2022 06:06:16 am**Last Seen:** Aug 13, 2022 06:06:16 am**IP Address:** n/a**Q1. First and Last Name**

Alan Reitz

Q2. Address

5125 West 59th Street Edina, MN 55436

Q3. Comment

I think that this would be a great idea for the neighborhood. There are many families that would benefit from a local eating establishment that could walk, bicycle or stop in rather than drive a distance for a meal. This also would expand the business tax base in our community. The plan proposers are a known entity that have proven concept in a community not far from Edina so we are dealing with entrepreneurs that are experienced and not a risky newbie. I am fully in favor of this development.

**Respondent No:** 2**Login:** Anonymous**Email:** n/a**Responded At:** Aug 15, 2022 17:08:15 pm**Last Seen:** Aug 15, 2022 17:08:15 pm**IP Address:** n/a**Q1. First and Last Name**

jeff and Connie Knapp

Q2. Address

6005 Eden Prairie Road, Apt 207, Edina, MN 55436

Q3. Comment

We are retired individuals who in the condominium to the immediate west of the property. There are currently three condominium buildings to the west of the property and east of Blake Road. Across Eden Prairie road to the North area a number of single family residences. The occupants of our condominium are, for the most part, retired individuals. The single family homes on the North side of Eden Prairie road are occupied primarily by families, many of whom have young children. The principal concern of the neighborhood is that, because of the limited number of parking spaces on the restaurant, that patrons of the restaurant and employees, will be parking on Eden Prairie Road. It is understood that the restaurant will be operating until 11:00 or 12:00 PM and intends to serve alcoholic beverages. The neighbors believe that having restaurant patrons who have consumed alcohol to be driving on a neighborhood street that quite frequently is used by young children on foot, on bicycles and scooters presents a danger. A second concern is that the restaurant, particularly the patio, will generate noises not compatible with the neighborhood late into the night. A third concern is the likelihood that cooking odors from the restaurant will permeate the neighborhood. A fourth concern is that refuse from the restaurant will attract undesirable creatures to the site. Breseden Park, a natural area, is only a block from the site. Denizens of that natural area will undoubtedly gravitate to the site to take advantage of any free meal that can be found. A sixth concern is that the restaurant property is not sufficiently separated from the East lawn of the Parkwood Condominiums. This area is used by residents of the condominium for gatherings. The plans for the property that include a cedar fence along the north side of the property should be modified to include an extension of the cedar fence along the western boundary of the restaurant property. The seventh concern is that the proposed new use of the property seems completely at odds with the surrounding residential zoning. Although there is no distance legend on the Edina Zoning Map, I am sure there is nothing other than residential zoning in either direction for at least one mile. I am sure this is because this property existed as a gas station a long time ago and was grandfathered in to what otherwise was a large residential area. Does this present a hardship to the current owners of the property, they knew this going into the acquisition of the property and did not protect themselves by making the acquisition contingent on the zoning change. So what else could the property be used for that would benefit the neighborhood without the negative impact of a restaurant. How about a day care center? How about a dry cleaning establishment? How about a coffee shop? There are several other uses that would benefit the community and not have the same negative impact as a restaurant. We are opposed to the plans for the property as presently submitted and encourage the council to deny the application.



Respondent No: 3

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 06:30:45 am

Last Seen: Aug 31, 2022 06:30:45 am

IP Address: n/a

Q1. **First and Last Name**

Nick Kennedy

Q2. **Address**

4908 Ridge Pl, Edina MN 55424

Q3. **Comment**

The west side of Edina desperately needs a gathering place like this. The closest restaurants are either 50th and France (where crime is on the rise) or Southdale area, both of which are 10+ minutes away. This would be a welcome addition to the area.



Respondent No: 4

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 06:51:24 am

Last Seen: Aug 31, 2022 06:51:24 am

IP Address: n/a

Q1. **First and Last Name**

Ryan Lund

Q2. **Address**

5213 Grove Street - Edina

Q3. **Comment**

I've lived in Edina for more than 30 years and fully support a restaurant at this location. This is a wonderful opportunity to add a community establishment where families and, friends and neighbors can get together. It will improve the neighborhood's vibrancy and its aesthetics.



Respondent No: 5

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:27:32 pm

Last Seen: Aug 31, 2022 14:27:32 pm

IP Address: n/a

Q1. **First and Last Name**

Paige Bagen

Q2. **Address**

6110 Oliver Ave S

Q3. **Comment**

We would love to see a cafe here! My parents live on Hawkes Drive- very close. And we would definitely be walking to a fun cafe spot!



Respondent No: 6

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:30:46 pm

Last Seen: Aug 31, 2022 14:30:46 pm

IP Address: n/a

Q1. **First and Last Name**

Eva and Wally Chapman

Q2. **Address**

5140 Kelsey Terrace

Q3. **Comment**

we would love to see a restaurant for neighbors to gather here, and to be able to walk to. We have so enjoyed Olives, and are hoping for this one to go through as well.



Respondent No: 7

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:38:53 pm

Last Seen: Aug 31, 2022 14:38:53 pm

IP Address: n/a

Q1. **First and Last Name**

Meg Garrett

Q2. **Address**

4821 Larkspur Lane, Edina, MN 55435

Q3. **Comment**

The proposed plans appear to be a huge improvemet over the current condition of the site.



Respondent No: 8

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:42:54 pm

Last Seen: Aug 31, 2022 14:42:54 pm

IP Address: n/a

Q1. **First and Last Name**

Sallie March

Q2. **Address**

4709 Townes Road

Q3. **Comment**

This looks like an excellent and thoughtful use of this piece of property. I would support the application.



Respondent No: 9

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:53:06 pm

Last Seen: Aug 31, 2022 14:53:06 pm

IP Address: n/a

Q1. **First and Last Name**

lee gough

Q2. **Address**

3430 List PI #1003

Q3. **Comment**

A local restaurant in the area would be wonderful, we have nothing close by and have to drive if we want to eat out.



Respondent No: 10

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:53:41 pm

Last Seen: Aug 31, 2022 14:53:41 pm

IP Address: n/a

Q1. **First and Last Name**

Janny Gothro

Q2. **Address**

6740 Chalice Court

Q3. **Comment**

Love the idea of a restaurant!



Respondent No: 11

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:54:31 pm

Last Seen: Aug 31, 2022 14:54:31 pm

IP Address: n/a

Q1. **First and Last Name**

angela chaffee

Q2. **Address**

4366 Mackey Ave

Q3. **Comment**

Please rezone!



Respondent No: 12

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:54:39 pm

Last Seen: Aug 31, 2022 14:54:39 pm

IP Address: n/a

Q1. **First and Last Name**

Keely Skahen

Q2. **Address**

6405 Doron Lane

Q3. **Comment**

Would love to see a restaurant here!



Respondent No: 13

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:55:10 pm

Last Seen: Aug 31, 2022 14:55:10 pm

IP Address: n/a

Q1. **First and Last Name**

Leilani Bloomquist

Q2. **Address**

5724 Russell Ave S

Q3. **Comment**

More local restaurants are welcomed!



Respondent No: 14

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:55:21 pm

Last Seen: Aug 31, 2022 14:55:21 pm

IP Address: n/a

Q1. **First and Last Name**

Roger Hauck

Q2. **Address**

6100 Westridge Blvd

Q3. **Comment**

Please make this happen. It's a rare opportunity to add badly needed eat out options in our neighborhood. Thanks!



Respondent No: 15

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:55:39 pm

Last Seen: Aug 31, 2022 14:55:39 pm

IP Address: n/a

Q1. **First and Last Name**

Lori Mertes

Q2. **Address**

5208 Doncaster Way

Q3. **Comment**

We live in the Highlands neighborhood. We would like to have more restaurants that are walkable to our neighborhood. This would be such a great addition. Please consider rezoning this area for a restaurant.



Respondent No: 16

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:55:42 pm

Last Seen: Aug 31, 2022 14:55:42 pm

IP Address: n/a

Q1. **First and Last Name**

Dan Jaooobe

Q2. **Address**

7309 Gleason Road, Edina 55439

Q3. **Comment**

I think the addition of a restaurant would be amazing at this location!



Respondent No: 17

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:55:50 pm

Last Seen: Aug 31, 2022 14:55:50 pm

IP Address: n/a

Q1. **First and Last Name**

Amy Gisslen

Q2. **Address**

6012 Leslee lane

Q3. **Comment**

I'm super excited about the prospect of having a food option so close by. In the NW portion of Edina we are rather limited as far as options and love the idea of having something within walking distance. In this day and age with increased work from home it's valuable to have options to consider so close by.



Respondent No: 18

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:56:35 pm

Last Seen: Aug 31, 2022 14:56:35 pm

IP Address: n/a

Q1. **First and Last Name**

Jerry Groven

Q2. **Address**

5716 Benton Ave Edina, MN 55436

Q3. **Comment**

This restaurant would be a great addition to our neighborhood. Please approve the new plan. It looks great!



Respondent No: 19

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:57:09 pm

Last Seen: Aug 31, 2022 14:57:09 pm

IP Address: n/a

Q1. **First and Last Name**

Elissa Bean

Q2. **Address**

6408 Parkwood Rd, Edina 55436

Q3. **Comment**

I am a lifelong resident of Edina and can wholeheartedly say that I only moved to the "westside" because our family of 7 needed the space that was offered by the larger homes and yards. I have always loved the Eastside more because of its walkability to so many amenities. It's a veritable deadzone of city life and access over here! Thank the Lord that Olive's opened but we need more please. The blight of a service station has been there since I was born 46 years ago. It's more than past due for a change. Please and thank you!



Respondent No: 20

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:57:27 pm

Last Seen: Aug 31, 2022 14:57:27 pm

IP Address: n/a

Q1. **First and Last Name**

Matthew Zechmann

Q2. **Address**

5717 Camelback Drive

Q3. **Comment**

I am in full support of this site becoming a restaurant for the community!



Respondent No: 21

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:57:30 pm

Last Seen: Aug 31, 2022 14:57:30 pm

IP Address: n/a

Q1. **First and Last Name**

Ralf Loeffelholz

Q2. **Address**

5912 Merold Drive, Edina

Q3. **Comment**

We are very much looking forward to have a hyper-local restaurant close by. We are in full support of the required zoning changes. The Loeffelholz family.



Respondent No: 22

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:58:54 pm

Last Seen: Aug 31, 2022 14:58:54 pm

IP Address: n/a

Q1. **First and Last Name** Alexander Pullen

Q2. **Address** 7005 Sally Ln

Q3. **Comment**

Adding a neighborhood restaurant to this side of town would be such a welcome change. We often frequent the Townhall Station near the Pamela Park neighborhood and have always said it would be great to have something within biking distance for us to enjoy as a family. This is exactly what we need to make this neighborhood even better!



Respondent No: 23

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 14:59:45 pm

Last Seen: Aug 31, 2022 14:59:45 pm

IP Address: n/a

Q1. **First and Last Name**

Chelsey Thurston

Q2. **Address**

5916 View Lane

Q3. **Comment**

We are excited for a new restaurant in our area. Please come to our neighborhood!



Respondent No: 24

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:01:11 pm

Last Seen: Aug 31, 2022 15:01:11 pm

IP Address: n/a

Q1. **First and Last Name**

Lauren and Ted Warner

Q2. **Address**

6005 Dewey Hill Road

Q3. **Comment**

We would love more dining options near home!



Respondent No: 25

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:03:48 pm

Last Seen: Aug 31, 2022 15:03:48 pm

IP Address: n/a

Q1. **First and Last Name**

Carolyn Berger

Q2. **Address**

5800 Dale Ave Edina 55436

Q3. **Comment**

I am in support of having a restaurant at 6016 Vernon as our neighborhood does not have enough food options nearby. I think it would be a huge benefit for residents to have somewhere to eat other than Davannis and Hilltop!



Respondent No: 26

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:03:59 pm

Last Seen: Aug 31, 2022 15:03:59 pm

IP Address: n/a

Q1. **First and Last Name**

Sara Friswold

Q2. **Address**

6008 Olinger Blvd

Q3. **Comment**

I would love to have a neighborhood restaurant to enjoy! Please let's make this happen.



Respondent No: 27

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:04:28 pm

Last Seen: Aug 31, 2022 15:04:28 pm

IP Address: n/a

Q1. **First and Last Name**

Wilmon Benson

Q2. **Address**

5250 Villa Way, Apt. 340

Q3. **Comment**

The only place in the Grandview area to get a nice meal is the Hilltop. The area needs more spots like that. Please approve zoning changes to the former Kee's cars space. My son and I would love to be able to bike down for dinner, and finish the night off with a ride around bre desen. Thanks



Respondent No: 28

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:05:59 pm

Last Seen: Aug 31, 2022 15:05:59 pm

IP Address: n/a

Q1. **First and Last Name**

Andrei & Paula Kittelson

Q2. **Address**

5205 West 48th St. Edina 55436

Q3. **Comment**

6106 Vernon: We have reviewed the re-zoning plan, and restaurant plan, and fully support this project to proceed. We would like a restaurant at this site as indicated in our initial vote. Please allow this restaurant project to proceed!!



Respondent No: 29

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:07:07 pm

Last Seen: Aug 31, 2022 15:07:07 pm

IP Address: n/a

Q1. **First and Last Name**

Nikki McLain

Q2. **Address**

3200 West 56th Street

Q3. **Comment**

Please make it a restaurant



Respondent No: 30

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:07:36 pm

Last Seen: Aug 31, 2022 15:07:36 pm

IP Address: n/a

Q1. **First and Last Name**

Nick van Goor

Q2. **Address**

6153 Arctic Way, Edina

Q3. **Comment**

Would love to have a community restaurant that we can walk or cycle to from our home with the kids.

**Respondent No:** 31**Login:** Anonymous**Email:** n/a**Responded At:** Aug 31, 2022 15:08:01 pm**Last Seen:** Aug 31, 2022 15:08:01 pm**IP Address:** n/a**Q1. First and Last Name**

Gretchen Cepek

Q2. Address

5409 Londonderry Road, Edina, MN 55436

Q3. Comment

My family and I are very supportive of having a restaurant in this location on Vernon Avenue. Westside Cafe will provide our neighborhood with a wonderful restaurant and gathering place which is sorely needed in this area of Edina. The owners have done a great job of listening to the suggestions and comments from the location's immediate neighbors and the updated plans showcase a thoughtful and accommodating approach that solidly benefits the neighborhood. Thank you.



Respondent No: 32

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:08:11 pm

Last Seen: Aug 31, 2022 15:08:11 pm

IP Address: n/a

Q1. **First and Last Name**

Grace Anderson-Smitley

Q2. **Address**

5800 Chowen Ave. S

Q3. **Comment**

I would appreciate it yes space could become a new family restaurant. It would be good for the community to rezone this location.



Respondent No: 33

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:09:42 pm

Last Seen: Aug 31, 2022 15:09:42 pm

IP Address: n/a

Q1. **First and Last Name**

Rebecca T Nye

Q2. **Address**

6313 Peacedale Av S Edina MN 55424

Q3. **Comment**

Please allow a restaurant to take the place of Kevin Kees. So sick of your plans to try and double the population of our city. It's obvious you do not care about the current residents of this city. No decent community center where we can gather in inclement weather like EP has. Centennial Lakes and Toslnd Park are great but not in cold snowy weather. So let us have some great restaurants at which to meet our neighbors. Town Hall Station is one example. Love how the Kevin Keys site proposal follows that example by repurposing the current building.



Respondent No: 34

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:12:04 pm

Last Seen: Aug 31, 2022 15:12:04 pm

IP Address: n/a

Q1. **First and Last Name**

Dina Goodman

Q2. **Address**

5825 Jeff Pl

Q3. **Comment**

Really excited to get a restaurant added!

**Respondent No:** 35**Login:** Anonymous**Email:** n/a**Responded At:** Aug 31, 2022 15:12:08 pm**Last Seen:** Aug 31, 2022 15:12:08 pm**IP Address:** n/a**Q1. First and Last Name**

Jennifer Klone

Q2. Address

5505 Malibu Dr, Edina, MN 55436

Q3. Comment

I am all for the rezoning of this area to allow for a restaurant. While I'm sure the former auto shop was a wonderful business, it was honestly an eyesore the entire 10 years I have lived in Edina. It often seemed neglected and more like a parking lot for run down cars; dare I say an automobile junk yard. I'm pleased an Edina family took ownership of this building and have plans to improve it's appearance and bring vitality back to this area. From the photos it looks like they are honoring the former business and restoring it's glory. I understand the uncertainty that many neighbors have surrounding this proposal. I once lived near a business, Savory's Gardens, while living at 5305 Whiting Ave in Edina. There were busy days with cars lined up on the streets overtaking our once quiet neighborhood, but nobody was rude. Nobody drove recklessly. Everyone treated the neighborhood with respect, because most likely they were from the area. I currently live in the Parkwood Knolls neighborhood. There are very few places to eat. We often end up going to Hopkins because it is closer. We'd love to keep our business in Edina, but 50th & France is on the other end of the city and with the upcoming bridge closure it won't get any easier. We'd love to have a local establishment to bring the community together.



Respondent No: 36

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:12:14 pm

Last Seen: Aug 31, 2022 15:12:14 pm

IP Address: n/a

Q1. **First and Last Name**

John Wanninger

Q2. **Address**

6509 Navaho Trail

Q3. **Comment**

We support this 1000%. What a great neighborhood amenity to walk or bike to, rather than getting into the car.



Respondent No: 37

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:15:35 pm

Last Seen: Aug 31, 2022 15:15:35 pm

IP Address: n/a

Q1. **First and Last Name**

Connie Landreville

Q2. **Address**

4521 Oxford Ave Edina MN 55436

Q3. **Comment**

we are for the cafe!



Respondent No: 38

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:15:40 pm

Last Seen: Aug 31, 2022 15:15:40 pm

IP Address: n/a

Q1. **First and Last Name**

Mark Masuda

Q2. **Address**

6112 Fox Meadow Lane, Edina MN. 55346-1217

Q3. **Comment**

I am highly supportive of a restaurant being built at 6016 Vernon Avenue as this will add to the quality of the neighborhood.



Respondent No: 39

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:18:02 pm

Last Seen: Aug 31, 2022 15:18:02 pm

IP Address: n/a

Q1. **First and Last Name**

Ruth Harvey

Q2. **Address**

6232 Knoll Drive Edina

Q3. **Comment**

I continue to support the creation of a restaurant on the former Kevin Kee's property. It will make our neighborhood livelier and give us a much needed dining option.



Respondent No: 40

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:18:43 pm

Last Seen: Aug 31, 2022 15:18:43 pm

IP Address: n/a

Q1. **First and Last Name**

Anna Hernandez

Q2. **Address**

6605 Field Way

Q3. **Comment**

I hope the city can make a restaurant work in this location! I would love to have a place where 'west-siders' can congregate and socialize. Feels like a great way to build bonds as a community!



Respondent No: 41

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:20:46 pm

Last Seen: Aug 31, 2022 15:20:46 pm

IP Address: n/a

Q1. **First and Last Name**

Lu Ann Carter

Q2. **Address**

5613 Gate Park Rd

Q3. **Comment**

We would love to see a restaurant in this location. I think the west side of Edina needs a neighborhood restaurant that can be easily walked or biked to



Respondent No: 42

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:20:58 pm

Last Seen: Aug 31, 2022 15:20:58 pm

IP Address: n/a

Q1. **First and Last Name**

Katie Crosby Lehmann

Q2. **Address**

5224 W 56th St. Edina

Q3. **Comment**

Please build restaurant! The plans look great.



Respondent No: 43

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:21:35 pm

Last Seen: Aug 31, 2022 15:21:35 pm

IP Address: n/a

Q1. **First and Last Name**

Andy Nelson

Q2. **Address**

4809 Rutledge Ave

Q3. **Comment**

Please allow for the re-zoning of the Kevin Kee's lot to accommodate a neighborhood restaurant



Respondent No: 44

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:21:39 pm

Last Seen: Aug 31, 2022 15:21:39 pm

IP Address: n/a

Q1. **First and Last Name**

Adam Miller

Q2. **Address**

6048 Olinger Circle, Edina, MN 55436

Q3. **Comment**

Please approve this proposal! We recently moved from the SW Minneapolis where we had several local spots like this that helped build a community and neighborhood feel. Losing access to all of these restaurants and coffee shops was the hardest part about leaving, and I can guarantee it would be a huge success! To have some place to walk to with our kids for a meal would be wonderful.



Respondent No: 45

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:23:10 pm

Last Seen: Aug 31, 2022 15:23:10 pm

IP Address: n/a

Q1. **First and Last Name**

Sonia Zechmann

Q2. **Address**

5717 Camelback Drive

Q3. **Comment**

I am very much in support of turning the old Kevin Kees auto body shop into a restaurant! I think will be amazing for the health of the parkwood knolls community, as we don't currently have a central meeting and gathering place!



Respondent No: 46

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:23:59 pm

Last Seen: Aug 31, 2022 15:23:59 pm

IP Address: n/a

Q1. **First and Last Name**

Earl H. Cohen

Q2. **Address**

6700 Field Way

Q3. **Comment**

We support a restaurant on this site



Respondent No: 47

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:24:08 pm

Last Seen: Aug 31, 2022 15:24:08 pm

IP Address: n/a

Q1. **First and Last Name**

Eric (Rick) Cabalka

Q2. **Address**

6108 Habitat Ct. S

Q3. **Comment**

A friendly restaurant there would be a tremendous addition to the neighborhood.



Respondent No: 48

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:27:07 pm

Last Seen: Aug 31, 2022 15:27:07 pm

IP Address: n/a

Q1. **First and Last Name**

Steve Pfefferle

Q2. **Address**

5900 Tamarac Lane

Q3. **Comment**

We need more neighborhood restaurants and bars to bring the community together. Done properly, we could all get to know our neighbors a little better, and isn't that just what we need a little more of now? The addition of Olives in the old lunch spot is a perfect example. Good food and a pub works. And if you can walk, bike or take a short ride, it feels like home! Please approve it. Thanks



Respondent No: 49

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:33:02 pm

Last Seen: Aug 31, 2022 15:33:02 pm

IP Address: n/a

Q1. **First and Last Name**

Kirstin Slaney

Q2. **Address**

6228 Knoll Drive, Edina

Q3. **Comment**

A restaurant would be a wonderful addition to this side of west Edina. Crime has increased everywhere and it is so important for community to be out, aware, and connecting with each other. Please DO NOT build anymore living apartments. The building in Edina is out of control and the density we will experience in the next few years due to horrible planning will be catastrophic to our town.



Respondent No: 50

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:38:26 pm

Last Seen: Aug 31, 2022 15:38:26 pm

IP Address: n/a

Q1. **First and Last Name**

Jason Thiss

Q2. **Address**

6744 Indian Way W

Q3. **Comment**

Would love to have a restaurant in this location!!



Respondent No: 51

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:38:46 pm

Last Seen: Aug 31, 2022 15:38:46 pm

IP Address: n/a

Q1. **First and Last Name**

Kirk Grandstrand

Q2. **Address**

7117 Gloucester Ave., Edina, MN

Q3. **Comment**

We need more small neighborhood restaurants



Respondent No: 52

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:41:47 pm

Last Seen: Aug 31, 2022 15:41:47 pm

IP Address: n/a

Q1. **First and Last Name**

Chuck Maday

Q2. **Address**

5616 Countryside Rd.

Q3. **Comment**

Given all the restaurants that have closed during Covid, it would be really nice to have a local one in the area. We live close by and would find it very convenient.



Respondent No: 53

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:43:24 pm

Last Seen: Aug 31, 2022 15:43:24 pm

IP Address: n/a

Q1. **First and Last Name**

Laura Thrane

Q2. **Address**

5828 Grove Street Edina, 55436

Q3. **Comment**

I welcome a neighborhood restaurant in walking distance. Please approve the plan and build as soon as possible!!!



Respondent No: 54

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:45:47 pm

Last Seen: Aug 31, 2022 15:45:47 pm

IP Address: n/a

Q1. **First and Last Name**

Shanna Hawkinson

Q2. **Address**

4817 aspasia Lane, edina 55435

Q3. **Comment**

Please approve the proposed restaurant. It will be a wonderful addition to the city.



Respondent No: 55

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:45:51 pm

Last Seen: Aug 31, 2022 15:45:51 pm

IP Address: n/a

Q1. **First and Last Name**

Trish Sieh

Q2. **Address**

227 Homedale Rd 55343

Q3. **Comment**

Completely in favor of this adaptive reuse, which will be a positive addition to the community, and believe the zoning can and should be adjusted accordingly.



Respondent No: 56

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:46:04 pm

Last Seen: Aug 31, 2022 15:46:04 pm

IP Address: n/a

Q1. **First and Last Name**

Mayank Jain

Q2. **Address**

6017 Leslee Ln, Edina, MN 55436

Q3. **Comment**

Stronly prefer a restaurant. Especially, given there are no good dining options in the area.



Respondent No: 57

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:46:13 pm

Last Seen: Aug 31, 2022 15:46:13 pm

IP Address: n/a

Q1. **First and Last Name**

Kelly Hauck

Q2. **Address**

6100 Westridge Blvd Edina

Q3. **Comment**

Please, please, create a gathering place for families to come together to enjoy and meal. This is what this community needs to come together and enjoy the company of people new and old. We don't need more housing - we need community gathering places.



Respondent No: 58

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:48:42 pm

Last Seen: Aug 31, 2022 15:48:42 pm

IP Address: n/a

Q1. **First and Last Name**

Kristen Angel

Q2. **Address**

4901 W 44th St

Q3. **Comment**

We are excited to have a food option in this area. There are no restaurants between Hilltop/Divanni's and Eden Prairie, especially if we want something casual on weeknights. This seems like a gem of a location and something special for neighbors to gather at.



Respondent No: 59

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:49:45 pm

Last Seen: Aug 31, 2022 15:49:45 pm

IP Address: n/a

Q1. **First and Last Name**

Dean Jahnke

Q2. **Address**

5516 Chantrey Road

Q3. **Comment**

Cafe' Restaurant



Respondent No: 60

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:50:29 pm

Last Seen: Aug 31, 2022 15:50:29 pm

IP Address: n/a

Q1. **First and Last Name**

Kathleen Carter

Q2. **Address**

4500 Vandervork Avenue Edina

Q3. **Comment**

We would love to see a restaurant at this location. We often walk Bredeson and would appreciate a location for dining either before or after

**Respondent No:** 61**Login:** Anonymous**Email:** n/a**Responded At:** Aug 31, 2022 15:52:40 pm**Last Seen:** Aug 31, 2022 15:52:40 pm**IP Address:** n/a**Q1. First and Last Name**

Dylan Eastman

Q2. Address

6300 Loch Moor Drive

Q3. Comment

We would absolutely love a restaurant at the former Kevin Kee's spot! As does everybody that lives around here. It'd be nice to have a nearby estaurant option for Edina residents that may not live close to 50th & France or Southdale, nor want to deal with the traffic to get to those spots at peak hours. Nobody that actually lives around here wants subsidized multi-family housing, everybody knows it. Please listen to the residents for once. I don't know what goes into city planning but I know I'm one of thousands who are sick of the city and/or Met Council forcing things in our city that nobody wants.



Respondent No: 62

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:54:45 pm

Last Seen: Aug 31, 2022 15:54:45 pm

IP Address: n/a

Q1. **First and Last Name**

Stacy Solow

Q2. **Address**

6919 Moccasin Valley Rd, Edina, 55439

Q3. **Comment**

I would love to see a restaurant put into this space. This would be a terrific addition to the area as there are not very many restaurants in Edina west of Highway 100.



Respondent No: 63

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 15:56:16 pm

Last Seen: Aug 31, 2022 15:56:16 pm

IP Address: n/a

Q1. **First and Last Name**

Tracy Pekarek

Q2. **Address**

6604 Biscayne Blvd., Edina

Q3. **Comment**

I think a restaurant would best suit this location and the residents of the Northwest side of Edina. I live nearby and would appreciate a local dining option on Vernon. The plans appear well suited to the location and frankly provide a better aesthetic than the previous business (Kevin Lee's garage). My family would be excited to support a new restaurant on this location.



Respondent No: 64

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:02:09 pm

Last Seen: Aug 31, 2022 16:02:09 pm

IP Address: n/a

Q1. **First and Last Name**

Wade Kram

Q2. **Address**

5409 Londonderry Rd, Edina MN 55436

Q3. **Comment**

This restaurant option would be a great addition to our neighborhood. Someplace walkable is just another great benefit!



Respondent No: 65

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:06:45 pm

Last Seen: Aug 31, 2022 16:06:45 pm

IP Address: n/a

Q1. **First and Last Name**

Erik Tropple

Q2. **Address**

5213 Birchcrest Drive, Edina MN 55436

Q3. **Comment**

I 100% support a restaurant in this location.



Respondent No: 66

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:07:53 pm

Last Seen: Aug 31, 2022 16:07:53 pm

IP Address: n/a

Q1. **First and Last Name**

Julie Zimmerman

Q2. **Address**

5228 Lochloy Drive

Q3. **Comment**

I would love to see a restaurant here.



Respondent No: 67

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:09:36 pm

Last Seen: Aug 31, 2022 16:09:36 pm

IP Address: n/a

Q1. **First and Last Name**

Jan H. Tanghe

Q2. **Address**

6109, Blake Circle Edina , Mn ,55436.

Q3. **Comment**

A restaurant in this location would be a great addition on Vernon avenue.



Respondent No: 68

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:12:54 pm

Last Seen: Aug 31, 2022 16:12:54 pm

IP Address: n/a

Q1. **First and Last Name**

Andy Leming

Q2. **Address**

6613 Scandia road

Q3. **Comment**

I would like it rezoned as a restaurant and bar



Respondent No: 69

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:18:43 pm

Last Seen: Aug 31, 2022 16:18:43 pm

IP Address: n/a

Q1. **First and Last Name**

Polly Norman

Q2. **Address**

4905 Lakeview Dr

Q3. **Comment**

I vote for a restaurant.



Respondent No: 70

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:18:59 pm

Last Seen: Aug 31, 2022 16:18:59 pm

IP Address: n/a

Q1. **First and Last Name**

Jennifer Moak

Q2. **Address**

6208 Westridge Blvd

Q3. **Comment**

Every Edina resident I've spoken to agrees this property should be rezoned as a restaurant. A place where the community can gather - like the good ole days at Corelli's! Not approving the rezoning request (that residents are so clearly demanding) will continue to show that you don't actually represent RESIDENTS, but your own selfish agenda.



Respondent No: 71

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:28:19 pm

Last Seen: Aug 31, 2022 16:28:19 pm

IP Address: n/a

Q1. **First and Last Name**

Heather Conrad

Q2. **Address**

5500 Highland Road

Q3. **Comment**

I support the development of a restaurant at this location.



Respondent No: 72

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:30:29 pm

Last Seen: Aug 31, 2022 16:30:29 pm

IP Address: n/a

Q1. **First and Last Name**

Dan and Jeanne McCarthy

Q2. **Address**

6613 Field Way Edina MN 55436

Q3. **Comment**

We would love to have a restaurant in the neighborhood that we can walk to.



Respondent No: 73

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:30:57 pm

Last Seen: Aug 31, 2022 16:30:57 pm

IP Address: n/a

Q1. **First and Last Name**

Jackie Eastman

Q2. **Address**

6216 Parkwood Rd.

Q3. **Comment**

Hello ! My husband and I live on Parkwood Rd and have lived her for 27 years . We are very excited at the prospect of having a restaurant within walking distance - just a little taste of what the residents experience in the Country Club. Our corner of Edina has very few restaurants and we would be very excited about this ! We hope you will support this venture .



Respondent No: 74

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:33:35 pm

Last Seen: Aug 31, 2022 16:33:35 pm

IP Address: n/a

Q1. **First and Last Name**

Megan Fitzgerald

Q2. **Address**

5217 Kellogg Ave Edina MN 55424

Q3. **Comment**

Totally think a restaurant is the right thing there. Would be so charming and add some character to that area. Love the idea and in full support!



Respondent No: 75

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:41:31 pm

Last Seen: Aug 31, 2022 16:41:31 pm

IP Address: n/a

Q1. **First and Last Name**

Lyndsay Bates

Q2. **Address**

6004 Tracy Ave

Q3. **Comment**

We are in support of a new restaurant in this site



Respondent No: 76

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:48:02 pm

Last Seen: Aug 31, 2022 16:48:02 pm

IP Address: n/a

Q1. **First and Last Name**

Elizabeth Leming

Q2. **Address**

6613 Scandia Road

Q3. **Comment**

We love the idea of having a neighborhood joint. Edina had a lot of housing in that area, and no food options, it would be a great boon to the neighborhood



Respondent No: 77

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:51:08 pm

Last Seen: Aug 31, 2022 16:51:08 pm

IP Address: n/a

Q1. **First and Last Name**

Colin Peterson

Q2. **Address**

5804 Hidden Lane, Edina 55436

Q3. **Comment**

For the past 30 or so years I have always thought this site would be well-suited for a restaurant. Edina needs more non-chain restaurants spread throughout the city. Restaurants like Hilltop and Town Hall Station are extremely popular and this restaurant would no doubt be just as popular. Many examples in S. Mpls of successful restaurants on sites / buildings like this. This should be approved immediately to add an amenity to an area of the city where it is lacking and removing an eyesore from a major roadway in Edina.



Respondent No: 78

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:51:12 pm

Last Seen: Aug 31, 2022 16:51:12 pm

IP Address: n/a

Q1. **First and Last Name**

Jody Japs-Jung

Q2. **Address**

6217 Schaefer Circle, Edina, MN 55436

Q3. **Comment**

Westside Cafe would be a great addition to the neighborhood and area.



Respondent No: 79

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:55:20 pm

Last Seen: Aug 31, 2022 16:55:20 pm

IP Address: n/a

Q1. **First and Last Name** Monica Ansems

Q2. **Address** 4907

Q3. **Comment**

A restaurant there is a fabulous idea! We need more Local family establishments. A place where teams can gather after a game, families can go out for dinner together or mom friends can catch up. We are lacking in places like this where we can make memories with our friends and families. or reminisce about raising our children in this great community. A restaurant in that location bridges the west and East edina communities. Approving this would be one of the better decisions made



Respondent No: 80

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:55:24 pm

Last Seen: Aug 31, 2022 16:55:24 pm

IP Address: n/a

Q1. **First and Last Name**

John Lohmann

Q2. **Address**

5220 w 56th st

Q3. **Comment**

Please approve this project. The NW quadrant needs more options like this.



Respondent No: 81

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:55:27 pm

Last Seen: Aug 31, 2022 16:55:27 pm

IP Address: n/a

Q1. **First and Last Name**

Anne Griffiths

Q2. **Address**

4713 Hibiscus Ave.

Q3. **Comment**

I like the idea. I think housing would bring more congestion while a restaurant would bring more of a community gathering space. Owners are an Edina family with small kids of their own, which I think makes it that more of a community feel.



Respondent No: 82

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:56:32 pm

Last Seen: Aug 31, 2022 16:56:32 pm

IP Address: n/a

Q1. **First and Last Name**

Russell G Freeman

Q2. **Address**

5700 View Lane

Q3. **Comment**

My family is very excited about the opportunity to have a neighborhood restaurant within walking distance from our home



Respondent No: 83

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:57:34 pm

Last Seen: Aug 31, 2022 16:57:34 pm

IP Address: n/a

Q1. **First and Last Name**

Angie Freeman

Q2. **Address**

5700 View Lane

Q3. **Comment**

I fully support the proposal to establish a restaurant on the Kevin Kees site. I think it would be a great amenity for the city and our neighborhood. Wonderful to have a restaurant we can walk to. Thank you!



Respondent No: 84

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 16:59:33 pm

Last Seen: Aug 31, 2022 16:59:33 pm

IP Address: n/a

Q1. **First and Last Name** Jenny Chapman

Q2. **Address** 5721 Kemrich Drive

Q3. **Comment**

I am in full support of a restaurant at this location. We need more restaurants and less apartments. And especially on the west side of town. We would fully support this and would be good for the community.



Respondent No: 85

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:00:41 pm

Last Seen: Aug 31, 2022 17:00:41 pm

IP Address: n/a

Q1. **First and Last Name**

Deb mccracken

Q2. **Address**

5041 park terr

Q3. **Comment**

I strongly support rezoning for the Westside Cafe. It would be a great addition to our community.



Respondent No: 86

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:02:37 pm

Last Seen: Aug 31, 2022 17:02:37 pm

IP Address: n/a

Q1. **First and Last Name**

Carol Chamberlain

Q2. **Address**

6516 Stauder Circle

Q3. **Comment**

I would LOVE a restaurant there. It looks well planned and listened to feedback.

**Respondent No:** 87**Login:** Anonymous**Email:** n/a**Responded At:** Aug 31, 2022 17:02:44 pm**Last Seen:** Aug 31, 2022 17:02:44 pm**IP Address:** n/a**Q1. First and Last Name**

Kristi schon

Q2. Address

5400 Highwood Dr W Edina 55436

Q3. Comment

I really hope the city will support a restaurant venue at this location. I think the plans are beautifully done and respectful of nearby residents (of which I am one). Walkability to places like this for community connection and socializing is good for all of us and badly needed in this part of our city. We are inundated with multi-family housing right now and I strongly oppose this site for that use. The restaurant option is ideal, strongly supported by so many, and will be enjoyed for many years to come. Please support this restaurant initiative. Thank you.



Respondent No: 88

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:07:19 pm

Last Seen: Aug 31, 2022 17:07:19 pm

IP Address: n/a

Q1. **First and Last Name**

Jennifer Garvin

Q2. **Address**

5205 Mirror Lakes Drive Edina, 55436

Q3. **Comment**

I would love to see the Westside Cafe come to life. As someone who lives nearby, I would love to have a restaurant that we could bike or walk to. I love that this company wants to invest in the community and create a gathering spot for westside residents. I would love to see more opportunities like this be supported by our city government- it looks better and is better for the community that what was previously on the land. I give my full support for the project. Thank you.



Respondent No: 89

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:08:29 pm

Last Seen: Aug 31, 2022 17:08:29 pm

IP Address: n/a

Q1. **First and Last Name**

Channing Schmidt

Q2. **Address**

5701 Parkwood Lane

Q3. **Comment**

I love the idea of having the Westside Cafe in the neighborhood.



Respondent No: 90

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:13:35 pm

Last Seen: Aug 31, 2022 17:13:35 pm

IP Address: n/a

Q1. **First and Last Name**

Virginia Grant

Q2. **Address**

5612 Grove Street

Q3. **Comment**

The old Kevin Kee's site needs to become a restaurant. One is desperately needed in this area.



Respondent No: 91

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:17:34 pm

Last Seen: Aug 31, 2022 17:17:34 pm

IP Address: n/a

Q1. **First and Last Name**

Melissa Atkinson

Q2. **Address**

5136 Valley View Road

Q3. **Comment**

Love having great restaurant options in our community to bring friends and family together. Just as we love Town Hall, we would love to see another great neighborhood restaurant on the west side.

**Respondent No:** 92**Login:** Anonymous**Email:** n/a**Responded At:** Aug 31, 2022 17:19:02 pm**Last Seen:** Aug 31, 2022 17:19:02 pm**IP Address:** n/a**Q1. First and Last Name**

Mary Schoen

Q2. Address

6228 Parkwood Rd

Q3. Comment

The west side of Edina is sorely in need of neighborhood restaurants that can be reached by foot or bike and where friends and neighbors can easily gather. Understandably so due to it being "Edina's Downtown", the east side of Edina has a plethora of dining and gathering options. The west side of Edina has but one (and Davannis and Hilltop are hardly west side. This imbalance of establishments is a cue this project should proceed. Please allow this Kevin Kees project to proceed — for our community.



Respondent No: 93

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:19:31 pm

Last Seen: Aug 31, 2022 17:19:31 pm

IP Address: n/a

Q1. **First and Last Name**

Joanna Rohlfisen

Q2. **Address**

6650 Parkwood Rd

Q3. **Comment**

The community would love to support the opportunity to walk to a family friendly restaurant. There are multiple gas stations and car repair places right down the block and the city is already invested in housing. Please bring something like restaurant to this space!



Respondent No: 94

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:20:14 pm

Last Seen: Aug 31, 2022 17:20:14 pm

IP Address: n/a

Q1. **First and Last Name**

Ryan Breisach

Q2. **Address**

7216 Fleetwood Drive

Q3. **Comment**

This is a fantastic reuse of this site! We need more restaurant and community gathering sites in SW Edina.



Respondent No: 95

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:25:04 pm

Last Seen: Aug 31, 2022 17:25:04 pm

IP Address: n/a

Q1. **First and Last Name**

Sara Sauter

Q2. **Address**

6809 Hillside Lane

Q3. **Comment**

I would love to see a restaurant at 6016 Vernon. I truly believe there is a great demand for more neighborhood gathering places and that the restaurant would be a welcome addition to that area of Edina.



Respondent No: 96

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:25:32 pm

Last Seen: Aug 31, 2022 17:25:32 pm

IP Address: n/a

Q1. **First and Last Name**

John Kreger

Q2. **Address**

5524 Upton Ave S Minneapolis MN 55410

Q3. **Comment**

It would be great to see this turned into a community restaurant location. I drive Vernon every day on my way home and more restaurant options for dinner would be great!



Respondent No: 97

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:25:36 pm

Last Seen: Aug 31, 2022 17:25:36 pm

IP Address: n/a

Q1. **First and Last Name**

Alyssa Malinski

Q2. **Address**

6620 Londonderry Drive

Q3. **Comment**

A restaurant establishment would be so beneficial to the west side of Edina!



Respondent No: 98

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:26:06 pm

Last Seen: Aug 31, 2022 17:26:06 pm

IP Address: n/a

Q1. **First and Last Name**

Janet Skalicky

Q2. **Address**

6105 Blake Circle

Q3. **Comment**

There are very few restaurants in this area. We would welcome one at this site. It's time to start listening to the people who live here who clearly support a restaurant. Edina has way too many housing developments in progress, it's time to stop



Respondent No: 99

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:26:39 pm

Last Seen: Aug 31, 2022 17:26:39 pm

IP Address: n/a

Q1. **First and Last Name**

Haley Howard

Q2. **Address**

5100 Valley View Rd

Q3. **Comment**

Would be SO SO excited if this became a restaurant. We need more restaurants on this side of Edina



Respondent No: 100

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:26:41 pm

Last Seen: Aug 31, 2022 17:26:41 pm

IP Address: n/a

Q1. **First and Last Name**

Linda Muehlbauer

Q2. **Address**

5505 Glengarry Parkway

Q3. **Comment**

Unlike Edina residents in Morningside, west side residents currently have limited walkable restaurant options. The Westside cafe would be an excellent, walkable option for local customers and employees.



Respondent No: 101

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:27:12 pm

Last Seen: Aug 31, 2022 17:27:12 pm

IP Address: n/a

Q1. **First and Last Name**

Daria Adams

Q2. **Address**

6015 View Lane

Q3. **Comment**

I think a restaurant at 6016 Vernon would be fabulous!!



Respondent No: 102

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:30:11 pm

Last Seen: Aug 31, 2022 17:30:11 pm

IP Address: n/a

Q1. **First and Last Name**

Daniel J. Cragg

Q2. **Address**

4917 Arden Ave

Q3. **Comment**

I fully support the rezone for a restaurant.



Respondent No: 103

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:31:15 pm

Last Seen: Aug 31, 2022 17:31:15 pm

IP Address: n/a

Q1. **First and Last Name**

Danya Spencer

Q2. **Address**

6100 Blake Ridge Road

Q3. **Comment**

I support the rezoning of the proposed restaurant. I think it will be a great addition to my neighborhood.



Respondent No: 104

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:32:00 pm

Last Seen: Aug 31, 2022 17:32:00 pm

IP Address: n/a

Q1. **First and Last Name**

Brian Patty

Q2. **Address**

6105 Blake Circle, Edina MN 55436

Q3. **Comment**

We need more restaurants within our community! Every neighborhood in Edina should have a restaurant within walking distance. What a great way to engender a sense of community and belonging.



Respondent No: 105

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:33:12 pm

Last Seen: Aug 31, 2022 17:33:12 pm

IP Address: n/a

Q1. **First and Last Name**

Todd Watchmaker

Q2. **Address**

5816 Vernon Lane

Q3. **Comment**

I think a small restaurant as planned would be a nice addition to the neighborhood.



Respondent No: 106

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:33:42 pm

Last Seen: Aug 31, 2022 17:33:42 pm

IP Address: n/a

Q1. **First and Last Name** Anja Tamoschat

Q2. **Address** 6117 Arctic Way

Q3. **Comment**

I am excited for the site to be active with a neighborhood cafe. Right now, the location/parking lot seems more like a poorly supervised potential point for criminal activities. And looking into a future of less combustion motor driven cars, a change in zoning is the right thing to do for the future of our area. Plus, youths are looking forward to having a meeting place to be in walking distance.



Respondent No: 107

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:34:11 pm

Last Seen: Aug 31, 2022 17:34:11 pm

IP Address: n/a

Q1. **First and Last Name**

Teresa Weiby

Q2. **Address**

6105 Code Ave, Edina

Q3. **Comment**

It would be great to have a neighborhood restaurant this side of the city. It is sorely lacking and would be a great addition and attraction.



Respondent No: 108

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:34:24 pm

Last Seen: Aug 31, 2022 17:34:24 pm

IP Address: n/a

Q1. **First and Last Name**

Danielle spurgeon

Q2. **Address**

6224 parkwood road edina mn 55436

Q3. **Comment**

We believe a family owned restaurant would strengthen our community and bring a desired venue for local families to socialize.



Respondent No: 109

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:35:46 pm

Last Seen: Aug 31, 2022 17:35:46 pm

IP Address: n/a

Q1. **First and Last Name**

Chris Johnson

Q2. **Address**

6220 Idylwood Lane

Q3. **Comment**

This is a great idea! A family neighborhood restaurant we can walk to is exactly what we need. The site has been an eye sore and underutilized since I was a kid in Parkwood Knolls. Everyone that I have spoken to is in favor, I have yet to meet anyone opposed. Please approve the re-zoning. Chris Johnson



Respondent No: 110

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:36:27 pm

Last Seen: Aug 31, 2022 17:36:27 pm

IP Address: n/a

Q1. **First and Last Name**

Kristen Zwieg

Q2. **Address**

5232 Lochloy Drive, Edina MN 55436

Q3. **Comment**

Please allow for a restaurant here! We would love it as an option in the neighborhood. Thanks!



Respondent No: 111

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:37:54 pm

Last Seen: Aug 31, 2022 17:37:54 pm

IP Address: n/a

Q1. **First and Last Name**

Heather Lund

Q2. **Address**

5213 Grove Street

Q3. **Comment**

A restaurant in the previous Kevin Kee's would be an asset to the Edina community. We have limited restaurants on the West side of Edina that are walking/biking distance for families from nearby neighborhoods. It would provide a meeting spot for community members of all ages and provides an opportunity to support Edina citizens who are business owners versus opening their businesses in neighboring communities.



Respondent No: 112

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:38:30 pm

Last Seen: Aug 31, 2022 17:38:30 pm

IP Address: n/a

Q1. **First and Last Name**

Lisa Rothgeb

Q2. **Address**

7113 Fleetwood Dr

Q3. **Comment**

I'm in full support of a restaurant for the Kevin Kees site. This site seem ideal and I feel it would be a great addition to the neighborhood!



Respondent No: 113

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:42:47 pm

Last Seen: Aug 31, 2022 17:42:47 pm

IP Address: n/a

Q1. **First and Last Name**

Macey Reynolds

Q2. **Address**

5601 Highland Rd

Q3. **Comment**

Restaurant, Please!!



Respondent No: 114

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:45:24 pm

Last Seen: Aug 31, 2022 17:45:24 pm

IP Address: n/a

Q1. First and Last Name

Briana Reenshuler

Q2. Address

6432 Margaret's Ln.

Q3. Comment

Western Edina could use a good restaurant! I have been impressed with this company's commitment to ensure the proposed restaurant meets the needs of as many community members as possible. As a west Edina resident, a restaurant on this site would really go a long way in bringing the community together. It is such a great location, and will be the only restaurant that is walkable and/or bikeable for residents in this area. I strongly endorse the proposal.



Respondent No: 115

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:50:22 pm

Last Seen: Aug 31, 2022 17:50:22 pm

IP Address: n/a

Q1. **First and Last Name**

Angela Chambliss

Q2. **Address**

5524 Malibu drive

Q3. **Comment**

Please allow this to become a restaurant or cafe! We would really appreciate it! No more multi- family please!! More already going up and it's not good!



Respondent No: 116

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:51:00 pm

Last Seen: Aug 31, 2022 17:51:00 pm

IP Address: n/a

Q1. **First and Last Name**

Lisa Jahnke

Q2. **Address**

5813 Olinger Road Edina, Mn

Q3. **Comment**

We are excited about the new plans for the Kevin Kees site. We feel a restaurant will be a nice addition at the existing location.



Respondent No: 117

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:51:12 pm

Last Seen: Aug 31, 2022 17:51:12 pm

IP Address: n/a

Q1. **First and Last Name**

Pat Kelly

Q2. **Address**

5605 St Andrews Ave, Edina

Q3. **Comment**

I think adding another small, family owned restaurant to Edina is a great idea!



Respondent No: 118

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:52:50 pm

Last Seen: Aug 31, 2022 17:52:50 pm

IP Address: n/a

Q1. **First and Last Name**

Amy Daleiden

Q2. **Address**

5024 Park Terrace

Q3. **Comment**

Please allow the cafe to be built and provide rezoning! This will enhance the neighborhood and be popular w families in the neighborhood. The west side is lacking restaurant options. It would be wonderful to walk/ bike to a restaurant spot. Plans look great and accommodations are appropriate. Thank you!



Respondent No: 119

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:55:02 pm

Last Seen: Aug 31, 2022 17:55:02 pm

IP Address: n/a

Q1. **First and Last Name** Matt Brumbaugh

Q2. **Address** 5800 South Drive

Q3. **Comment**

Would be great to have a neighborhood restaurant in walking distance - for all the talk about bike trails and not being dependent on vehicles the city should be in favor of well-designed businesses that cater to local residents being located nearby and not only in a few parts of town.



Respondent No: 120

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:58:34 pm

Last Seen: Aug 31, 2022 17:58:34 pm

IP Address: n/a

Q1. **First and Last Name**

Emily Doherty

Q2. **Address**

5004 Skyline Dr

Q3. **Comment**

West Edina is lacking what East Edina has — wonderful restaurants in walking distance. Our community wants this!



Respondent No: 121

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 17:58:45 pm

Last Seen: Aug 31, 2022 17:58:45 pm

IP Address: n/a

Q1. **First and Last Name**

David Hamel

Q2. **Address**

5820 Lyle Circle

Q3. **Comment**

This is a great spot for a nice little restaurant. The times have changed and the time is now to re-zone this spot and have it be something other than a car repair shop. When Walter Kunz owned that spot and John Mantas fixed cars up there it was a great little business owned by an Edina resident who did a great job taking care of the neighborhood. There were rose gardens up on the property that Walter Kunz took care of because he cared for the community. I believe that if he were alive today he would be in favor of this plan/proposal. Let's do something different. Let's eat.



Respondent No: 122

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:03:47 pm

Last Seen: Aug 31, 2022 18:03:47 pm

IP Address: n/a

Q1. **First and Last Name**

Joanne anderson

Q2. **Address**

6236 knoll drive edina mn 55436

Q3. **Comment**

Restaurant for sure



Respondent No: 123

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:04:10 pm

Last Seen: Aug 31, 2022 18:04:10 pm

IP Address: n/a

Q1. **First and Last Name**

Jamie Glover

Q2. **Address**

7201 Fleetwood Dr

Q3. **Comment**

The west side of Edina currently has very few restaurant options, and generally very few community 'gathering' spaces. We love meeting up with neighbors at Wooden Hill Brewery, as it feels like it's a special place unique to our neighborhood -- a small business, not a chain. So when I heard about the potential for this site to be re-purposed as a restaurant, I got excited -- I would love another restaurant option! Currently, when we want to go out to dinner at a small, independently owned restaurant, we often have to venture to Minneapolis. Let's support the idea of more neighborhood nodes in Edina, more small independently owned businesses, and more places for residents to enjoy without needing to leave the city.



Respondent No: 124

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:07:12 pm

Last Seen: Aug 31, 2022 18:07:12 pm

IP Address: n/a

Q1. **First and Last Name**

Emily Bierman

Q2. **Address**

6112 Kaymar Drive Edina MN 55436

Q3. **Comment**

We moved to the neighborhood this year and are thrilled at the idea of having a restaurant at this site. This part of town has minimal options to gather for food and community and we believe this is the perfect opportunity to introduce such a place to the area. We have young kids and would love this type of business to be within walking distance of our home. We hope that the Planning Commission will support the owners in the rezoning of 6106 Vernon to support the construction of a restaurant. Thank you for your time and consideration.



Respondent No: 125

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:08:05 pm

Last Seen: Aug 31, 2022 18:08:05 pm

IP Address: n/a

Q1. **First and Last Name**

Erin Schmidtke

Q2. **Address**

5809 W 61st St

Q3. **Comment**

we would love to have a neighborhood restaurant!!!



Respondent No: 126

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:15:17 pm

Last Seen: Aug 31, 2022 18:15:17 pm

IP Address: n/a

Q1. **First and Last Name**

Nicole Ollhoff

Q2. **Address**

305 Grove Place

Q3. **Comment**

I fully support the proposal to add a restaurant on Vernon. This side of Edina lacks restaurant and social gathering spaces. The current site is an eyesore and the property outline in this proposal would be a welcomed addition to the neighborhood.



Respondent No: 127

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:17:34 pm

Last Seen: Aug 31, 2022 18:17:34 pm

IP Address: n/a

Q1. **First and Last Name**

Melanie Shelburne

Q2. **Address**

5117 Tifton Drive

Q3. **Comment**

We would definitely love to see a restaurant on that site.



Respondent No: 128

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:21:20 pm

Last Seen: Aug 31, 2022 18:21:20 pm

IP Address: n/a

Q1. **First and Last Name** Theresa Williams

Q2. **Address** 5725 Lois Lane

Q3. **Comment**

We need more community restaurants that make our community a place to stay for good food and a great gathering place for our neighbors! Please approve Westside Cafe so we have great spots for great food and we don't have to drive out of Edina for this!



Respondent No: 129

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:21:40 pm

Last Seen: Aug 31, 2022 18:21:40 pm

IP Address: n/a

Q1. **First and Last Name**

Koren Hawknelson

Q2. **Address**

4809 Rutledge Ave

Q3. **Comment**

Restaurant please



Respondent No: 130

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:24:41 pm

Last Seen: Aug 31, 2022 18:24:41 pm

IP Address: n/a

Q1. **First and Last Name**

Jenni Bennett

Q2. **Address**

5200 chantrey road

Q3. **Comment**

we would love a local cafe in our neighborhood! It would look far better than the current establishment and would be a good community hub. we fully support the site being transitioned to a restaurant.



Respondent No: 131

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:26:10 pm

Last Seen: Aug 31, 2022 18:26:10 pm

IP Address: n/a

Q1. **First and Last Name**

Jordan Haag

Q2. **Address**

5038 green farms road Edina mn

Q3. **Comment**

Definitely vote for a neighborhood restaurant!



Respondent No: 132

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:29:15 pm

Last Seen: Aug 31, 2022 18:29:15 pm

IP Address: n/a

Q1. **First and Last Name**

Kathryn Reddin

Q2. **Address**

6533 Cherokee Trail

Q3. **Comment**

A restaurant would be an amazing addition to this location! The plans look amazing! The considerations for the neighborhood have all been addressed! This project needs to move forward!



Respondent No: 133

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:33:10 pm

Last Seen: Aug 31, 2022 18:33:10 pm

IP Address: n/a

Q1. **First and Last Name**

Brad Hepp

Q2. **Address**

6442 Margaret's Lane

Q3. **Comment**

I support a restaurant developed at this location.



Respondent No: 134

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:33:32 pm

Last Seen: Aug 31, 2022 18:33:32 pm

IP Address: n/a

Q1. **First and Last Name**

Lisa Brown

Q2. **Address**

6105 Lincoln Drive

Q3. **Comment**

The plans look amazing.



Respondent No: 135

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:41:08 pm

Last Seen: Aug 31, 2022 18:41:08 pm

IP Address: n/a

Q1. **First and Last Name**

Abby Heidemann

Q2. **Address**

5409 Grove St, Edina, MN 55436

Q3. **Comment**

Please let these builders build this restaurant! It would be a GREAT addition to west Edina.



Respondent No: 136

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:44:28 pm

Last Seen: Aug 31, 2022 18:44:28 pm

IP Address: n/a

Q1. **First and Last Name**

Joanna Roth

Q2. **Address**

6 Spur Road, Edina

Q3. **Comment**

We would like a restaurant, the traffic around Jerry's cannot handle any more housing



Respondent No: 137

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:51:45 pm

Last Seen: Aug 31, 2022 18:51:45 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Travis

Q2. **Address**

4432 Garrison Lane Edina

Q3. **Comment**

I would love to see this site turned into a restaurant. West Edina is a food desert! We need a neighbor restaurant on that side of town.



Respondent No: 138

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:53:30 pm

Last Seen: Aug 31, 2022 18:53:30 pm

IP Address: n/a

Q1. **First and Last Name**

Michelle grey

Q2. **Address**

5221 Abercrombie Drive

Q3. **Comment**

Would love to see a local non chain restaurant in the space



Respondent No: 139

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 18:57:05 pm

Last Seen: Aug 31, 2022 18:57:05 pm

IP Address: n/a

Q1. **First and Last Name**

Linda Wright

Q2. **Address**

6705 Field Way

Q3. **Comment**

I think the restaurant proposal, if meeting the zoning guidelines, would be an asset to the area.



Respondent No: 140

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:01:03 pm

Last Seen: Aug 31, 2022 19:01:03 pm

IP Address: n/a

Q1. **First and Last Name**

Jules Geisler

Q2. **Address**

6421 Biscayne Blvd

Q3. **Comment**

We have lived in the neighborhood since 2008 and ask you to please amend the zoning to allow this restaurant. It would be a perfect use of the space and would greatly add to the character of the neighborhood. Everyone is sick of driving by and seeing the old abandoned auto shop. This process has taken way too much time! And West Edina has a great demand for more restaurants - Look at how well Olives is doing.



Respondent No: 141

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:01:06 pm

Last Seen: Aug 31, 2022 19:01:06 pm

IP Address: n/a

Q1. **First and Last Name**

Jen Lundquist

Q2. **Address**

6000 Tracy Ave

Q3. **Comment**

I think a restaurant in this location would be a wonderful and needed addition to the community.



Respondent No: 142

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:05:35 pm

Last Seen: Aug 31, 2022 19:05:35 pm

IP Address: n/a

Q1. **First and Last Name**

mark kouatli

Q2. **Address**

5209 grove st

Q3. **Comment**

There should be a restaurant here. The fearless leadership of the Davis and Collins family should spearhead this initiative.



Respondent No: 143

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:07:40 pm

Last Seen: Aug 31, 2022 19:07:40 pm

IP Address: n/a

Q1. **First and Last Name**

Jason Stockwell

Q2. **Address**

5229 Duncraig Rd, Edina MN 55436

Q3. **Comment**

Hi, i would love to see a restaurant here for the neighborhood and area. thx jason stockwell, exp realty



Respondent No: 144

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:11:23 pm

Last Seen: Aug 31, 2022 19:11:23 pm

IP Address: n/a

Q1. **First and Last Name**

Peter Komarek

Q2. **Address**

6225 Knoll Drive

Q3. **Comment**

I very much would like to see a restaurant on the site (former Kevin Keys repair shop). We live in the neighborhood and my wife and I would value having a restaurant we could walk to throughout the year.



Respondent No: 145

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:11:50 pm

Last Seen: Aug 31, 2022 19:11:50 pm

IP Address: n/a

Q1. **First and Last Name**

Cassie Anderson

Q2. **Address**

7012 Sally Lane

Q3. **Comment**

Restaurant



Respondent No: 146

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:15:31 pm

Last Seen: Aug 31, 2022 19:15:31 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Zurn

Q2. **Address**

6209 idylwood lane

Q3. **Comment**

I'd like to have a restaurant!



Respondent No: 147

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:15:35 pm

Last Seen: Aug 31, 2022 19:15:35 pm

IP Address: n/a

Q1. **First and Last Name**

Silke Stevens

Q2. **Address**

5603 Benton ave

Q3. **Comment**

We as a family are very excited about this development. This side of edina has not much to offer and it was always a weird spot for a car shop. This new place could breathe some new live into the area just like townhall station did. I like that they don't change the look much and keep it smaller. I think this will solve the parking issue as well. Small capacity restaurant. Consider bringing rentable scooters back, Edina, that would solve the parking issue. Perfect spot for it and fitting design.



Respondent No: 148

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:17:29 pm

Last Seen: Aug 31, 2022 19:17:29 pm

IP Address: n/a

Q1. **First and Last Name**

Tara Bryan

Q2. **Address**

5605 Gate Park Road, Edina, MN

Q3. **Comment**

We support this site to become a community/neighborhood restaurant. It can become a place to build community and encourage neighbors to gather. We support this 100%.



Respondent No: 149

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:19:45 pm

Last Seen: Aug 31, 2022 19:19:45 pm

IP Address: n/a

Q1. **First and Last Name**

Mari Bellmont

Q2. **Address**

5725 Ewing Ave S

Q3. **Comment**

Would love to see another independently owned restaurant in Edina.



Respondent No: 150

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:21:54 pm

Last Seen: Aug 31, 2022 19:21:54 pm

IP Address: n/a

Q1. **First and Last Name**

Amelia Svenningsen

Q2. **Address**

6149 Arctic way Edina, MN 55436

Q3. **Comment**

Want a restaurant please!



Respondent No: 151

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:23:53 pm

Last Seen: Aug 31, 2022 19:23:53 pm

IP Address: n/a

Q1. **First and Last Name**

Amanda Varley

Q2. **Address**

4504 Brookside avenue, Edina, MN 55436

Q3. **Comment**

I fully support Westside Cafe in the Kee's auto repair space. Restaurants are community gathering spaces and promote relationship building, and attract potential home buyers. My friends in the direct neighborhood are thrilled with the potential and I look forward to patronizing Westside Cafe. Mixed use communities are a hallmark of neighborhood development.



Respondent No: 152

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:27:58 pm

Last Seen: Aug 31, 2022 19:27:58 pm

IP Address: n/a

Q1. **First and Last Name**

Josie Fontana

Q2. **Address**

6349 Josephine Ave Edina 55439

Q3. **Comment**

A restaurant in this neighborhood would be amazing! I used to live near here and would've really appreciated more dining options within walking distance.



Respondent No: 153

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:29:24 pm

Last Seen: Aug 31, 2022 19:29:24 pm

IP Address: n/a

Q1. **First and Last Name**

Michelle Eigner

Q2. **Address**

4602 Casco Ave, Edina

Q3. **Comment**

A restaurant on this site would be a great addition to the neighborhood and the City of Edina! There are plenty of auto repair shops and car washes within a stones throw!



Respondent No: 154

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:31:35 pm

Last Seen: Aug 31, 2022 19:31:35 pm

IP Address: n/a

Q1. **First and Last Name**

Elizabeth Jensen

Q2. **Address**

5704 Camelback Drive

Q3. **Comment**

I think a cafe at this location would be a great addition to the neighborhood!



Respondent No: 155

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:33:40 pm

Last Seen: Aug 31, 2022 19:33:40 pm

IP Address: n/a

Q1. **First and Last Name**

Nancy Purdum-Hall

Q2. **Address**

4501 parkside lane

Q3. **Comment**

We would love to have this spot for a restaurant



Respondent No: 156

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:34:04 pm

Last Seen: Aug 31, 2022 19:34:04 pm

IP Address: n/a

Q1. **First and Last Name**

Alyssa Warren

Q2. **Address**

5925 View Lane

Q3. **Comment**

I'm thrilled at the prospect of a neighborhood restaurant where we can gather with others in the community. I fully support this idea, and will be disappointed for our neighborhood if it does not work out.



Respondent No: 157

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:34:24 pm

Last Seen: Aug 31, 2022 19:34:24 pm

IP Address: n/a

Q1. **First and Last Name**

Natalie Burns

Q2. **Address**

4116 Sunnyside Road

Q3. **Comment**

A restaurant would benefit the Edina community in a good way. Right off Vernon is the perfect spot.



Respondent No: 158

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:37:19 pm

Last Seen: Aug 31, 2022 19:37:19 pm

IP Address: n/a

Q1. **First and Last Name**

Jessica Welk

Q2. **Address**

5219 Iarada lane

Q3. **Comment**

Restaurant is the best use for this lot the area needs a neighborhood restaurant



Respondent No: 159

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:37:26 pm

Last Seen: Aug 31, 2022 19:37:26 pm

IP Address: n/a

Q1. **First and Last Name** Camille Flanagan

Q2. **Address** 4216 w 44th st

Q3. **Comment**

Having a restaurant in that location would benefit the families in the area, the senior citizens and teens who lost their gathering spot when Perkins was torn down. Having a casual option that's friendly, accessible on foot, bike or vehicle and affordable is a real asset.



Respondent No: 160

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:39:59 pm

Last Seen: Aug 31, 2022 19:39:59 pm

IP Address: n/a

Q1. **First and Last Name**

Shilpa Guthikonda

Q2. **Address**

5525 Dundee Rd

Q3. **Comment**

I've been wishing for a more walkable neighborhood and so happy to think this could finally happen! Can't wait to "walk" to dinner!



Respondent No: 161

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:40:44 pm

Last Seen: Aug 31, 2022 19:40:44 pm

IP Address: n/a

Q1. **First and Last Name**

Kellie Brazil

Q2. **Address**

7027 McCauley Trail

Q3. **Comment**

Please make gas station space a restaurant



Respondent No: 162

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:44:42 pm

Last Seen: Aug 31, 2022 19:44:42 pm

IP Address: n/a

Q1. **First and Last Name**

Pam Nordahl

Q2. **Address**

5421 Countryside Rd, Edina

Q3. **Comment**

We wholeheartedly support this restaurant concept. It adds a sense of community in this neighborhood



Respondent No: 163

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:53:41 pm

Last Seen: Aug 31, 2022 19:53:41 pm

IP Address: n/a

Q1. **First and Last Name**

David Berghult

Q2. **Address**

6628 Parkwood Road

Q3. **Comment**

It seems to the most logical choice for this site is a neighborhood dining establishment. There are very few choices of places to eat out on the west side of Edina. This would be an ideal location. Gas stations and low income housing is not needed in the space. Dining locations build community and create relationships.



Respondent No: 164

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:54:47 pm

Last Seen: Aug 31, 2022 19:54:47 pm

IP Address: n/a

Q1. **First and Last Name**

Hugh R. Cameron

Q2. **Address**

5816 Merold Drive

Q3. **Comment**

We own a single-family house in Countryside and support the rezoning and variance proposal of West Side Cafe. It would be awesome to have a restaurant to walk to! Countryside is a wonderful neighborhood, but if there is one downside it is that there is no restaurant within walking distance. We urge the restauranteurs and City to find compromise that enables a restaurant to move forward.



Respondent No: 165

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 19:55:27 pm

Last Seen: Aug 31, 2022 19:55:27 pm

IP Address: n/a

Q1. **First and Last Name**

Carrie carroll

Q2. **Address**

6125 Scotia

Q3. **Comment**

Vote Yes in favor of Westside Cafe! I love the plan



Respondent No: 166

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:02:35 pm

Last Seen: Aug 31, 2022 20:02:35 pm

IP Address: n/a

Q1. **First and Last Name**

Steve Thomas

Q2. **Address**

6128 Scotia Dr

Q3. **Comment**

This would be wonderful to have in the neighborhood, anything local to the area is always a treat! Please do what is needed as that site is zoned for something that wouldn't be used



Respondent No: 167

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:03:29 pm

Last Seen: Aug 31, 2022 20:03:29 pm

IP Address: n/a

Q1. **First and Last Name**

Eunice Groschen

Q2. **Address**

6224 Sandpiper Court

Q3. **Comment**

I am not in favor of this zoning change. I don't think a restaurant is a good use of the space. I hope the city is not trying to insert commercial/retail into a neighborhood of homes and multi-family housing. Not a good choice.



Respondent No: 168

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:06:32 pm

Last Seen: Aug 31, 2022 20:06:32 pm

IP Address: n/a

Q1. **First and Last Name**

Natalia Luedtke

Q2. **Address**

5601 Hawkes Drive

Q3. **Comment**

I think the rezoning from PCD 4 to PCD 1 is an appropriate use for this location. I would rather this space be used as a restaurant and cafe than a gas station or car repair shop. I think it is beneficial to have more amenities that can be accessed by foot or by bike in Edina and I look forward to the continued progression of this project.



Respondent No: 169

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:06:47 pm

Last Seen: Aug 31, 2022 20:06:47 pm

IP Address: n/a

Q1. **First and Last Name**

Mary-Megan Ehrmantraut

Q2. **Address**

6405 Willow Wood Road

Q3. **Comment**

We would love a restaurant in the neighborhood.



Respondent No: 170

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:07:46 pm

Last Seen: Aug 31, 2022 20:07:46 pm

IP Address: n/a

Q1. **First and Last Name** Todd Schnell

Q2. **Address** 5712 Melody Ln

Q3. **Comment**

Please do not put another soulless multi-residential home onto an undersized plot. Doesn't Edina have enough of those going up already? A neighborhood restaurant and gathering location would be a much preferable addition to this location.. Please make a smart, and the right, decision for once.



Respondent No: 171

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:08:34 pm

Last Seen: Aug 31, 2022 20:08:34 pm

IP Address: n/a

Q1. **First and Last Name**

Mauricio Raigosa

Q2. **Address**

5605 warden ave

Q3. **Comment**

I support the opening of this restaurant, there are not many options in this part of Edina, and a restaurant will help bring this community together



Respondent No: 172

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:15:27 pm

Last Seen: Aug 31, 2022 20:15:27 pm

IP Address: n/a

Q1. **First and Last Name**

Cory Griffeth

Q2. **Address**

6615 Parkwood Lane, Edina

Q3. **Comment**

Absolutely put a restaurant here. Huge need and would be a welcome addition. The votes tell you what the community wants. And needs!!



Respondent No: 173

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:20:59 pm

Last Seen: Aug 31, 2022 20:20:59 pm

IP Address: n/a

Q1. **First and Last Name**

Sara Voigts

Q2. **Address**

5813 W 61st St, Edina

Q3. **Comment**

A great bikeable location near Bredesen Park and the regional trail. We are in support of the cafe.



Respondent No: 174

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:28:30 pm

Last Seen: Aug 31, 2022 20:28:30 pm

IP Address: n/a

Q1. **First and Last Name**

Bridget Mastroianni

Q2. **Address**

6019 Walnut Drive

Q3. **Comment**

Having a place we can walk or ride bikes to with our kids would be so amazing! We so love our neighborhood but there's nothing in walking distance, except Olives which we love! This would be an incredible addition to this side of Edina and would bring business back to the city so we don't have to go to adjacent cities for a good bite!



Respondent No: 175

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:40:12 pm

Last Seen: Aug 31, 2022 20:40:12 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Hawes

Q2. **Address**

5227 Green Farms Road

Q3. **Comment**

My family is looking forward to a fun little neighborhood restaurant. Can't wait!



Respondent No: 176

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:47:58 pm

Last Seen: Aug 31, 2022 20:47:58 pm

IP Address: n/a

Q1. **First and Last Name**

Carlos Madrigal

Q2. **Address**

5717 Schaefer Rd, edina MN, 55436

Q3. **Comment**

Supportive of this project! This will be a great addition to our neighborhood and community. Looking forward to having a neighborhood restaurant



Respondent No: 177

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:52:08 pm

Last Seen: Aug 31, 2022 20:52:08 pm

IP Address: n/a

Q1. **First and Last Name**

Jenny Morrow

Q2. **Address**

6141 Sherman Circle

Q3. **Comment**

I support the restaurant and would be very excited to have a restaurant in that location.



Respondent No: 178

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 20:54:21 pm

Last Seen: Aug 31, 2022 20:54:21 pm

IP Address: n/a

Q1. **First and Last Name**

John Morrow

Q2. **Address**

6141 Sherman Circle Edina MN 55436

Q3. **Comment**

I'd love a restaurant in this location, it would be great for the neighborhood.



Respondent No: 179

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 21:08:46 pm

Last Seen: Aug 31, 2022 21:08:46 pm

IP Address: n/a

Q1. **First and Last Name**

Sonja Boatman Anderson

Q2. **Address**

5809 Hidden Lane

Q3. **Comment**

We would love a new restaurant in our community. Please allow this rezoning.



Respondent No: 180

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 21:11:25 pm

Last Seen: Aug 31, 2022 21:11:25 pm

IP Address: n/a

Q1. **First and Last Name**

Isaac Anderson

Q2. **Address**

5809 Hidden Ln

Q3. **Comment**

We would love a new restaurant in our community. Please allow the rezoning



Respondent No: 181

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 21:15:50 pm

Last Seen: Aug 31, 2022 21:15:50 pm

IP Address: n/a

Q1. **First and Last Name**

Richard @ Margaret pfohl

Q2. **Address**

5716 DeVille Drive

Q3. **Comment**

A great neighborhood gathering place for walkers bikers etc - makes the Parkwood knolls area a place to meet your neighbors - send children to see friends & a homey place to stop off at - (similar to the Cottagewood candy/ sandwich store on Lake Minnetonka for the local neighbors - been there for over 50 years !!!



Respondent No: 182

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 21:18:09 pm

Last Seen: Aug 31, 2022 21:18:09 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Clark

Q2. **Address**

8 Cooper Avenue

Q3. **Comment**

We would really like to see a cafe/restaurant in this space.



Respondent No: 183

Login: Anonymous

Email: n/a

Responded At: Aug 31, 2022 23:15:35 pm

Last Seen: Aug 31, 2022 23:15:35 pm

IP Address: n/a

Q1. **First and Last Name**

Michael Hawes

Q2. **Address**

5227 Green Farms Rd

Q3. **Comment**

Would love a neighborhood restaurant



Respondent No: 184

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 01:44:29 am

Last Seen: Sep 01, 2022 01:44:29 am

IP Address: n/a

Q1. **First and Last Name**

Meighan Frederick

Q2. **Address**

5508 Concord Ave

Q3. **Comment**

As a resident that lives in the neighborhood that includes Town Hall Station (a similar concept), we have found the addition of a small, local business to be an asset the neighborhood. A local, walkable location that adds a sense of community. The proposal for this site is once again a creative use that could benefit this neighborhood in a similar fashion. It also appears they have taken steps to address local neighbors concerns with modifications to the plan. An important step that shows collaboration and frankly, a better design.



Respondent No: 185

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 03:00:35 am

Last Seen: Sep 01, 2022 03:00:35 am

IP Address: n/a

Q1. **First and Last Name**

Katie Kloos

Q2. **Address**

5624 Johnson Dr

Q3. **Comment**

I think this site is a wonderful location for a restaurant. Folks from nearby neighborhoods could easily walk/bike to it.



Respondent No: 186

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 03:21:15 am

Last Seen: Sep 01, 2022 03:21:15 am

IP Address: n/a

Q1. **First and Last Name**

Tuny O'Rourke

Q2. **Address**

6801 Dovre Drive, Edina

Q3. **Comment**

I think it would be a great addition to the neighborhood.



Respondent No: 187

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 04:33:29 am

Last Seen: Sep 01, 2022 04:33:29 am

IP Address: n/a

Q1. **First and Last Name**

Myndee Anderson

Q2. **Address**

5524 warden Ave

Q3. **Comment**

We would love this property to be rezoned so a restaurant can be added to our neighborhood! Far better than a gas station or auto body shop!



Respondent No: 188

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 04:46:07 am

Last Seen: Sep 01, 2022 04:46:07 am

IP Address: n/a

Q1. **First and Last Name**

Sara McLenighan

Q2. **Address**

5513 Highland Road

Q3. **Comment**

We want a restaurant! We do NOT want or need affordable housing. Why.? Is the city council not acting in the best interest of its citizens. We do not need crime and lower property values. Please listen to residents and not liberal policies.



Respondent No: 189

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:00:51 am

Last Seen: Sep 01, 2022 05:00:51 am

IP Address: n/a

Q1. First and Last Name

Casey Schoen

Q2. Address

6228 Parkwood Road

Q3. Comment

I am fully supportive of this proposed development of a restaurant on this site. I am a long time resident of Parkwood Knolls and believe we need more restaurants on this side of Highway 100 and also believe that this is an excellent and appropriate location for a restaurant.



Respondent No: 190

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:09:15 am

Last Seen: Sep 01, 2022 05:09:15 am

IP Address: n/a

Q1. **First and Last Name**

Adriane Hawes

Q2. **Address**

4316 Branson St, Edina, MN 55424

Q3. **Comment**

This neighborhood is in desperate need of a restaurant! What a fun idea for that location to have a walkable cafe.



Respondent No: 191

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:18:25 am

Last Seen: Sep 01, 2022 05:18:25 am

IP Address: n/a

Q1. **First and Last Name**

Jenny Springer

Q2. **Address**

5528 York Ave S Edina MN 55410

Q3. **Comment**

A restaurant would be a great addition to this area. My parents live close by and my husband works on this side of town.
We'd love a place to all me up for a family meal.



Respondent No: 192

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:20:51 am

Last Seen: Sep 01, 2022 05:20:51 am

IP Address: n/a

Q1. **First and Last Name**

Toni Brandt

Q2. **Address**

6837 Creston Road

Q3. **Comment**

yes, to the restaurant



Respondent No: 193

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:25:45 am

Last Seen: Sep 01, 2022 05:25:45 am

IP Address: n/a

Q1. **First and Last Name**

Brian Allingham

Q2. **Address**

5801 South Drive, Edina, MN

Q3. **Comment**

I support rezoning to allow a restaurant on this site.



Respondent No: 194

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:46:46 am

Last Seen: Sep 01, 2022 05:46:46 am

IP Address: n/a

Q1. **First and Last Name**

Wiliam Kelly

Q2. **Address**

4504 Sunnyside rd

Q3. **Comment**

I am in favor of a restaurant in the former Kee's site.



Respondent No: 195

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 05:47:06 am

Last Seen: Sep 01, 2022 05:47:06 am

IP Address: n/a

Q1. **First and Last Name**

Andrea Bushaw

Q2. **Address**

6109 Sherman Circle Edina Mn 55436

Q3. **Comment**

A restaurant would be the best option for the spot on Vernon. We need a community gathering spot — it's a void in our area of Edina.

**Respondent No:** 196**Login:** Anonymous**Email:** n/a**Responded At:** Sep 01, 2022 05:55:10 am**Last Seen:** Sep 01, 2022 05:55:10 am**IP Address:** n/a**Q1. First and Last Name**

Esther Haskvitz

Q2. Address

5828 Olinger Blvd.

Q3. Comment

While I would love to have a restaurant in the neighborhood, I have concern for the noise it might recreate for the local neighbors. Any outdoor music would be a problem as might the sound of a crowd of people outside. The restaurant would likely have long hours providing little relief to those nearby. The neighbors need to be able to live in the quiet enjoyment of their homes. I am afraid that a restaurant in that close proximity might destroy that. I think the ultimate decision needs to come from the residents who currently live within earshot of the expected noise that would come from the restaurant. They purchased their homes in a quiet neighborhood.



Respondent No: 197

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:04:31 am

Last Seen: Sep 01, 2022 06:04:31 am

IP Address: n/a

Q1. **First and Last Name**

Rebecca Peterson

Q2. **Address**

6001 Porter Lane, Edina 55436

Q3. **Comment**

My family and I fully support turning this site into a restaurant. We've seen the gathering place that Town Hall Station has become and envision this would be a similar situation for those of us on the west side. We'd love to have a neighborhood spot where we could walk/bike over, meet friends, etc. It's been an unsightly service station since I was kid and the new plans look lovely. We hope you'll approve!!



Respondent No: 198

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:18:33 am

Last Seen: Sep 01, 2022 06:18:33 am

IP Address: n/a

Q1. **First and Last Name**

Katie Ovikian

Q2. **Address**

6515 Biscayne Blvd

Q3. **Comment**

I would like to see a restaurant go in on 6016 Vernon. We need more restaurants in this area. Many families would love to walk or bike to a restaurant. It would allow the Parkwood Knowles and HighLand neighborhood feel like 50 th and France area which is walkable. We do not have any restaurants that are close enough to bike in our neighborhood and I feel that it would be a great addition to our neighborhood. Restaurants bring people together which in turn builds stronger communities. Thank you for considering this as a great option.



Respondent No: 199

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:21:23 am

Last Seen: Sep 01, 2022 06:21:23 am

IP Address: n/a

Q1. **First and Last Name**

Whitney Giga

Q2. **Address**

7037 valley view rd

Q3. **Comment**

Please support the restaurant request to rezone for restaurant/food & bev sale. We need more great little neighborhood restaurants in west edina for families always on the go these days- keep the \$ in edina vs them/us going out to Msp or EP or SLP and spending our \$.



Respondent No: 200

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:25:39 am

Last Seen: Sep 01, 2022 06:25:39 am

IP Address: n/a

Q1. **First and Last Name**

Caitlin Erickson

Q2. **Address**

5108 William Ave

Q3. **Comment**

I would love to have another restaurant in walking/biking distance. I see this as an opportunity to build the community. Having an option near the park and school to gather and patronize would be great for my family!



Respondent No: 201

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:26:15 am

Last Seen: Sep 01, 2022 06:26:15 am

IP Address: n/a

Q1. **First and Last Name**

Mary Lohmann

Q2. **Address**

5220 West 56th St.

Q3. **Comment**

YES! we need more restaurants in the Edina community!



Respondent No: 202

Login: Barb G

Email: barbgaas@gmail.com

Responded At: Sep 01, 2022 06:40:26 am

Last Seen: Sep 01, 2022 13:39:23 pm

IP Address: 75.73.14.181

Q1. **First and Last Name**

Barb Gaasedelen

Q2. **Address**

6300 Falcon Ct.

Q3. **Comment**

I would love to see a new restaurant in the area. I think this is a start in making our community more walkable.



Respondent No: 203

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:46:28 am

Last Seen: Sep 01, 2022 06:46:28 am

IP Address: n/a

Q1. **First and Last Name**

Jason Kalgreen

Q2. **Address**

5705 Londonderry Rd., Edina, 55436

Q3. **Comment**

I have viewed the revised proposal for the Westside Cafe at 6016 Vernon and would like to express my support for the project.



Respondent No: 204

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:46:37 am

Last Seen: Sep 01, 2022 06:46:37 am

IP Address: n/a

Q1. **First and Last Name**

Annie Tropole

Q2. **Address**

5213 Birchcrest Drive, Edina 55436

Q3. **Comment**

I would love to see a restaurant in this location!!!



Respondent No: 205

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:48:57 am

Last Seen: Sep 01, 2022 06:48:57 am

IP Address: n/a

Q1. **First and Last Name** val stidman

Q2. **Address** 6504 cherokee

Q3. **Comment**

We would support a restaurant on this site as our options in West Edina for food services is very limited. It would be a great addition to the neighborhood!



Respondent No: 206

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:49:58 am

Last Seen: Sep 01, 2022 06:49:58 am

IP Address: n/a

Q1. **First and Last Name**

Jonathan Stedman

Q2. **Address**

5805 South Drive Edina 55436

Q3. **Comment**

I am in favor of the Westside Cafe



Respondent No: 207

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:50:03 am

Last Seen: Sep 01, 2022 06:50:03 am

IP Address: n/a

Q1. **First and Last Name**

Lisa Boss

Q2. **Address**

4620 Browndale AVE

Q3. **Comment**

I love the rendering as is and I think it would be a wonderful addition to Edina! I love that (even though I live on east side) that this would give residents on West side a walkable option .



Respondent No: 208

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:50:33 am

Last Seen: Sep 01, 2022 06:50:33 am

IP Address: n/a

Q1. **First and Last Name**

Joe Bauer

Q2. **Address**

4247 grimes ave

Q3. **Comment**

Would love to have a restaurant in that location. Edina is lacking places to take the family in the north west area of the city.



Respondent No: 209

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:53:56 am

Last Seen: Sep 01, 2022 06:53:56 am

IP Address: n/a

Q1. **First and Last Name**

Joyce Van Tassel

Q2. **Address**

6801 Langford Dr Edina MN 55436

Q3. **Comment**

I feel it would add a great neighborhood gathering place. I approve.



Respondent No: 210

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:54:21 am

Last Seen: Sep 01, 2022 06:54:21 am

IP Address: n/a

Q1. **First and Last Name**

Robert Lewis

Q2. **Address**

5113 Grove Street

Q3. **Comment**

Edina needs to build more of a neighborhood/community bond. The mayor and city counsel have been narrowminded in only thinking about housing. A restaurant would be a wonderful addition for the entire city.



Respondent No: 211

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 06:55:42 am

Last Seen: Sep 01, 2022 06:55:42 am

IP Address: n/a

Q1. **First and Last Name**

Kris Waggoner

Q2. **Address**

5617 Bernard Place

Q3. **Comment**

I LOVE the idea of a restaurant here!!! A walkable quaint place is just what we need!



Respondent No: 212

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:01:33 am

Last Seen: Sep 01, 2022 07:01:33 am

IP Address: n/a

Q1. **First and Last Name**

Sarah Schweitzer

Q2. **Address**

5200 Green Farms Rd Edina, MN 55436

Q3. **Comment**

The rendering and plans for the restaurant look very nice. It's good to hear they made adjustments to ensure that the immediate neighbors feel more comfortable with their plans. I hope this is approved as there are limited restaurants on the West side of Edina. It will be great to have another place to be able to bike to and gather as a community.



Respondent No: 213

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:03:30 am

Last Seen: Sep 01, 2022 07:03:30 am

IP Address: n/a

Q1. **First and Last Name**

Randy Morgan

Q2. **Address**

5808 South Drive

Q3. **Comment**

I have been a 'neighbor' to the Keys site since 1980- I am 100% in favor of the rezoning of this site for the proposed Westside Cafe. It will fit in with the neighborhood. Please support this project.



Respondent No: 214

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:03:54 am

Last Seen: Sep 01, 2022 07:03:54 am

IP Address: n/a

Q1. **First and Last Name**

Chris Reichert

Q2. **Address**

5701 Schaefer Road, Edina

Q3. **Comment**

This site has been unused and a bit of an eyesore for a long time. The residents of west Edina don't have all of the restaurants and amenities that those east of Hwy 100 have. A small neighborhood restaurant would be a great addition to the area. I understand that those living right by the site would not want people parking all over their neighborhood. That could be limited by allowing people to park on Vernon. The city needs to stop trying to turn it into an urban city by building so many high-density apartments. Let this continue to be a suburban neighborhood as it was designed and approve this neighborhood development.



Respondent No: 215

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:04:35 am

Last Seen: Sep 01, 2022 07:04:35 am

IP Address: n/a

Q1. **First and Last Name**

Trisha karki

Q2. **Address**

7224 Cornelia Dr

Q3. **Comment**

Supportive of the accommodation request



Respondent No: 216

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:04:37 am

Last Seen: Sep 01, 2022 07:04:37 am

IP Address: n/a

Q1. **First and Last Name**

Kevin Giertsen

Q2. **Address**

5804 View Lane, Edina, MN. 55436

Q3. **Comment**

As a long time Edina Resident, Kevin Giertsen & family support the votes to Rezone this property for the purpose of a Restaurant. This strategic plan will help improve our wonderful community - lets bring people together! Sincerely, Kevin Giertsen



Respondent No: 217

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:06:29 am

Last Seen: Sep 01, 2022 07:06:29 am

IP Address: n/a

Q1. **First and Last Name**

Jenner Moretto

Q2. **Address**

6301 Colonial Ct Edina, MN 55436

Q3. **Comment**

I fully support a new restaurant at 6016 Vernon - I think it is an exciting opportunity!



Respondent No: 218

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:24:22 am

Last Seen: Sep 01, 2022 07:24:22 am

IP Address: n/a

Q1. **First and Last Name**

Debbie Lyche

Q2. **Address**

5829 Brookview Ave

Q3. **Comment**

I think the plans look great & a walkable restaurant in any part of Edina is a great asset to the city. We live near Townhall Station and love being able to walk over on a beautiful evening and sit on the patio. The west side of Edina doesn't have these options, but I think the residents will want more once they appreciate the appeal!

**Respondent No:** 219**Login:** Anonymous**Email:** n/a**Responded At:** Sep 01, 2022 07:29:30 am**Last Seen:** Sep 01, 2022 07:29:30 am**IP Address:** n/a**Q1. First and Last Name**

Greg Yoch

Q2. Address

5313 Chantrey Road, Edina, MN 55436

Q3. Comment

I am writing in support of the 6016 Vernon Ave, Westside Cafe project. I think having a neighborhood restaurant in that location would be fantastic and a great change for that location. It would be another little unique feather in Edina's cap that would add to the neighborhood and restaurant culture of Edina. I am impressed with the patience and persistence of the developers/operators to go through the long process with the city and neighbors to get approval. I feel they have been responsive to concerns by reducing the size of the restaurant, reducing the parking and changing the patio to the Vernon side. I sincerely hope this project moves ahead. I look forward to walking or biking to this restaurant with my wife and daughter. Greg Yoch 5313 Chantrey Road, Edina, MN 55436



Respondent No: 220

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:30:51 am

Last Seen: Sep 01, 2022 07:30:51 am

IP Address: n/a

Q1. **First and Last Name**

Tim Gruidl

Q2. **Address**

4213 Crocker Avenue

Q3. **Comment**

This would be a great addition to continue to build the community and have more options available for the neighborhood



Respondent No: 221

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:31:30 am

Last Seen: Sep 01, 2022 07:31:30 am

IP Address: n/a

Q1. **First and Last Name**

Scott MacDonald

Q2. **Address**

6133 Blake Ridge Rd, Edina MN 55436

Q3. **Comment**

Definitely support a restaurant for this location. I know there is concern about people parking on the street behind the facility, but I feel that would be very limited.



Respondent No: 222

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:33:35 am

Last Seen: Sep 01, 2022 07:33:35 am

IP Address: n/a

Q1. **First and Last Name**

Lynda Ruce

Q2. **Address**

6062 Blake Ridge Rd

Q3. **Comment**

With the new changes in the design proposal I feel the restaurant is the best choice for the site. Not only will it provide our neighborhood with a "walkable" gathering place, but also new job opportunities for residents (especially younger people.)



Respondent No: 223

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:35:53 am

Last Seen: Sep 01, 2022 07:35:53 am

IP Address: n/a

Q1. **First and Last Name** Ted Colwell

Q2. **Address** 6611 Pawnee Rd, 55439

Q3. **Comment**

I strongly support this zoning change to allow for the development of said 2,300 square foot, 59-seat restaurant at 6016 Vernon Ave. I'm all smiles with the thoughts of our kids riding their bicycles from Indian Hills for a root beer and ice cream cone!



Respondent No: 224

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:40:35 am

Last Seen: Sep 01, 2022 07:40:35 am

IP Address: n/a

Q1. **First and Last Name**

Carla and Rodney Young

Q2. **Address**

5804 Olinger Road

Q3. **Comment**

We whole heartedly WANT THIS RESTAURANT and have for years. Good for the neighborhoods "walkability" the safety, the convenience, and the economy. For those worried about parking in front of their homes, easy fix, not allowed and reinforced. Most will be neighbors walking to the destination and a few others from edina. Welcome your neighbors and embrace change!!!!



Respondent No: 225

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:43:44 am

Last Seen: Sep 01, 2022 07:43:44 am

IP Address: n/a

Q1. **First and Last Name**

Andrew Giertsen

Q2. **Address**

5029 Yvonne Terrace

Q3. **Comment**

I think a restaurant would be a good idea for this location. the plans will be a great improvement to the area



Respondent No: 226

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:53:12 am

Last Seen: Sep 01, 2022 07:53:12 am

IP Address: n/a

Q1. **First and Last Name**

Paul Kempf

Q2. **Address**

5913 View Lane, Edina, MN 55436

Q3. **Comment**

The plans look great, would love to be able to walk to this restaurant in the neighborhood. It would be a positive addition.



Respondent No: 227

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 07:54:29 am

Last Seen: Sep 01, 2022 07:54:29 am

IP Address: n/a

Q1. **First and Last Name**

Joe Carpenter

Q2. **Address**

6616 Dovre Drive

Q3. **Comment**

This looks great--I would like to voice my support for this project.



Respondent No: 228

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:04:02 am

Last Seen: Sep 01, 2022 08:04:02 am

IP Address: n/a

Q1. **First and Last Name**

Mike Friedberg

Q2. **Address**

5405 Malibu Drive

Q3. **Comment**

We would love another super local dining option. The addition of Olive's as a full service dining option has been wonderful. (D Brians was just really a lunch spot for Opus workers) We love walking to the restaurant and running onto neighbors in a social environment. Having another place would not only be fun, but I think it would substantially enhance the neighborhood.



Respondent No: 229

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:17:56 am

Last Seen: Sep 01, 2022 08:17:56 am

IP Address: n/a

Q1. **First and Last Name**

Karen Popehn

Q2. **Address**

6115 Lincoln Drive #255 Edina, MN 55436

Q3. **Comment**

This location being a restaurant would be such a good meeting place for the neighborhood!



Respondent No: 230

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:18:16 am

Last Seen: Sep 01, 2022 08:18:16 am

IP Address: n/a

Q1. **First and Last Name**

Kathryn Runman-Zimney

Q2. **Address**

6075 Lincoln Drive #103

Q3. **Comment**

We've talked with most of the people in our condo community of Edina West. 100% want a restaurant to be built at the site of Kevin Kee's Auto on Vernon Ave. Please do what is necessary to make this happen. We could walk to this site! I don't have exact numbers, but with 162 units, close to 275 people would frequent this new establishment! Thanks in advance for making this happen!



Respondent No: 231

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:18:20 am

Last Seen: Sep 01, 2022 08:18:20 am

IP Address: n/a

Q1. **First and Last Name**

Cornell Leverette Moore

Q2. **Address**

6105 Lincoln Drive#335,Edina,MN 55436

Q3. **Comment**

In support of restaurant. Good plan.



Respondent No: 232

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:19:54 am

Last Seen: Sep 01, 2022 08:19:54 am

IP Address: n/a

Q1. **First and Last Name**

Francis glover

Q2. **Address**

7201 fleetwood drive, Edina mn 55439

Q3. **Comment**

This looks like a great idea and I am all for this development!



Respondent No: 233

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:21:46 am

Last Seen: Sep 01, 2022 08:21:46 am

IP Address: n/a

Q1. **First and Last Name**

Katherine Milliken

Q2. **Address**

5712 Camelback Dr, Edina, MN 55436

Q3. **Comment**

We live in the Parkwood Knolls neighborhood and would love to see 6016 Vernon turned into a family-friendly restaurant that we could visit with our three kids!



Respondent No: 234

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:22:45 am

Last Seen: Sep 01, 2022 08:22:45 am

IP Address: n/a

Q1. **First and Last Name**

Phyllis Gilbert

Q2. **Address**

6085 Lincoln Drive, Unit 222, Edina MN 55436

Q3. **Comment**

We would love to have a local restaurant in this area!



Respondent No: 235

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:27:58 am

Last Seen: Sep 01, 2022 08:27:58 am

IP Address: n/a

Q1. **First and Last Name**

Dale and Kathy Hanson

Q2. **Address**

6650 Vernon Avenue

Q3. **Comment**

We would definitely like to see a neighborhood restaurant at this location.



Respondent No: 236

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:28:30 am

Last Seen: Sep 01, 2022 08:28:30 am

IP Address: n/a

Q1. **First and Last Name**

Sonny B

Q2. **Address**

6085 Lincoln Dr., Edina 55436

Q3. **Comment**

I support the restaurant idea. The upside far exceeds the downside.



Respondent No: 237

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:29:38 am

Last Seen: Sep 01, 2022 08:29:38 am

IP Address: n/a

Q1. **First and Last Name**

Rick Hansen

Q2. **Address**

6304 Doron Lane

Q3. **Comment**

I think having a restaurant in this part of town would be fantastic! It would be a great neighborhood place to grab a bite to eat with friends and family. This would really be an awesome location for a new restaurant in Edina rather than most of the other new restaurants which are just on the first floor under apartment buildings.



Respondent No: 238

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:37:46 am

Last Seen: Sep 01, 2022 08:37:46 am

IP Address: n/a

Q1. **First and Last Name**

Luci Patch

Q2. **Address**

6141 Blake Ridge Road, Edina, MN 55436

Q3. **Comment**

A small neighborhood cafe will be a nice addition to the area. I am looking forward to becoming a customer!



Respondent No: 239

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:39:57 am

Last Seen: Sep 01, 2022 08:39:57 am

IP Address: n/a

Q1. **First and Last Name**

Brandon Strangis

Q2. **Address**

5132 Mirror Lakes Drive

Q3. **Comment**

My wife and 3 daughters would love a restaurant here!



Respondent No: 240

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:40:19 am

Last Seen: Sep 01, 2022 08:40:19 am

IP Address: n/a

Q1. **First and Last Name**

Rosemary Friedrichs

Q2. **Address**

5725 Hawkes Drive

Q3. **Comment**

I would welcome and support a neighborhood café! A wonderful "walking distance" destination.



Respondent No: 241

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:42:13 am

Last Seen: Sep 01, 2022 08:42:13 am

IP Address: n/a

Q1. **First and Last Name**

Melissa Lewis

Q2. **Address**

5113 Grove Street, Edina

Q3. **Comment**

With wanting to stay in my bubble more and more with all the violence in Mpls right now, I'd love for another restaurant to be in Edina. I think it would be great for community building. Thanks!



Respondent No: 242

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:43:30 am

Last Seen: Sep 01, 2022 08:43:30 am

IP Address: n/a

Q1. **First and Last Name**

Diane Strahan

Q2. **Address**

6105 Lincoln Dr

Q3. **Comment**

I support this being rezoned for the restaurant.



Respondent No: 243

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:50:24 am

Last Seen: Sep 01, 2022 08:50:24 am

IP Address: n/a

Q1. **First and Last Name**

Dario Anselmo

Q2. **Address**

6301 S Knoll Dr.

Q3. **Comment**

I am supportive of the proposed new restaurant. Our neighborhood would benefit by having a place to connect with people over a good meal, that is also within walking distance from so many homes.



Respondent No: 244

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:53:09 am

Last Seen: Sep 01, 2022 08:53:09 am

IP Address: n/a

Q1. **First and Last Name**

Chris Davis

Q2. **Address**

6637 Parkwood Road Edina MN 55436

Q3. **Comment**

The community wants a restaurant here! The city should partner with the restaurant group and the property owners to make it happen.



Respondent No: 245

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:57:50 am

Last Seen: Sep 01, 2022 08:57:50 am

IP Address: n/a

Q1. **First and Last Name**

Lynn Moline

Q2. **Address**

5917 View Lane, Edina

Q3. **Comment**

Our neighborhood needs a restaurant. This plan appears to be well-conceived and properly scaled for the area, so as a nearby neighbor, I give it my hearty support.



Respondent No: 246

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:59:21 am

Last Seen: Sep 01, 2022 08:59:21 am

IP Address: n/a

Q1. **First and Last Name**

Kate Austin

Q2. **Address**

5816 W 61st St, Edina, MN 55436

Q3. **Comment**

We are thrilled that there will be a neighborhood restaurant on the west side of Edina. We are fully supportive of all variances that are necessary to put in this much needed community gathering spot. Please approve!



Respondent No: 247

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 08:59:59 am

Last Seen: Sep 01, 2022 08:59:59 am

IP Address: n/a

Q1. **First and Last Name**

Fern Hagens

Q2. **Address**

6129 Blake Ridge Rd

Q3. **Comment**

We took our car for service and repair to Kevin Kee's for years & we were sorry to see him go. However, we love the idea of being able to pop across the street, walk up to a neighborhood restaurant, for coffee, breakfast, or lunch. With the relatively small footprint, limited tables and parking, this would be the least intrusive option & it would add greatly to walkability in the neighborhood.



Respondent No: 248

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:11:13 am

Last Seen: Sep 01, 2022 09:11:13 am

IP Address: n/a

Q1. **First and Last Name**

Jennifer Stern

Q2. **Address**

5804 W. 61st St.

Q3. **Comment**

I am SOOO excited by the potential of having a restaurant / gathering place near our home. It frustrates me that we can't easily walk / bike to any commerce. I love our neighbors and think this will significantly improve our neighborhood and community infrastructure. I also really appreciate the changes that were made in response to community feedback. Please approve this zoning change! Pretty please!



Respondent No: 249

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:13:54 am

Last Seen: Sep 01, 2022 09:13:54 am

IP Address: n/a

Q1. **First and Last Name**

Jessica Graham

Q2. **Address**

5708 Deville Drive, Edina 55436

Q3. **Comment**

I Support a restaurant in the site!!! We live very close to that location



Respondent No: 250

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:30:42 am

Last Seen: Sep 01, 2022 09:30:42 am

IP Address: n/a

Q1. **First and Last Name**

Steve Burch

Q2. **Address**

6421 Mildred Ave, Edina, MN 55439

Q3. **Comment**

A neighborhood restaurant in this area would be fantastic for my wife & me. We would love to have a place we can easily walk/bike to that doesn't require us to get into a busy traffic area (like 50th & France or the Hwy 100/Vernon Ave areas). When we lived in South Minneapolis, good neighborhood restaurants were often hubs for the community. We would be very excited to see a place like that near us.



Respondent No: 251

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:32:02 am

Last Seen: Sep 01, 2022 09:32:02 am

IP Address: n/a

Q1. **First and Last Name** Jennifer Young

Q2. **Address** 6112 Hansen Rd

Q3. **Comment**

I think a restaurant at this location would be of great benefit to the greater west side area of Edina. I think being mindful of the neighborhood that directly borders the site is important but hopefully with the right hours of operation and possibly parking restrictions in the neighborhood, it could minimize the impact to them and create something really wonderful for the greater area. I know for myself, living near by but maybe 1-2 miles away, my family would often bike or scooter to this site.



Respondent No: 252

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:34:52 am

Last Seen: Sep 01, 2022 09:34:52 am

IP Address: n/a

Q1. **First and Last Name**

Gail johnson

Q2. **Address**

6074 Blakeridge rd edina

Q3. **Comment**

I this will be an Excellent addition to our neighborhood '



Respondent No: 253

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:35:28 am

Last Seen: Sep 01, 2022 09:35:28 am

IP Address: n/a

Q1. **First and Last Name**

Ali Finer

Q2. **Address**

4213 Lynn Avenue

Q3. **Comment**

This area really needs a restaurant! And Perkins is gone, where so many high school kids hung out and had good, clean, fun. There's no place like that anymore but this place could be. PLEASE LET IT HAPPEN!!! -Ali Finer (4213 Lynn Avenue, 55416)



Respondent No: 254

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:47:25 am

Last Seen: Sep 01, 2022 09:47:25 am

IP Address: n/a

Q1. **First and Last Name**

Cathy Ruehl

Q2. **Address**

6709 Vernon Ave S, Edina, MN 55436

Q3. **Comment**

The restaurant would be a positive addition to Vernon Ave - a great meeting spot that is walkable by many.



Respondent No: 255

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:55:41 am

Last Seen: Sep 01, 2022 09:55:41 am

IP Address: n/a

Q1. **First and Last Name**

Renee Iffert

Q2. **Address**

5721 Vernon Avenue South, Edina

Q3. **Comment**

I live 3 blocks from the site and I am only supportive of the restaurant option. A great place for neighbors and friends to gather. Love that I can walk to the restaurant!



Respondent No: 256

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 09:57:48 am

Last Seen: Sep 01, 2022 09:57:48 am

IP Address: n/a

Q1. **First and Last Name**

Anne Nygaard

Q2. **Address**

6008 Pine Grove Rd

Q3. **Comment**

We would love a neighborhood restaurant on that spot on Vernon. Outdoor seating would be nice .



Respondent No: 257

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:02:21 am

Last Seen: Sep 01, 2022 10:02:21 am

IP Address: n/a

Q1. **First and Last Name**

Alissa Ochs

Q2. **Address**

5328 Halifax Ave S, Edina, MN

Q3. **Comment**

An establishment locally run by families for families is exactly what we need. I can't wait to bike here with my kids and enjoy getting to know more families in the community.



Respondent No: 258

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:09:25 am

Last Seen: Sep 01, 2022 10:09:25 am

IP Address: n/a

Q1. **First and Last Name**

Carol Syvertsen

Q2. **Address**

5801 W 61st St, Edina

Q3. **Comment**

I would love to have this restaurant in our neighborhood!



Respondent No: 259

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:18:13 am

Last Seen: Sep 01, 2022 10:18:13 am

IP Address: n/a

Q1. **First and Last Name**

Carol Jackson

Q2. **Address**

4813 Westbrook Lane, Edina, MN 55436

Q3. **Comment**

Totally support this conversion to a restaurant. Perfect location on a busy street and could be a fun, small neighborhood gem. It's been sitting vacant long enough. Let's re-imagine and revitalize this fantastic site. It's also very bikeable, walkable!



Respondent No: 260

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:29:52 am

Last Seen: Sep 01, 2022 10:29:52 am

IP Address: n/a

Q1. **First and Last Name** Tom Bymark

Q2. **Address** 5104 W 60th St, Edina, MN 55436

Q3. **Comment**

The plans look great so far, this will be a fantastic place folks can walk to and meet up. One request, please do not have the exterior be yellow! Even if you're trying to pay homage to the auto shop, I think it can be done in a more tasteful way. Lastly, I know it's a long shot, but a small rooftop deck/patio would be fun and distinctive if allowed by the city. It would create more seating and draw the eye up to appear grander in stature.



Respondent No: 261

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:39:00 am

Last Seen: Sep 01, 2022 10:39:00 am

IP Address: n/a

Q1. **First and Last Name**

Max Hackett

Q2. **Address**

5429 Park Place - Edina, MN 55424

Q3. **Comment**

Yes on restaurant! I am in favor of allowing a restaurant to be built in that space.



Respondent No: 262

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:46:05 am

Last Seen: Sep 01, 2022 10:46:05 am

IP Address: n/a

Q1. **First and Last Name**

Anne Stedman

Q2. **Address**

5805 South Drive

Q3. **Comment**

A restaurant would be a great addition to the neighborhood. I am all for it!



Respondent No: 263

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:47:51 am

Last Seen: Sep 01, 2022 10:47:51 am

IP Address: n/a

Q1. **First and Last Name**

David C Prem

Q2. **Address**

6075 Lincoln Drive #108 Edina MN 55436

Q3. **Comment**

I am fully in support of the plan for a restaurant at this location. It would-be a nice addition to the neighborhood.



Respondent No: 264

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 10:53:08 am

Last Seen: Sep 01, 2022 10:53:08 am

IP Address: n/a

Q1. **First and Last Name**

Kristin Kluis

Q2. **Address**

5611 Countryside road

Q3. **Comment**

Edina has invested in the infrastructure to make walking and biking safe and convenient. By creating a neighborhood spot for families and neighbors to gather is further enhancing the livability of the city. Having services that match the needs of the community is so important to us. We urge you to continue with the Cafe and their role in further building our community.



Respondent No: 265

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 11:01:12 am

Last Seen: Sep 01, 2022 11:01:12 am

IP Address: n/a

Q1. **First and Last Name**

Karen Morison

Q2. **Address**

6113 Blake Ridge road

Q3. **Comment**

WE live across the street from this property and would LOVE to see a neighborhood restaurant (breakfast, lunch and dinner) move in here. Not interested in another gas station/car repair or another apartment building.

**Respondent No:** 266**Login:** Anonymous**Email:** n/a**Responded At:** Sep 01, 2022 11:01:24 am**Last Seen:** Sep 01, 2022 11:01:24 am**IP Address:** n/a**Q1. First and Last Name**

Anika Hagenson

Q2. Address

5612 Countryside Road, Edina 55436

Q3. Comment

Please support the rezoning and variances needed to move the 6016 Vernon, Westside Cafe forward. I can't think of a better use for this existing commercial space than adding a community gathering place that the neighbors can access via foot or bike. That isn't an option for a lot of residence in the area who currently have to get in the car to go to a restaurant now. We do not need more density in housing options in the neighborhood. There are already a number of duplexes and condos/apartments in the area. Please think of the benefit to the existing neighbors of a community resource like this restaurant proposal. Thank you for your consideration.



Respondent No: 267

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 11:01:34 am

Last Seen: Sep 01, 2022 11:01:34 am

IP Address: n/a

Q1. **First and Last Name**

Eric Bjorgaard

Q2. **Address**

6112 Arbour Ave Edina MN 55436

Q3. **Comment**

Please rezone Kevin Kee's Auto Shop for a restaurant. It is an eyesore I drive by every day and get zero benefit from. A new restaurant would be a perfect walk from my house and a great addition/benefit to our neighborhood!



Respondent No: 268

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 11:06:33 am

Last Seen: Sep 01, 2022 11:06:33 am

IP Address: n/a

Q1. **First and Last Name**

Judy thyren

Q2. **Address**

6075 Lincoln drive. Unit 303

Q3. **Comment**

Yes to restaurant



Respondent No: 269

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 11:31:51 am

Last Seen: Sep 01, 2022 11:31:51 am

IP Address: n/a

Q1. First and Last Name

Dorren Erny

Q2. Address

5824 W 61st St

Q3. Comment

Please allow this neighborhood restaurant to open! We need more family-friendly gathering places that are easily accessible by walking. It's also a neighborhood/community-building opportunity! Thank you for listening to the people who live around this area and honoring what they want! Respectfully submitted - Erny Family



Respondent No: 270

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 11:42:14 am

Last Seen: Sep 01, 2022 11:42:14 am

IP Address: n/a

Q1. **First and Last Name**

Missy Brooks

Q2. **Address**

6632 Gleason Terrace, Edina MN

Q3. **Comment**

Please approve all the variances! This would be so great to have a restaurant in that spot!! Way better than a closed broken down car shop.



Respondent No: 271

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:16:05 pm

Last Seen: Sep 01, 2022 12:16:05 pm

IP Address: n/a

Q1. **First and Last Name**

Michele Kelly Herring

Q2. **Address**

6117 Blake Ridge Rd

Q3. **Comment**

Living in neighborhood, I am in favor of zoning for a casual restaurant on the lot



Respondent No: 272

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:21:21 pm

Last Seen: Sep 01, 2022 12:21:21 pm

IP Address: n/a

Q1. **First and Last Name**

Aman Bajwa

Q2. **Address**

6537 Polar Circle, Edina

Q3. **Comment**

Yes to the restaurant proposal. Will be a great addition to the neighborhood.



Respondent No: 273

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:24:23 pm

Last Seen: Sep 01, 2022 12:24:23 pm

IP Address: n/a

Q1. First and Last Name

James Reynolds

Q2. Address

6129 Blake Ridge Rd, Edina, MN 55436

Q3. Comment

I live just south, across the street, off Vernon, and I am in complete support of a restaurant in place of the mechanic's shop. We have such a great neighborhood, with Bredesen Park so nearby, a restaurant would add to the walkability of our area. How nice to have a place to meet up with neighborhood friends for coffee. And, all the better if you add a liquor license and we can meet up for cocktails too!



Respondent No: 274

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:33:07 pm

Last Seen: Sep 01, 2022 12:33:07 pm

IP Address: n/a

Q1. **First and Last Name**

Rebecca Norris

Q2. **Address**

5917 View Lane

Q3. **Comment**

My family and I wholeheartedly support the approval of the rezoning of the Kevin Kee's property to allow the new proposed restaurant to move forward in our neighborhood. The restaurant will be walking distance from our home and will be a welcome addition and asset to the neighborhood. Other Edina neighborhoods have nearby restaurants in residential areas so this proposed development will provide what other Edina neighbors have as a desirable feature. I ask that you please approve the rezoning application for 6016 Vernon to allow the redevelopment with the restaurant to move forward. Thank you- Becca Norris



Respondent No: 275

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:40:07 pm

Last Seen: Sep 01, 2022 12:40:07 pm

IP Address: n/a

Q1. **First and Last Name**

Steve Schmitz

Q2. **Address**

5037 Park Terrace

Q3. **Comment**

I fully support this



Respondent No: 276

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 12:43:40 pm

Last Seen: Sep 01, 2022 12:43:40 pm

IP Address: n/a

Q1. **First and Last Name**

Janice Leverentz

Q2. **Address**

5520 Dundee Rd

Q3. **Comment**

I would like to have that area rezoned for a café. I think it would be a nice addition to our neighborhood.



Respondent No: 277

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:23:52 pm

Last Seen: Sep 01, 2022 13:23:52 pm

IP Address: n/a

Q1. **First and Last Name**

Christopher Pritchett

Q2. **Address**

5133 Bedford Avenue, Edina, MN 55436

Q3. **Comment**

I support this proposed restaurant & any zoning changes / variances that will allow the project to move forward. It will be a nice addition & asset to the neighborhood. Please approve this proposal. Thank you.



Respondent No: 278

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:29:53 pm

Last Seen: Sep 01, 2022 13:29:53 pm

IP Address: n/a

Q1. **First and Last Name** Matt Hansen

Q2. **Address** 5805 Garden

Q3. **Comment**

What a great idea and a perfect use for that site. Townhall Tavern has been a huge success and we need something like that on the west side of Edina. This would be a great neighborhood spot and asset. The planners seem to be very accommodating to the neighbors which is great to see. We do not need more apartments/condos or low income housing!



Respondent No: 279

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:32:26 pm

Last Seen: Sep 01, 2022 13:32:26 pm

IP Address: n/a

Q1. **First and Last Name**

Angela Graf

Q2. **Address**

6609 Biscayne Blvd

Q3. **Comment**

My household would like Edina to zone the 6016 Vernon location for restaurant/cafe as per the plans. We believe the westside of Edina needs a restaurant. Why should the Eastside have all the restaurants? Thanks for your time.



Respondent No: 280

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:45:57 pm

Last Seen: Sep 01, 2022 13:45:57 pm

IP Address: n/a

Q1. **First and Last Name**

Randy and Caryl Morgan

Q2. **Address**

5808 South Dr. Edina 55436

Q3. **Comment**

We would love a small restaurant in that space!!!



Respondent No: 281

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:50:18 pm

Last Seen: Sep 01, 2022 13:50:18 pm

IP Address: n/a

Q1. **First and Last Name**

Shannon Joran

Q2. **Address**

5900 Hansen Road Edina, MN 55436

Q3. **Comment**

Hello, as a nearby resident to 6016 Vernon Ave, my husband and I are in FULL support of a restaurant going in there and allowing limited parking on Vernon Ave during the restaurant's hours of operation. Thank you, Shannon Joran



Respondent No: 282

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 13:57:24 pm

Last Seen: Sep 01, 2022 13:57:24 pm

IP Address: n/a

Q1. **First and Last Name**

Seong Shusta

Q2. **Address**

5413 Doncaster Way

Q3. **Comment**

I support the rezoning for the purpose of building a neighborhood cafe here



Respondent No: 283

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 14:01:32 pm

Last Seen: Sep 01, 2022 14:01:32 pm

IP Address: n/a

Q1. **First and Last Name**

Jay Halvorson

Q2. **Address**

5049 Park Terrace 55436

Q3. **Comment**

I fully support the granting of variances to enable this project to move forward to completion. Having dining at this location will be a great neighborhood asset. It seems that the owners have done a good job of addressing the concerns of the near by neighbors.

**Respondent No:** 284**Login:** Anonymous**Email:** n/a**Responded At:** Sep 01, 2022 14:05:45 pm**Last Seen:** Sep 01, 2022 14:05:45 pm**IP Address:** n/a**Q1. First and Last Name**

John Lucchese

Q2. Address

6020 Idylwood Dr

Q3. Comment

Thank you for the time considering my comments. I believe this local restaurant would be a great addition to our lovely neighborhood. Many of our neighbors would like a close place that we could walk to and meet up. There is currently nothing in the area within walking distance. A family friendly local spot would be a great for all of us. I realize noise and traffic are serious concerns. I do feel that a properly staffed and current gas station (example Holiday by Interlachen and Vernon) has much more commotion at all hours, and most likely contributes to more traffic issues than a locally owned and managed neighborhood restaurant. Thank you once again for your time and interest in community engagement. Sincerely, John



Respondent No: 285

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 14:16:19 pm

Last Seen: Sep 01, 2022 14:16:19 pm

IP Address: n/a

Q1. **First and Last Name**

Jenny Stroik

Q2. **Address**

5521 Glengarry Parkway

Q3. **Comment**

We absolutely love the idea of a restaurant in our neighborhood- perfect for walking or biking with our family and neighbors.



Respondent No: 286

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 14:19:59 pm

Last Seen: Sep 01, 2022 14:19:59 pm

IP Address: n/a

Q1. **First and Last Name**

Tairie Starr

Q2. **Address**

6730 Vernon Av

Q3. **Comment**

I love the idea of a small restaurant here. It is much needed. My neighbors and I will be there often.



Respondent No: 287

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 14:57:42 pm

Last Seen: Sep 01, 2022 14:57:42 pm

IP Address: n/a

Q1. **First and Last Name**

Lisa Fish

Q2. **Address**

5408 Larada Lane

Q3. **Comment**

I think a restaurant would be a great addition to the area.



Respondent No: 288

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:03:00 pm

Last Seen: Sep 01, 2022 15:03:00 pm

IP Address: n/a

Q1. **First and Last Name**

Rebecca Brown

Q2. **Address**

5001 Bruce Ave.

Q3. **Comment**

Support a family friendly restaurant on this site! :)



Respondent No: 289

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:03:21 pm

Last Seen: Sep 01, 2022 15:03:21 pm

IP Address: n/a

Q1. **First and Last Name**

Michael Adams

Q2. **Address**

6015 View Lane Edina

Q3. **Comment**

I heartily approve of this redevelopment effort. It will generate taxes and have minimal to moderate impact on traffic and congestion, per the info I have read. Please vote to approve all the variances and motions to approve this project.



Respondent No: 290

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:17:16 pm

Last Seen: Sep 01, 2022 15:17:16 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Karam

Q2. **Address**

6436 margarets lane , Edina , MN 55439

Q3. **Comment**

Edina would strongly benefit from a local, family owned restaurant in that neighborhood. We would definitely want to go there with our kids and family. Thanks



Respondent No: 291

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:18:38 pm

Last Seen: Sep 01, 2022 15:18:38 pm

IP Address: n/a

Q1. **First and Last Name**

Erin Madsen

Q2. **Address**

5113 Duggan Plaza

Q3. **Comment**

Wholeheartedly support a restaurant to take this space!



Respondent No: 292

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:33:23 pm

Last Seen: Sep 01, 2022 15:33:23 pm

IP Address: n/a

Q1. **First and Last Name**

Carly Broderick

Q2. **Address**

5501 Highland road

Q3. **Comment**

Supportive of the restaurant!!



Respondent No: 293

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 15:33:40 pm

Last Seen: Sep 01, 2022 15:33:40 pm

IP Address: n/a

Q1. **First and Last Name**

John Dixon

Q2. **Address**

5720 camelback dr

Q3. **Comment**

Would love a place we can walk to for dinner and lunch. We really need a close place that has good food and nice to eat.
Valley view and wooddale has one. Hope we can too



Respondent No: 294

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 16:19:54 pm

Last Seen: Sep 01, 2022 16:19:54 pm

IP Address: n/a

Q1. **First and Last Name**

Tricia Mosley

Q2. **Address**

5904 Ewing Ave S

Q3. **Comment**

Would love to see a restaurant here!



Respondent No: 295

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 16:40:35 pm

Last Seen: Sep 01, 2022 16:40:35 pm

IP Address: n/a

Q1. **First and Last Name**

Kelly Calendine

Q2. **Address**

5408 Malibu Drive

Q3. **Comment**

Our family would love to see this site rezoned for a restaurant



Respondent No: 296

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 16:42:05 pm

Last Seen: Sep 01, 2022 16:42:05 pm

IP Address: n/a

Q1. **First and Last Name**

Ben Calendine

Q2. **Address**

5408 Malibu Dr

Q3. **Comment**

Yes please



Respondent No: 297

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 17:15:52 pm

Last Seen: Sep 01, 2022 17:15:52 pm

IP Address: n/a

Q1. **First and Last Name**

Chris Hansen

Q2. **Address**

5909 Walnut Drive

Q3. **Comment**

We would love to see the site become a restaurant. There are very few options near our home. We could actually walk there. Please rezone.



Respondent No: 298

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 17:27:47 pm

Last Seen: Sep 01, 2022 17:27:47 pm

IP Address: n/a

Q1. **First and Last Name**

Charles Fee

Q2. **Address**

5705 Deville Dr

Q3. **Comment**

This would be a fantastic addition to the neighborhood. Full support for the rezone. Please help consider this area as a way for the neighborhood and community to come together to enjoy good food, drinks and community.



Respondent No: 299

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 17:42:27 pm

Last Seen: Sep 01, 2022 17:42:27 pm

IP Address: n/a

Q1. **First and Last Name**

Lindsay Dubbeldee

Q2. **Address**

5920 View Lane Edina MN 55436

Q3. **Comment**

I live off Vernon and View Lane and my neighbors and I have been so excited by the thought of having a local restaurant to walk to. I can't stop thinking how nice it would be for the kids and I to bike down a few blocks and grab brunch on a Saturday morning. Or for my husband and I to have a close/local spot to grab a glass of wine. I truly hope these plans go through and we have the opportunity to add new life to our neighborhood!!



Respondent No: 300

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 17:45:09 pm

Last Seen: Sep 01, 2022 17:45:09 pm

IP Address: n/a

Q1. **First and Last Name**

Niki Larson

Q2. **Address**

5224 Richwood Drive Edina, MN 55436

Q3. **Comment**

I'm a strong "yes" for the former Kevin Kee site to become a restaurant. It would be great for the West side on Edina. The closest restaurant on the west side of hwy 100 is the Hilltop, which is ALWAYS busy so having another option would be terrific for the neighborhood.



Respondent No: 301

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 17:57:30 pm

Last Seen: Sep 01, 2022 17:57:30 pm

IP Address: n/a

Q1. **First and Last Name**

Bria Shea

Q2. **Address**

6152 arctic way

Q3. **Comment**

We live very close and are so supportive of the restaurant!



Respondent No: 302

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 18:38:10 pm

Last Seen: Sep 01, 2022 18:38:10 pm

IP Address: n/a

Q1. **First and Last Name**

Michelle Wright

Q2. **Address**

6321 Loch Moor Dr

Q3. **Comment**

I support having a restaurant in this location. Would be a valuable addition to the neighborhood to have a community gathering place and better use of the location than a gas station



Respondent No: 303

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 19:17:40 pm

Last Seen: Sep 01, 2022 19:17:40 pm

IP Address: n/a

Q1. **First and Last Name**

Kate Monroe

Q2. **Address**

5924 Schaefer rd, edina

Q3. **Comment**

My husband and I are in full support of west side cafe coming to the old Kevin Kee's auto site. This would be a wonderful addition to our neighborhood. We can't wait to ride bikes there with our kids and our neighbors !



Respondent No: 304

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 19:19:45 pm

Last Seen: Sep 01, 2022 19:19:45 pm

IP Address: n/a

Q1. **First and Last Name**

Dave Hunt

Q2. **Address**

7450 Cahill Road, Edina. 55439

Q3. **Comment**

I support the proposed variance. I want a restaurant built on the site.



Respondent No: 305

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 19:29:03 pm

Last Seen: Sep 01, 2022 19:29:03 pm

IP Address: n/a

Q1. **First and Last Name**

Natalie Long

Q2. **Address**

4521 Rutledge Ave Edina MN 55436

Q3. **Comment**

Please support the rezoning of this site for a restaurant!! It would be a wonderful family-friendly addition to the neighborhood.



Respondent No: 306

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 20:01:10 pm

Last Seen: Sep 01, 2022 20:01:10 pm

IP Address: n/a

Q1. **First and Last Name**

Marita Simmons

Q2. **Address**

6600 Gleason Road

Q3. **Comment**

Totally in favor of a charming restaurant on this side of town!



Respondent No: 307

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 20:13:15 pm

Last Seen: Sep 01, 2022 20:13:15 pm

IP Address: n/a

Q1. **First and Last Name**

Biz McShane

Q2. **Address**

Maple Road, Edina

Q3. **Comment**

I support a neighborhood restaurant on Vernon.

**Respondent No:** 308**Login:** Anonymous**Email:** n/a**Responded At:** Sep 01, 2022 20:14:09 pm**Last Seen:** Sep 01, 2022 20:14:09 pm**IP Address:** n/a**Q1. First and Last Name**

Justin Rezac

Q2. Address

5216 Larada Ln

Q3. Comment

Our family 100% supports the redevelopment of the 6016 Vernon site into the proposed neighborhood restaurant business. The Parkwood Knolls and surrounding area is a very close community of friends and neighbors. The one thing that is lacking is a public place for neighbors to gather and connect. The area is what is called a food desert. There is no walkable options and this would be the perfect site to develop into a community gathering and social venue. It would also provide an excellent opportunity for local youth to find employment in a safe and close to home location with various positions of host/hostess, servers, dishwashers, cooks, etc. Please listen to the overwhelming MAJORITY of neighbors that have fully supported the proposed restaurant development and approve it to move forward. Thank you, Justin R.



Respondent No: 309

Login: Anonymous

Email: n/a

Responded At: Sep 01, 2022 20:21:01 pm

Last Seen: Sep 01, 2022 20:21:01 pm

IP Address: n/a

Q1. **First and Last Name**

Kathleen Froemming

Q2. **Address**

5317 W 60th St Edina MN 55436

Q3. **Comment**

Restaurant. It's what the community has chosen.



Respondent No: 310

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 04:17:35 am

Last Seen: Sep 02, 2022 04:17:35 am

IP Address: n/a

Q1. **First and Last Name**

Bryce Wernsman

Q2. **Address**

6004 Shane Drive

Q3. **Comment**

We look forward to dining with our friends and family at the Westside Cafe! The plans look great and well thought out for both the neighbors and patrons.



Respondent No: 311

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 05:27:19 am

Last Seen: Sep 02, 2022 05:27:19 am

IP Address: n/a

Q1. **First and Last Name**

Jolene Lew

Q2. **Address**

6029 Killarney Lane, Edina 55436

Q3. **Comment**

Our family fully supports rezoning this area to create a restaurant. We believe a stronger sense of community will grow in this part of Edina if given a place to gather than just our individual homes. We also ask you to consider emphasizing a bike line on Vernon in general but with this restaurant it can allow for a safer flow of bikers to and from Bredesen. Thank you!



Respondent No: 312

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 05:31:13 am

Last Seen: Sep 02, 2022 05:31:13 am

IP Address: n/a

Q1. **First and Last Name**

Alan Hintermeister

Q2. **Address**

6115 Lincoln Drive #248, Edina, MN

Q3. **Comment**

I support the property at 6016 Vernon Ave being a restaurant.



Respondent No: 313

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 06:14:26 am

Last Seen: Sep 02, 2022 06:14:26 am

IP Address: n/a

Q1. **First and Last Name**

Carly Welliver

Q2. **Address**

5211 Larada Lane, Edina, MN 55436

Q3. **Comment**

My family and I are so excited about the idea of having a restaurant on this side of town that we can walk and bike to. Please rezone this site for the beautiful restaurant that has been proposed. Edina does not need anymore multi-housing buildings!!!



Respondent No: 314

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 06:25:37 am

Last Seen: Sep 02, 2022 06:25:37 am

IP Address: n/a

Q1. **First and Last Name**

Mike McLenighan

Q2. **Address**

6004 Leslee Lane

Q3. **Comment**

We would love the addition of a restaurant of some sort that we can actually walk to!



Respondent No: 315

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 06:40:57 am

Last Seen: Sep 02, 2022 06:40:57 am

IP Address: n/a

Q1. **First and Last Name**

Bronson Broer

Q2. **Address**

5716 Wycliffe Rd, Edina

Q3. **Comment**

Westside Cafe would serve to help fill a much needed gap in restaurant options in this part of the city. Our family would welcome having a neighborhood food option that is walkable, along with providing a place to gather and meet others in the neighborhood. We are a strong proponent of these variances being granted and this project moving forward!



Respondent No: 316

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 07:56:12 am

Last Seen: Sep 02, 2022 07:56:12 am

IP Address: n/a

Q1. **First and Last Name**

Ann MacDonald

Q2. **Address**

6133 Blake Ridge Road

Q3. **Comment**

Love the proposed restaurant - perfect for our neighborhood. I am a "yes" for this restaurant!



Respondent No: 317

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 08:12:58 am

Last Seen: Sep 02, 2022 08:12:58 am

IP Address: n/a

Q1. **First and Last Name**

Etienne Laubignat

Q2. **Address**

6028 Kaymar Drive

Q3. **Comment**

We have a young family on Kaymar drive and are very excited about a Cafe potentially opening up. A lot of people are attracted to the walkability of east Edina and this would bring that amenity to the west side. We also feel multi family housing of any sort would bring more congestion and traffic than a restaurant would. We are very excited about a potential community gathering spot and are very in favor of this project!



Respondent No: 318

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 08:26:10 am

Last Seen: Sep 02, 2022 08:26:10 am

IP Address: n/a

Q1. **First and Last Name**

Scott McGarvey

Q2. **Address**

4603 Oak Drive Edina

Q3. **Comment**

I am in favor of the Westside Cafe restaurant concept. Local fare will be a valuable asset to Edina.



Respondent No: 319

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 08:53:14 am

Last Seen: Sep 02, 2022 08:53:14 am

IP Address: n/a

Q1. **First and Last Name**

Jim Davis

Q2. **Address**

6105 Jeffrey lane

Q3. **Comment**

I am 100% in favor of a restaurant going into this space. It would help strengthen the community and give residents a local place to call their own. Anything I can do to ensure the successful implementation of this plan, I will gladly volunteer my time.



Respondent No: 320

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 10:05:27 am

Last Seen: Sep 02, 2022 10:05:27 am

IP Address: n/a

Q1. **First and Last Name**

Heather Held

Q2. **Address**

5409 countryside road edina

Q3. **Comment**

We support a restaurant going here



Respondent No: 321

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 10:08:51 am

Last Seen: Sep 02, 2022 10:08:51 am

IP Address: n/a

Q1. **First and Last Name**

Martha Schultz

Q2. **Address**

6104 Blake Ridge Road

Q3. **Comment**

I support the rezoning of this location from PCD-4 to PCD-1 to accommodate a beautiful new yummy neighborhood restaurant. My family, friends and I will visit regularly. We need this in our lives, not more Edina housing. Thank you for working to make this happen!



Respondent No: 322

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 10:12:12 am

Last Seen: Sep 02, 2022 10:12:12 am

IP Address: n/a

Q1. **First and Last Name**

Peter Williams

Q2. **Address**

6109 Olinger Blvd

Q3. **Comment**

My wife and I have lived here in Countryside for 1 year and we were spoiled at our last home with how many places we could walk to for dining. Western Edina is in a food desert, and we support the community hub plan of Westside Cafe where neighbors can meet and chat over a coffee.



Respondent No: 323

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 13:23:40 pm

Last Seen: Sep 02, 2022 13:23:40 pm

IP Address: n/a

Q1. **First and Last Name**

Arlyne Cook

Q2. **Address**

5604 Abbott Avenue South

Q3. **Comment**

As someone who has lived in Edina for 71 years, I think a restaurant in this site would be a great idea. The last thing Edina needs is more multifamily housing.



Respondent No: 324

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 13:48:49 pm

Last Seen: Sep 02, 2022 13:48:49 pm

IP Address: n/a

Q1. **First and Last Name**

Angela Laubignat

Q2. **Address**

6028 Kaymar Dr

Q3. **Comment**

A neighborhood cafe would be a great addition! We would look forward to weekend brunch dates with our kids and friends. Parking would be the only concern so as long as a solution is determined for that, we are excited about the restaurant option!



Respondent No: 325

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 14:21:51 pm

Last Seen: Sep 02, 2022 14:21:51 pm

IP Address: n/a

Q1. **First and Last Name**

Dena Angelos

Q2. **Address**

5713 continental dr

Q3. **Comment**

I would love to see this site become a restaurant.



Respondent No: 326

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 15:15:35 pm

Last Seen: Sep 02, 2022 15:15:35 pm

IP Address: n/a

Q1. **First and Last Name**

Judith Straub

Q2. **Address**

6221 Idylwood Lane, Edina MN 55436

Q3. **Comment**

We would love to have a neighborhood restaruant that we could walk to. It's needed in this neighborhood! Thank you!



Respondent No: 327

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 15:23:45 pm

Last Seen: Sep 02, 2022 15:23:45 pm

IP Address: n/a

Q1. **First and Last Name**

Jim DeBuse

Q2. **Address**

5608 Warden Ave edina

Q3. **Comment**

I strongly support the variance and zoning and other approvals necessary for this location to become a restaurant. I am a resident of the countryside neighborhood and we would love to be able to walk or bike to this location. The 50th and Vernon area doesn't have much in the way of restaurants and isn't that easy to get to with lack of safe bike lanes. We would welcome another neighborhood eating option and have no concerns about noise, parking, etc.



Respondent No: 328

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 16:47:23 pm

Last Seen: Sep 02, 2022 16:47:23 pm

IP Address: n/a

Q1. **First and Last Name**

Erin Mills

Q2. **Address**

5429 Highwood Dr. W.

Q3. **Comment**

We fully support and are very excited about the potential for a neighborhood restaurant to go into this space. Please allow these individuals who are passionate about bringing restaurant offerings to communities to proceed with their plan, which was overwhelmingly supported via their poll. None of the other offerings had any support from folks in the neighborhood.



Respondent No: 329

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 18:11:32 pm

Last Seen: Sep 02, 2022 18:11:32 pm

IP Address: n/a

Q1. **First and Last Name**

Lana Peterson

Q2. **Address**

4500 Garrison LN, Edina 55424

Q3. **Comment**

I support this building becoming a restaurant! We have a similar situation with the old gas station becoming Town Hall and it is the jewel of the neighborhood. Our town needs more locally owned restaurants and this would be a great addition.



Respondent No: 330

Login: Anonymous

Email: n/a

Responded At: Sep 02, 2022 19:47:31 pm

Last Seen: Sep 02, 2022 19:47:31 pm

IP Address: n/a

Q1. **First and Last Name**

Kirsti Wenner

Q2. **Address**

5025 Nob Hill Drive

Q3. **Comment**

Would love to see a restaurant in this space.



Respondent No: 331

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 05:07:21 am

Last Seen: Sep 03, 2022 05:07:21 am

IP Address: n/a

Q1. **First and Last Name**

GREGORY B WRIGHT

Q2. **Address**

6705 FIELD WAY

Q3. **Comment**

As a Parkwood Knolls resident since 1986, I would love to have a small restaurant that I could walk to. I strongly support the revised plan for this project.



Respondent No: 332

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 06:06:48 am

Last Seen: Sep 03, 2022 06:06:48 am

IP Address: n/a

Q1. **First and Last Name**

Brandon Lew

Q2. **Address**

6029 Killarney Ln S

Q3. **Comment**

This is a great opportunity to add walkable dining options for this neighborhood (increases the number of walkable options within 1 mile by 100% (only Olive's), and improve an existing site that has been an eyesore for years with automobiles under repair sitting out in various states of disrepair.



Respondent No: 333

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 07:25:09 am

Last Seen: Sep 03, 2022 07:25:09 am

IP Address: n/a

Q1. **First and Last Name**

Linda Mount

Q2. **Address**

6115 Lincoln Drive

Q3. **Comment**

I would love to see the restaurant as planned for the site where Keven Keys garage was. It is well appointed and seems to be a good use for that property. Edina needs more restaurants .



Respondent No: 334

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 07:26:22 am

Last Seen: Sep 03, 2022 07:26:22 am

IP Address: n/a

Q1. **First and Last Name**

Anne Schulze

Q2. **Address**

6133 Sherman Circle

Q3. **Comment**

I support this project.



Respondent No: 335

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 07:54:06 am

Last Seen: Sep 03, 2022 07:54:06 am

IP Address: n/a

Q1. **First and Last Name**

Ted Wrobel

Q2. **Address**

6320 Post Lane Edina

Q3. **Comment**

We fully support a restaurant on Vernon. This would be such a draw to the surrounding community.



Respondent No: 336

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 09:03:01 am

Last Seen: Sep 03, 2022 09:03:01 am

IP Address: n/a

Q1. **First and Last Name**

Kari Lessard

Q2. **Address**

6921 Moccasin Valley Road

Q3. **Comment**

Would love to see this space become a restaurant or cafe. Need to have more locally owned options on the west side of Edina!



Respondent No: 337

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 09:19:47 am

Last Seen: Sep 03, 2022 09:19:47 am

IP Address: n/a

Q1. **First and Last Name**

Michael Lessard

Q2. **Address**

6921 Moccasin Valley Rd, Edina

Q3. **Comment**

What a great idea! Our family would enjoy a restaurant in this location.



Respondent No: 338

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 12:09:51 pm

Last Seen: Sep 03, 2022 12:09:51 pm

IP Address: n/a

Q1. **First and Last Name**

Darcy Dahnert

Q2. **Address**

7414 Cahill Road, Edina

Q3. **Comment**

A neighborhood restaurant will be a great addition to the 6016 Vernon site! I walk around Bredesen Park and look forward to having a spot to enjoy a meal with friends. It will be a great way to build new relationships with other neighbors in the community. Please approve the rezoning request!



Respondent No: 339

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 12:51:04 pm

Last Seen: Sep 03, 2022 12:51:04 pm

IP Address: n/a

Q1. **First and Last Name**

Jacqueline DeBuse

Q2. **Address**

5608 Warden Avenue

Q3. **Comment**

We would love to see more development west on Vernon that we can enjoy with our family and neighbors. The rezoning would allow us to support businesses right within our neighborhood.



Respondent No: 340

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 13:43:48 pm

Last Seen: Sep 03, 2022 13:43:48 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah and Daniel Quayle

Q2. **Address**

6728 Indian hills rd Edina MN 55439

Q3. **Comment**

We are very much in support of this restaurant and really appreciate the new owners efforts to listen and work with the community.



Respondent No: 341

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 18:08:26 pm

Last Seen: Sep 03, 2022 18:08:26 pm

IP Address: n/a

Q1. **First and Last Name**

Susan Huff

Q2. **Address**

7429 Hyde Park Ln 55439

Q3. **Comment**

Please allow a restaurant at 6016 Vernon! It will be a great addition to our community



Respondent No: 342

Login: Anonymous

Email: n/a

Responded At: Sep 03, 2022 19:00:13 pm

Last Seen: Sep 03, 2022 19:00:13 pm

IP Address: n/a

Q1. **First and Last Name**

Nicole OGara

Q2. **Address**

5203 Grandview Ln

Q3. **Comment**

Restaurant Please!!!



Respondent No: 343

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 03:44:14 am

Last Seen: Sep 04, 2022 03:44:14 am

IP Address: n/a

Q1. **First and Last Name**

James Nasby

Q2. **Address**

5809 Vernon Lane, Edina, MN 55436

Q3. **Comment**

I think a Resturant at this location would be great idea!!!



Respondent No: 344

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 04:25:24 am

Last Seen: Sep 04, 2022 04:25:24 am

IP Address: n/a

Q1. **First and Last Name**

Randy Reese

Q2. **Address**

6075 Blake Ridge Road

Q3. **Comment**

I would love to see a restaurant close to my home. We dont have many options in this area. My vote is yes, please.



Respondent No: 345

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 05:19:48 am

Last Seen: Sep 04, 2022 05:19:48 am

IP Address: n/a

Q1. **First and Last Name**

Lindsay Swenson

Q2. **Address**

6501 Indian Hills Road Edina 55439

Q3. **Comment**

We feel that an addition of a restaurant at this location would be great for the neighborhood and the Edina community as a whole.



Respondent No: 346

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 07:43:40 am

Last Seen: Sep 04, 2022 07:43:40 am

IP Address: n/a

Q1. **First and Last Name**

Benjamin Johnson

Q2. **Address**

6017 View Ln, Edina, MN

Q3. **Comment**

A restaurant within walking distance of my home would be amazing. A neighborhood gathering place would be great and the potential for my kids to find employment near home is an amazing opportunity. I am not a supporter of affordable housing in these neighborhoods. This drags down property values. Let capitalism do it's work.



Respondent No: 347

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 07:53:29 am

Last Seen: Sep 04, 2022 07:53:29 am

IP Address: n/a

Q1. **First and Last Name**

Ann Sheely

Q2. **Address**

5905 Grove Street, Edina, 55436

Q3. **Comment**

I am excited for this local restaurant! We could easily walk to it. We do walk up to Hilltop for meals, but this would be much closer. Developing this lot into usable, updated usage is a wise way to keep our neighborhood's value and safety. What a great place for local kids to get their first jobs! The plans look very attractive. What a convenient place for us to meet our friends for meals.

**Respondent No:** 348**Login:** Anonymous**Email:** n/a**Responded At:** Sep 04, 2022 08:38:01 am**Last Seen:** Sep 04, 2022 08:38:01 am**IP Address:** n/a**Q1. First and Last Name**

Catharine Williamson

Q2. Address

24033 Hubbard Dr Park Rapids MN 56470

Q3. Comment

Hello, We lived in the 55436 Zip code for 36 years. We sold our house on Idylwood Lane May 2022. This neighborhood would love and benefit from the Kevin Kee's site being developed into a restaurant! I have voiced our positive feelings in previous surveys. Many of Edina's neighborhoods have a neighborhood restaurant -- this neighborhood is deserving of their own neighbor restaurant. We may purchase again in the 55436 zip code. We want to express our very positive and enthusiastic feelings that this development be allowed to proceed! Feel free to contact us. Dr. Stanley and Catharine Williamson, former residents of 6213 Idylwood Lane 612-518-0776 Thank You!



Respondent No: 349

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 09:32:28 am

Last Seen: Sep 04, 2022 09:32:28 am

IP Address: n/a

Q1. **First and Last Name**

Ken Hartwell

Q2. **Address**

6710 Vernon Ave S #210 Edina MN 55436

Q3. **Comment**

We need a restaurant in this part of town or it is convenient to drop by and have an outdoor patio that we can enjoy.



Respondent No: 350

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 10:09:00 am

Last Seen: Sep 04, 2022 10:09:00 am

IP Address: n/a

Q1. **First and Last Name**

Gail Carlson

Q2. **Address**

5208 Glengarry Parkway Edina 55436

Q3. **Comment**

Love the Restaurant Concept! I live in the neighborhood and look forward to walking to the restaurant.



Respondent No: 351

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 11:09:36 am

Last Seen: Sep 04, 2022 11:09:36 am

IP Address: n/a

Q1. **First and Last Name**

Debra Decker

Q2. **Address**

5812 Merold Drive

Q3. **Comment**

The west side of Edina sorely lacks restaurants/prepared food options. The Kevin Kees site provides the perfect opportunity for a reasonably sized, locally owned, neighborhood supported restaurant/ gathering spot. With the current development in Edina, small local restaurants/food service places like The Neighborhood Ice Cream Shop (which was so wildly popular!) are being lost. This is an opportunity to create a much needed locally owned non-chain business that the community backs and will support.



Respondent No: 352

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 11:11:58 am

Last Seen: Sep 04, 2022 11:11:58 am

IP Address: n/a

Q1. First and Last Name

Eric Goad

Q2. Address

5904 View Ln.

Q3. Comment

Unlike Country Club area, we have NO restuarants walking distance ,let alone a neighbor hood feel .This concept would be much appreciated by neighbors and enhance desirability to live or purchase a home here . Small eating /drinking venues in neighboring Minneapolis (just east of France & 44th and Linden Hills) have been embraced by neighbors and added to appeal of neighborhood. Myself and neighbors really hope this project can proceed. I live on 5900 block of View Lane.



Respondent No: 353

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 13:17:36 pm

Last Seen: Sep 04, 2022 13:17:36 pm

IP Address: n/a

Q1. **First and Last Name**

Karen Bartz

Q2. **Address**

6650 Vernon Ave S. Apt 404

Q3. **Comment**

The addition of a restaurant would be a great asset to the neighborhood to enable it to be walking distance from the surrounding area. I wholeheartedly endorse the changes necessary to make this possible.



Respondent No: 354

Login: Anonymous

Email: n/a

Responded At: Sep 04, 2022 21:22:50 pm

Last Seen: Sep 04, 2022 21:22:50 pm

IP Address: n/a

Q1. **First and Last Name**

Monica Zona Mero

Q2. **Address**

4606 Oak Drive

Q3. **Comment**

I am 100% behind the plan to open up a neighborhood restaurant in the Kevin Kee's space. We live near Town Hall and it has been such a positive, fun gathering space for neighbors and others in the area. The restaurant will help bring communities and families together. The area also could use a restaurant. We do not need anymore apartments and there are 3 gas stations just down the road on Vernon. My whole family is excited about the proposed project!



Respondent No: 355

Login: Anonymous

Email: n/a

Responded At: Sep 05, 2022 05:42:17 am

Last Seen: Sep 05, 2022 05:42:17 am

IP Address: n/a

Q1. **First and Last Name**

Kimberly Day

Q2. **Address**

5608 Heather Lane

Q3. **Comment**

I would LOVE to have a restaurant in my neighborhood that my family could walk to and enjoy..



Respondent No: 356

Login: Anonymous

Email: n/a

Responded At: Sep 05, 2022 08:26:04 am

Last Seen: Sep 05, 2022 08:26:04 am

IP Address: n/a

Q1. **First and Last Name**

Bob Frerker

Q2. **Address**

6115 Lincoln Drive,, #247, Edina, MN 55436

Q3. **Comment**

We feel that a neighborhood restaurant would be a great addition to our area. With the recent addition of Olive's to our neighborhood we have enjoyed many evenings of walking to the establishment. We would love to see the same opportunity at the former Kevin Kee's site.



Respondent No: 357

Login: Anonymous

Email: n/a

Responded At: Sep 05, 2022 09:23:35 am

Last Seen: Sep 05, 2022 09:23:35 am

IP Address: n/a

Q1. **First and Last Name**

Rita Zinn

Q2. **Address**

6600 Field way

Q3. **Comment**

I support the reataurant proposal!



Respondent No: 358

Login: Anonymous

Email: n/a

Responded At: Sep 05, 2022 10:26:36 am

Last Seen: Sep 05, 2022 10:26:36 am

IP Address: n/a

Q1. **First and Last Name**

Tom Nevers

Q2. **Address**

6012 Kaymar Drive

Q3. **Comment**

My Family and I are Extremely Supportive of this idea. Living close to the area I know this will be fantastic for the families living in the surrounding area. Selling Real Estate for 20+ years I know this will add Value to the homes around because of the walk-a-bility to have a nice meal/Time.

**Respondent No:** 359**Login:** Anonymous**Email:** n/a**Responded At:** Sep 05, 2022 13:58:25 pm**Last Seen:** Sep 05, 2022 13:58:25 pm**IP Address:** n/a**Q1. First and Last Name**

Kelly Edwards

Q2. Address

6137 Blake Ridge Rd

Q3. Comment

I think that asking for many and massive variances to existing setback rules to be approved in order to support the current restaurant design is unacceptable. 35 feet down to only ONE foot??!! 10 ft down to Zero??!! ZERO??? 25 ft down to 5??!! How'd you like to be the homeowners right next to these proposed exceptions? YOU WOULDN'T!! Tweak the design to fit in the space better (!) without these extreme variances to existing codes, standards, and usage category. New and existing Edina neighborhood residents should be able to count on some semblance of code adherence when investing in their family's home. That's not too much to ask, and a pretty low bar. Also, you'll need to address the speed limit on Vernon. 40 mph near this location—when adding new restaurant traffic—is literally an accident waiting to happen.



Respondent No: 360

Login: Anonymous

Email: n/a

Responded At: Sep 05, 2022 19:15:05 pm

Last Seen: Sep 05, 2022 19:15:05 pm

IP Address: n/a

Q1. **First and Last Name**

Karen Rulifson

Q2. **Address**

5604 Heather Lane, Edina. 55436

Q3. **Comment**

I am excited for the possibility of having a restaurant in the former Kevin Kee's location, and support re-zoning the property to accommodate a restaurant establishment. My family lives just over a block away from the property and would enjoy and find useful having a neighborhood restaurant right down the street. I also think it would help build community in the neighborhood.



Respondent No: 361

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 06:29:11 am

Last Seen: Sep 06, 2022 06:29:11 am

IP Address: n/a

Q1. **First and Last Name**

dave carter

Q2. **Address**

5613 gate park road

Q3. **Comment**

I would like to see a dining restaurant on the Kevin Kee site. It would be a great neighborhood addition.



Respondent No: 362

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 06:29:17 am

Last Seen: Sep 06, 2022 06:29:17 am

IP Address: n/a

Q1. **First and Last Name**

Laurie Kuyath

Q2. **Address**

6103 Jeffrey Lane

Q3. **Comment**

I highly recommend this restaurant project. Living in the neighborhood, near the site, I believe a place to gather, share a meal will help create a more unified neighborhood on the west side. The plans are well thought out. Vernon Avenue can handle any increased movement. It will improve the beauty of this area. A restaurant is needed.



Respondent No: 363

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 07:56:46 am

Last Seen: Sep 06, 2022 07:56:46 am

IP Address: n/a

Q1. **First and Last Name**

Lindsey Thiss

Q2. **Address**

6744 Indian Way W, Edina MN 55439

Q3. **Comment**

I think adding a family restaurant to this site location would be great for the Edina community and would be a welcome new establishment to our community. We completely support this site plans for a cafe/restaurant at this location.



Respondent No: 364

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 08:25:08 am

Last Seen: Sep 06, 2022 08:25:08 am

IP Address: n/a

Q1. **First and Last Name**

Bill Johnson

Q2. **Address**

6201 Parkwood Road

Q3. **Comment**

I am in favor of granting the zoning changes and code variances required to transition the site from an auto repair to a restaurant. The preliminary plans show that the proposed restaurant owners have taken care to reduce the impact of the restaurant on the neighbors, added many plantings to improve site aesthetics, and included rain gardens to mitigate stormwater runoff.



Respondent No: 365

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 09:13:35 am

Last Seen: Sep 06, 2022 09:13:35 am

IP Address: n/a

Q1. **First and Last Name**

Jill Gierach

Q2. **Address**

5509 Hunter Street

Q3. **Comment**

We would love to see a restaurant near us (Countryside neighborhood). There's nothing in far west Edina, and we'd love to support a local restaurant!



Respondent No: 366

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 10:03:33 am

Last Seen: Sep 06, 2022 10:03:33 am

IP Address: n/a

Q1. **First and Last Name**

Stephanie Pullen

Q2. **Address**

7005 Sally Ln, Edina, MN

Q3. **Comment**

Having a family-friendly restaurant in this location would be so amazing. We are looking forward to biking there with our kids and meeting up with friends! We don't have a lot of options in our side of town.



Respondent No: 367

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 10:30:16 am

Last Seen: Sep 06, 2022 10:30:16 am

IP Address: n/a

Q1. **First and Last Name**

Kyle Wheaton

Q2. **Address**

6400 Parkwood Road

Q3. **Comment**

This would be a nice addition to the neighborhood.



Respondent No: 368

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 13:16:45 pm

Last Seen: Sep 06, 2022 13:16:45 pm

IP Address: n/a

Q1. **First and Last Name**

Jane Reichert

Q2. **Address**

5701 Schaefer Road, 55436

Q3. **Comment**

As a near by resident, I am in support of having a restaurant at this site. I think it would be great for this side of town and would love to have this option.



Respondent No: 369

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 13:30:41 pm

Last Seen: Sep 06, 2022 13:30:41 pm

IP Address: n/a

Q1. **First and Last Name**

Betsy thompson

Q2. **Address**

6612 Dovre Dr

Q3. **Comment**

Would absolutely love to see a neighborhood restaurant in our area. There just aren't many options on this side of town. To have a place where we can socialize as a community is extremely valuable to all in the area.



Respondent No: 370

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 13:41:16 pm

Last Seen: Sep 06, 2022 13:41:16 pm

IP Address: n/a

Q1. **First and Last Name**

Betsy Cavanagh

Q2. **Address**

5204 Glengarry Parkway

Q3. **Comment**

We support the rezoning and rebuilding of the Kee's Auto site to the Westside Cafe! We need more offerings on the west side of Highway 100 that are both within walking and biking distance. Thank you!



Respondent No: 371

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 14:19:56 pm

Last Seen: Sep 06, 2022 14:19:56 pm

IP Address: n/a

Q1. **First and Last Name**

Eva May

Q2. **Address**

5209 Ridge Road, Edina

Q3. **Comment**

I am thrilled to hear/see the proposal for a restaurant located at 6016 Vernon Avenue. The renderings look beautiful, and took into account the previous feedback from the neighbors and city. I believe a walkable restaurant for this neighborhood is great for the community and will be well used. Similar to what I have seen with other restaurants in Edina (Town Hall, Olives, Hill Top, Cahill) our Edina people want nice local places to gather. All it can do is improve our neighborhood so I really hope it gets approved!



Respondent No: 372

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 15:01:32 pm

Last Seen: Sep 06, 2022 15:01:32 pm

IP Address: n/a

Q1. **First and Last Name**

Jennifer Patterson

Q2. **Address**

5213 W 61st St

Q3. **Comment**

The dining venue proposed for this site would be a welcome addition to the neighborhood!



Respondent No: 373

Login: Anonymous

Email: n/a

Responded At: Sep 06, 2022 18:43:17 pm

Last Seen: Sep 06, 2022 18:43:17 pm

IP Address: n/a

Q1. **First and Last Name**

Monte Mills

Q2. **Address**

5429 Highwood Drive West

Q3. **Comment**

I support the proposed comprehensive plan amendment, rezoning, and variances at 6016 Vernon for the Westside Cafe. This Westside Cafe proposal is a positive change for the community. We don't need an automobile service center, gas station, or car wash at this location. A restaurant is a far better idea. Please approve the proposed comprehensive plan amendment, rezoning, and variances at 6016 Vernon so the Westside Cafe can move forward as soon as possible. Thank you.



Respondent No: 374

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 04:05:18 am

Last Seen: Sep 07, 2022 04:05:18 am

IP Address: n/a

Q1. **First and Last Name**

Mary Loeffelholz

Q2. **Address**

5912 Merold Dr, Edina MN 55436

Q3. **Comment**

We are a nearby resident and support this change in zoning. This would be the first neighborhood amenity that offers an opportunity for neighbors and the local community to gather and is the first walkable hospitality venue in the area. I strongly encourage the zoning request be approved.



Respondent No: 375

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 08:31:56 am

Last Seen: Sep 07, 2022 08:31:56 am

IP Address: n/a

Q1. **First and Last Name**

Carolyn terwilliger

Q2. **Address**

5813 Vernon Lane

Q3. **Comment**

We think a small neighborhood restaurant would be a bonus for our area..... a place for neighbors and friends to gather occasionally! Personally, we would enjoy it very much!



Respondent No: 376

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 08:37:53 am

Last Seen: Sep 07, 2022 08:37:53 am

IP Address: n/a

Q1. **First and Last Name**

Carol Wolfe

Q2. **Address**

6520 Indian Hills Road

Q3. **Comment**

This is a well thought out plan and we fully support local families bringing a great dining option to this side of town.



Respondent No: 377

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 08:49:47 am

Last Seen: Sep 07, 2022 08:49:47 am

IP Address: n/a

Q1. **First and Last Name**

James Frey

Q2. **Address**

5017 Oak Bend Lane Edina 55436

Q3. **Comment**

I am writing to lend my strong support of the proposed restaurant at 6016 Vernon. I was a long-standing customer of Kevin Kee's and I'm enthused to see the site being repurposed for a higher and better use.



Respondent No: 378

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 11:44:16 am

Last Seen: Sep 07, 2022 11:44:16 am

IP Address: n/a

Q1. **First and Last Name**

Jenna Farrell

Q2. **Address**

6200 WESTRIDGE BLVD

Q3. **Comment**

My husband and I are lifelong Edina residents (my husband grew up two blocks from this proposed site!). We are so excited about the prospect of a neighborhood restaurant - to ride bikes to with our kids, to gather with family, to celebrate milestones! This will be such a great addition to our "side" of town!



Respondent No: 379

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 11:53:07 am

Last Seen: Sep 07, 2022 11:53:07 am

IP Address: n/a

Q1. **First and Last Name**

John Farrell

Q2. **Address**

6200 Westridge Blvd. Edina, MN 55436

Q3. **Comment**

This would be a great addition to this part of Edina.



Respondent No: 380

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 11:56:15 am

Last Seen: Sep 07, 2022 11:56:15 am

IP Address: n/a

Q1. **First and Last Name**

Natalie Hunter

Q2. **Address**

5420 Countryside Rd

Q3. **Comment**

We would love to see a restaurant at the old Kevin Kee's auto place!



Respondent No: 381

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 13:37:17 pm

Last Seen: Sep 07, 2022 13:37:17 pm

IP Address: n/a

Q1. **First and Last Name**

Kathleen Allen

Q2. **Address**

6001 Leslee Lane, Edina MN 55436

Q3. **Comment**

We Fully SUPPORT this great neighborhood concept - please help facilitate it moving forward. It seems like there has been plenty of accommodation to the small number of opposing voices, and not a recognition of the great number of us that would love to see this be part of our community. Its what makes the east side so strong, and it would be great to see some of that walkability be permitted and promoted in the west side.



Respondent No: 382

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 18:52:20 pm

Last Seen: Sep 07, 2022 18:52:20 pm

IP Address: n/a

Q1. **First and Last Name**

Ashley Eastman

Q2. **Address**

6204 Loch moor Drive

Q3. **Comment**

This would be perfect to have another neighborhood restaurant in West Edina! Wooden Hill has done remarkably well and I think this location could be another hidden gem! East Edina has many walkable restaurants and that is something we really lack on the west side. Please vote in favor of this project!



Respondent No: 383

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 19:02:12 pm

Last Seen: Sep 07, 2022 19:02:12 pm

IP Address: n/a

Q1. **First and Last Name**

Lesley Anderson

Q2. **Address**

4809 Upper Terrace

Q3. **Comment**

This restaurant would be an absolute asset to our community and increase the value of home surrounding, as is it replacing an eye sore and residents love the wall ability to a restaurant. Edina needs more variety in restaurants and this would provide that.



Respondent No: 384

Login: Anonymous

Email: n/a

Responded At: Sep 07, 2022 19:49:48 pm

Last Seen: Sep 07, 2022 19:49:48 pm

IP Address: n/a

Q1. **First and Last Name**

Lisa Juran

Q2. **Address**

5513 Highwood Drive

Q3. **Comment**

Our family lives about 1 block away from the proposed Westside Cafe. We would be beyond excited to have a restaurant within walkable distance to our home and we would visit the cafe often! Walkability is something that is important to us, but difficult to obtain in Edina. I think the plans that I have seen for the project are very well thought out and that the cafe will fit very nicely into our neighborhood! I am definitely for the rezoning needed to make this cafe a reality!



Respondent No: 385

Login: Anonymous

Email: n/a

Responded At: Sep 08, 2022 05:28:01 am

Last Seen: Sep 08, 2022 05:28:01 am

IP Address: n/a

Q1. **First and Last Name**

Phil Cheney

Q2. **Address**

6244 oriole lane. Edina , MN

Q3. **Comment**

I'd like a restaurant , it would be convenient .



Respondent No: 386

Login: Anonymous

Email: n/a

Responded At: Sep 08, 2022 07:48:29 am

Last Seen: Sep 08, 2022 07:48:29 am

IP Address: n/a

Q1. **First and Last Name**

Bruce Carlson

Q2. **Address**

5208 Glengarry Pkwy

Q3. **Comment**

We've lived in the neighborhood for 33 years and would love to see this walkable/bikeable cafe, coffee, wine and ice cream destination. It has the same feel of the Town Hall Station and think it would be a great addition to the neighborhood. It seems the best of all options to make this a vital location for people to enjoy and meet.



Respondent No: 387

Login: Anonymous

Email: n/a

Responded At: Sep 08, 2022 15:55:25 pm

Last Seen: Sep 08, 2022 15:55:25 pm

IP Address: n/a

Q1. **First and Last Name**

mary jane hackett

Q2. **Address**

5801 Vernon Lane

Q3. **Comment**

I was so excited to receive your email concerning the Kevin Kees property. I am so happy that a restaurant is a real possibility for that property. To have a restaurant that I can walk to would be ideal. It would be such a positive for the neighborhood. Something all could enjoy. I am 100% in favor the plan. Thanks😊



Respondent No: 388

Login: Anonymous

Email: n/a

Responded At: Sep 08, 2022 18:45:53 pm

Last Seen: Sep 08, 2022 18:45:53 pm

IP Address: n/a

Q1. **First and Last Name**

Nicole weber

Q2. **Address**

6201 Idylwood Lane, Edina, Mn

Q3. **Comment**

The neighborhood would be greatly enhanced by an restaurant and gathering place within walking distance of many of the homes.



Respondent No: 389

Login: Anonymous

Email: n/a

Responded At: Sep 08, 2022 19:23:36 pm

Last Seen: Sep 08, 2022 19:23:36 pm

IP Address: n/a

Q1. **First and Last Name**

Nathan Ries

Q2. **Address**

6300 VERNON AVE S

Q3. **Comment**

Would love to see this turned into a restaurant and the other options don't even compare. We live right down the street on Vernon Ave and drive by this location very often. If I were to rank the options in order it would be restaurant, gas station, auto repair then affordable housing and the last three options don't even come close to the restaurant option. My vote is restaurant and my kids and wife agree.



Respondent No: 390

Login: Anonymous

Email: n/a

Responded At: Sep 09, 2022 11:45:22 am

Last Seen: Sep 09, 2022 11:45:22 am

IP Address: n/a

Q1. **First and Last Name**

Brenton Braddock

Q2. **Address**

6024 View Ln

Q3. **Comment**

I am strongly in favor of accommodating the existing request to allow for a restaurant to be placed at 6016 Vernon Avenue. I believe a restaurant at this location would quickly become a popular spot for those that live west of 100. It would be a great spot for neighbors to gather and would be in walking/biking distance of us.



Respondent No: 391

Login: Anonymous

Email: n/a

Responded At: Sep 09, 2022 13:57:15 pm

Last Seen: Sep 09, 2022 13:57:15 pm

IP Address: n/a

Q1. **First and Last Name** Lisa Hoene

Q2. **Address** 5916 Code Ave

Q3. **Comment**

I am in favor of having a restaurant at this site. There are few restaurant options West of Hwy 100 in Edina that aren't in mini-mall settings. It would be nice to have a neighborhood place in walking/biking distance for many West-side Edinians. The new plans look like they have accommodated neighbor input; maybe even improving the privacy vs. the previous business. I'm a fan of this concept and the re-zoning required.



Respondent No: 392

Login: Anonymous

Email: n/a

Responded At: Sep 10, 2022 07:31:59 am

Last Seen: Sep 10, 2022 07:31:59 am

IP Address: n/a

Q1. **First and Last Name**

Brad and Julie Vanhove

Q2. **Address**

5808 Hansen Road Edina, MN

Q3. **Comment**

We are supportive of the plans for a restaurant and site changes to accommodate at 6016 Vernon Ave.



Respondent No: 393

Login: Anonymous

Email: n/a

Responded At: Sep 10, 2022 11:39:04 am

Last Seen: Sep 10, 2022 11:39:04 am

IP Address: n/a

Q1. **First and Last Name**

Noah Simmet

Q2. **Address**

4517 Wooddale Ave, Edina, MN 55424

Q3. **Comment**

I fully support redeveloping 6016 Vernon into a restaurant. It would not only be a great addition to the area, but the entrepreneurial spirit shown by the residents wanting to transform the space is exactly what Edina should support in order to continue to grow as a city.



Respondent No: 394

Login: Anonymous

Email: n/a

Responded At: Sep 10, 2022 21:08:34 pm

Last Seen: Sep 10, 2022 21:08:34 pm

IP Address: n/a

Q1. **First and Last Name**

Sigrid Redpath

Q2. **Address**

5532 Merritt Circle, Edina, MN 55436

Q3. **Comment**

I am very much in favor of the proposed restaurant at the former Kevin Kee's location. It would be a welcome addition to our neighborhood and I appreciate the thoughtful planning and revisions that the restaurant owners have done. We have lived in the neighborhood since 1995 and believe this option of neighborhood dining would be perfect.



Respondent No: 395

Login: Anonymous

Email: n/a

Responded At: Sep 11, 2022 14:43:05 pm

Last Seen: Sep 11, 2022 14:43:05 pm

IP Address: n/a

Q1. **First and Last Name**

Courtney Lucas

Q2. **Address**

6109 Idylwood Drive, Edina

Q3. **Comment**

It would be so lovely to walk from home to a wonderful neighborhood restaurant!



Respondent No: 396

Login: Anonymous

Email: n/a

Responded At: Sep 11, 2022 18:21:28 pm

Last Seen: Sep 11, 2022 18:21:28 pm

IP Address: n/a

Q1. **First and Last Name**

Greg McCullough

Q2. **Address**

5005 Kelsey Terrace, Edina

Q3. **Comment**

I oppose the restaurant proposal for the Vernon Avenue site and I believe that moving the setback from 35 feet down to 1 foot is unreasonable and sets a bad precedent. This is a residential neighborhood and the site is more appropriate for multi-family housing or another use.



Respondent No: 397

Login: Anonymous

Email: n/a

Responded At: Sep 11, 2022 18:50:04 pm

Last Seen: Sep 11, 2022 18:50:04 pm

IP Address: n/a

Q1. **First and Last Name**

Joseph Burke

Q2. **Address**

5816 Ayrshire Blvd

Q3. **Comment**

We live in the Highlands neighborhood where we have invested in sidewalks and improvements to the park. Having the Westside Cafe would create a great opportunity for us to walk to a place to grab a meal on the west side of Edina. This would be a great addition for our neighborhood and I fully support approving variances for this project and moving it forward.



Respondent No: 398

Login: Anonymous

Email: n/a

Responded At: Sep 12, 2022 07:49:22 am

Last Seen: Sep 12, 2022 07:49:22 am

IP Address: n/a

Q1. **First and Last Name**

Diana Geseking

Q2. **Address**

5509 Ridge Park Road

Q3. **Comment**

We would love to see a restaurant in this space and have spoken to a number of our neighbors that also support the rezoning to accommodate the proposed development! This would serve as a wonderful neighborhood gathering site for families and friends.



Respondent No: 399

Login: Anonymous

Email: n/a

Responded At: Sep 12, 2022 08:21:35 am

Last Seen: Sep 12, 2022 08:21:35 am

IP Address: n/a

Q1. **First and Last Name**

Peggy Westfall

Q2. **Address**

7416 Hyde Park Circle

Q3. **Comment**

A restaurant in this spot is a great idea.



Respondent No: 400

Login: Anonymous

Email: n/a

Responded At: Sep 12, 2022 15:23:53 pm

Last Seen: Sep 12, 2022 15:23:53 pm

IP Address: n/a

Q1. First and Last Name

Craig Lagorio

Q2. Address

6009 Idylwood Drive

Q3. Comment

Have several friends that live nearby Town Hall Tavern, Hilltop, and the new Olives Fresh. Love the idea of a neighborhood spot to patronize. I believe it will also provide a convenient location for those living in nearby retirement apartments an opportunity to get out and enjoy some food and human contact with others. My mother in law lives at Avidor near Jerry's and loves being able to walk to Hilltop with others from her apartment. I vote a definite YES in support of this project.



Respondent No: 401

Login: Anonymous

Email: n/a

Responded At: Sep 12, 2022 16:31:38 pm

Last Seen: Sep 12, 2022 16:31:38 pm

IP Address: n/a

Q1. **First and Last Name**

sara olson

Q2. **Address**

5805 Sun Road

Q3. **Comment**

We would like a restaurant that we could walk to and have a space to gather with neighbors

**Respondent No:** 402**Login:** Anonymous**Email:** n/a**Responded At:** Sep 13, 2022 09:31:22 am**Last Seen:** Sep 13, 2022 09:31:22 am**IP Address:** n/a**Q1. First and Last Name**

Richard and Elaine Arnold

Q2. Address

6005 Eden Prairie Rd #109 Edina , MN 55436

Q3. Comment

As residents of Eden Prairie Rd, we are vehemently opposed to the development of Kevin Kees old property to become a restaurant. It would greatly alter the residential aspect of this area to have a commercial property doing business during most hours of the day, serving liquor and having strangers present in the neighborhood. Increased traffic from delivery trucks, customers, workers and the general public puts the children who play here at risk. The noise level, the smell from restaurant garbage, lights after hours all will change this neighborhood forever. We have a "gathering place" at Jerry's to have coffee, meet friends and pick up groceries. We don't need one at this location. One man's profit should not be gained at the expense of so many other others. Also, if this is any indication of what's to come, the trees blew down on this property after a windstorm weeks ago, and the broken branches remain where they fell. It's an eyesore already.



Respondent No: 403

Login: Anonymous

Email: n/a

Responded At: Sep 13, 2022 12:11:42 pm

Last Seen: Sep 13, 2022 12:11:42 pm

IP Address: n/a

Q1. **First and Last Name**

Caron Trierweiler

Q2. **Address**

6244 Brookview Ave

Q3. **Comment**

Please honor the city's comprehensive plan and protecting the integrity of neighborhoods. Edina should not be the place where a restaurant is plopped into the middle of a residential area without adequate parking.



Respondent No: 404

Login: Anonymous

Email: n/a

Responded At: Sep 13, 2022 14:29:05 pm

Last Seen: Sep 13, 2022 14:29:05 pm

IP Address: n/a

Q1. **First and Last Name**

Erika LaDousa

Q2. **Address**

4200 Branson Street, Edina, MN

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant



Respondent No: 405

Login: Anonymous

Email: n/a

Responded At: Sep 14, 2022 05:43:24 am

Last Seen: Sep 14, 2022 05:43:24 am

IP Address: n/a

Q1. **First and Last Name**

Pat Shea

Q2. **Address**

5317 Blake Road, Edina

Q3. **Comment**

I would love to have this in the neighborhood!



Respondent No: 406

Login: Anonymous

Email: n/a

Responded At: Sep 14, 2022 05:52:00 am

Last Seen: Sep 14, 2022 05:52:00 am

IP Address: n/a

Q1. **First and Last Name**

Brian Joy

Q2. **Address**

4208 Branson St, Edina, MN 55424

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant.



Respondent No: 407

Login: Anonymous

Email: n/a

Responded At: Sep 14, 2022 06:22:28 am

Last Seen: Sep 14, 2022 06:22:28 am

IP Address: n/a

Q1. **First and Last Name**

Marilyn Christiansen

Q2. **Address**

6540 Vernon Hills Road S

Q3. **Comment**

Please DO NOT rezone the former Keys Auto Service land for a restaurant! This is a lovely, quiet neighborhood. Housing values will decrease and traffic and noise will increase. It is not a commercial area.



Respondent No: 408

Login: Anonymous

Email: n/a

Responded At: Sep 14, 2022 08:22:40 am

Last Seen: Sep 14, 2022 08:22:40 am

IP Address: n/a

Q1. **First and Last Name**

Eric Hansen

Q2. **Address**

6424 Red Fox Court

Q3. **Comment**

I am writing in full support of the Westside Cafe proposal. I believe it would be a wonderful neighborhood gathering place. I also believe, due the owners concerns and sensitivity to the location, that it would be incorporated into the neighborhood in a collaborative and inclusive (with neighbors input) way. Thank you.



Respondent No: 409

Login: Anonymous

Email: n/a

Responded At: Sep 14, 2022 09:52:11 am

Last Seen: Sep 14, 2022 09:52:11 am

IP Address: n/a

Q1. **First and Last Name**

Chad Trierweiler

Q2. **Address**

6244 Brookview Ave

Q3. **Comment**

I have close friends on Eden Prairie Ave who are very opposed to this restaurant, for reasonable concerns of noise, employee and patron parking on their street, smells of grease/smoke, and decrease in property value for these issues. If I lived at their address adjacent to this restaurant, I would be opposed as well.

**Respondent No:** 410**Login:** Anonymous**Email:** n/a**Responded At:** Sep 14, 2022 19:27:42 pm**Last Seen:** Sep 14, 2022 19:27:42 pm**IP Address:** n/a**Q1. First and Last Name**

Robert Scalia

Q2. Address

5405 Londonderry Rd

Q3. Comment

While the developers state that the neighborhood wants this restaurant, that is not the case. My wife and I are both opposed to this project. The restaurant, along with it's accompanying noise, traffic, deliveries, etc, would have a significant adverse impact on the neighbors along Eden Prairie Road. There's a reason that this site was not zoned for a commercial restaurant. I can't imagine having this plopped into my front yard. How will kids be protected from the increase in traffic and parking behind the restaurant by customers who have been drinking? What noise control will be enacted? This is a neighborhood, not a late night commercial zone and the project should be rejected. Please stick to the intended use of the site as laid out in our city's master plan.



Respondent No: 411

Login: Anonymous

Email: n/a

Responded At: Sep 15, 2022 05:09:24 am

Last Seen: Sep 15, 2022 05:09:24 am

IP Address: n/a

Q1. **First and Last Name**

Mark Sparano

Q2. **Address**

4905 E SUNNYSLOPE RD,

Q3. **Comment**

Too many cars. Lot too small for 59 seat restaurant. Has an environmental study been done since lot was former gas station and auto service station.



Respondent No: 412

Login: Anonymous

Email: n/a

Responded At: Sep 15, 2022 08:01:14 am

Last Seen: Sep 15, 2022 08:01:14 am

IP Address: n/a

Q1. **First and Last Name**

Barbara Meyer

Q2. **Address**

5040 Yvonne Terrace

Q3. **Comment**

I support a small neighborhood restaurant on this site. This area of Edina does not have any dining and or gathering spots. It seems to be a great location to become a walking or biking destination for the community.



Respondent No: 413

Login: Anonymous

Email: n/a

Responded At: Sep 15, 2022 09:04:13 am

Last Seen: Sep 15, 2022 09:04:13 am

IP Address: n/a

Q1. **First and Last Name**

Karl Wilbur

Q2. **Address**

4224 W 70th St. Edina MN 55435

Q3. **Comment**

I believe it is important to honor the city's comprehensive plan and protecting the integrity of neighborhoods

**Respondent No:** 414**Login:** Anonymous**Email:** n/a**Responded At:** Sep 15, 2022 12:28:13 pm**Last Seen:** Sep 15, 2022 12:28:13 pm**IP Address:** n/a**Q1. First and Last Name**

Jeanette Swofford

Q2. Address

6017 Kaymar Drive

Q3. Comment

Good afternoon, I'm writing to express my concerns about the proposed Westside Café at 6016 Vernon Avenue. For the approximately fifty years that I have lived on Kaymar, one house from the proposed restaurant location, this has been a peaceful, safe neighborhood where children ride bikes safely and families walk with strollers and pets. If the overflow from the limited restaurant parking spots occurs, it will be on our streets, Eden Prairie Road and Kaymar Dr. They will no longer be the safe and peaceful residential streets where we purchased or thought we purchased our homes. Some of us have enjoyed this great neighborhood for many years, and want to continue the safety and peace we have enjoyed so far. But many of us are new, young families, just beginning to raise our children with the expectation that the great character of the neighborhood will remain, something that one expects from a settled and well-run suburb such as Edina. I have always been able to say without reservations to newcomers, "Welcome, you'll love this neighborhood." I hope that continues. Additional thoughts about safety are the following: school buses have several stops on these streets and picking up children among parked cars is certainly less safe than it should be. The turnoff to the restaurant, on a 40 mph county road, would also not be safe. The small parking lot will quickly fill, and patrons turning in (and the delivery trucks that resupply the restaurant) will be backing up onto Vernon. Support from the restaurant comes in large part from those who are far enough away that they will not experience restaurant parking on their streets. They will risk nothing! Thank you for your consideration, Janette Swofford
6017 Kaymar Drive, Edina



Respondent No: 415

Login: Anonymous

Email: n/a

Responded At: Sep 15, 2022 12:44:14 pm

Last Seen: Sep 15, 2022 12:44:14 pm

IP Address: n/a

Q1. **First and Last Name**

Kirsten and Meehan

Q2. **Address**

5212 Birchcrest Dr

Q3. **Comment**

As an Edina resident outside of this neighborhood, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant. I would hate to see that neighborhood overtaken with cars and late night lights/noise as it's surrounded on all sides by homes.



Respondent No: 416

Login: Anonymous

Email: n/a

Responded At: Sep 15, 2022 21:24:11 pm

Last Seen: Sep 15, 2022 21:24:11 pm

IP Address: n/a

Q1. **First and Last Name**

Karen Bertulli

Q2. **Address**

4501 Vandervork Ave

Q3. **Comment**

I support the Westside Cafe.

**Respondent No:** 417**Login:** Anonymous**Email:** n/a**Responded At:** Sep 16, 2022 06:44:05 am**Last Seen:** Sep 16, 2022 06:44:05 am**IP Address:** n/a**Q1. First and Last Name**

Nancy Scherer

Q2. Address

6105 Eden Prairie Rd, #32

Q3. Comment

Please do not allow the Keyes site restaurant development proposal to continue. It will irreparably change and harm a quiet, cul-de-sac residential neighborhood that is guided single and multi-family residential in Edina's Comprehensive Plan. The builder is asking for multiple set back variances, parking variances, and a modification to the Comprehensive Plan. This clearly is trying to force a bad plan onto a parcel that is too small. I do not know of any other 100% residential neighborhood in Edina with no commercial node or adjacent strip mall that has been asked to give up quiet, clean air, and parkable streets to appease a developer. The value of our property will be reduced if this is built.



Respondent No: 418

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 07:57:52 am

Last Seen: Sep 16, 2022 07:57:52 am

IP Address: n/a

Q1. **First and Last Name**

Will Irwin

Q2. **Address**

6025 Kaymar Drive

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant.



Respondent No: 419

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 08:03:41 am

Last Seen: Sep 16, 2022 08:03:41 am

IP Address: n/a

Q1. **First and Last Name**

Sheena Perry

Q2. **Address**

9214 Fawnridge Circle, Bloomington, MN 55437

Q3. **Comment**

What an asset to the city a restaurant in this empty and abandoned space would be. Bringing a local dining establishment to this area is just the ticket!



Respondent No: 420

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 08:24:01 am

Last Seen: Sep 16, 2022 08:24:01 am

IP Address: n/a

Q1. **First and Last Name**

Jeremie Kass

Q2. **Address**

6016 Kaymar Drive, Edina, MN

Q3. **Comment**

I am against this proposal. I live in the neighborhood immediately next to the proposed restaurant. The requested zoning change is not consistent with the comprehensive plan for our area. This is a residential area - there is insufficient room, no parking, and no buffer with adjacent residential for a neighborhood node. This property should be redeveloped as intended in the comprehensive plan and turned into housing. The requested zone change is not consistent with surrounding uses.



Respondent No: 421

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 08:32:23 am

Last Seen: Sep 16, 2022 08:32:23 am

IP Address: n/a

Q1. **First and Last Name** Tom Kohlby

Q2. **Address** 6004 Kaymar Drive

Q3. **Comment**

This is to express my strong opposition to the proposed restaurant on the former Kevin Keyes auto repair site. My wife and I live two lots away at 6004 Kaymar Drive, and rezoning the site to allow a commercial restaurant with insufficient parking would totally ruin our neighborhood atmosphere and housing values. I urge the Planning Commission and the City Council to reject this proposal! Sincerely, Tom Kohlby



Respondent No: 422

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 08:43:19 am

Last Seen: Sep 16, 2022 08:43:19 am

IP Address: n/a

Q1. First and Last Name

Kelly Wellborn

Q2. Address

6008 Eden Prairie Rd

Q3. Comment

A restaurant will change the nature of the neighborhood. The noise, parking issues, and related restaurant smells are just some of the negatives that will come with the restaurant. Another issue is that the owners of the land are not attending to property which includes; the fallen tree, weeds in the parking lot, unkempt fencing. As the owners of the property have stated, they live in the area. If they live in the area, why aren't they maintaining the property while the zoning is discussed? We purchased our home more than 10 years ago. Kevin Kees was always a good neighbor and maintained his property with respect to his neighbors. The open hours were during the daytime, there was no noise or smell to contend with. The city's plan was to rezone this parcel to residential upon a sale. Please respect the Comprehensive plan.



Respondent No: 423

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:04:33 am

Last Seen: Sep 16, 2022 09:04:33 am

IP Address: n/a

Q1. **First and Last Name**

Alyson Weiss

Q2. **Address**

5801 Ashcroft Avenue

Q3. **Comment**

Would love to have a restaurant west of 100!



Respondent No: 424

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:05:43 am

Last Seen: Sep 16, 2022 09:05:43 am

IP Address: n/a

Q1. **First and Last Name**

Bill Halter

Q2. **Address**

5920 View Lane

Q3. **Comment**

I would love to see the restaurant project allowed to go through. They have a great plan and I believe the restaurant would be a much needed addition to our neighborhood. Thank you!



Respondent No: 425

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:06:07 am

Last Seen: Sep 16, 2022 09:06:07 am

IP Address: n/a

Q1. **First and Last Name**

John Gonsior

Q2. **Address**

5812 Hidden Ln

Q3. **Comment**

I think the neighborhood could really use a restaurant. A welcome change and it would add some vibrancy to our city. I strongly support this move



Respondent No: 426

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:07:05 am

Last Seen: Sep 16, 2022 09:07:05 am

IP Address: n/a

Q1. **First and Last Name**

Brooke Moss

Q2. **Address**

6656 Parkwood Road

Q3. **Comment**

This neighborhood could benefit greatly from a family oriented restaurant.



Respondent No: 427

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:08:23 am

Last Seen: Sep 16, 2022 09:08:23 am

IP Address: n/a

Q1. **First and Last Name**

Monica Mccarthy

Q2. **Address**

6000 Dublin Circle

Q3. **Comment**

The restaurant idea seems to be a better fit . It's charming and walkable , close to bike trail ..



Respondent No: 428

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:10:12 am

Last Seen: Sep 16, 2022 09:10:12 am

IP Address: n/a

Q1. **First and Last Name**

Alex McKenna

Q2. **Address**

6241 Knoll Drive

Q3. **Comment**

Would love to see a neighborhood restaurant we can walk and bike to!



Respondent No: 429

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:12:07 am

Last Seen: Sep 16, 2022 09:12:07 am

IP Address: n/a

Q1. **First and Last Name**

Kim Bartodziej

Q2. **Address**

5225 W. 61st Street Edina

Q3. **Comment**

I'm excited for a neighborhood restaurant the plan looks good



Respondent No: 430

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:12:08 am

Last Seen: Sep 16, 2022 09:12:08 am

IP Address: n/a

Q1. **First and Last Name**

Rindi

Q2. **Address**

Rolfing

Q3. **Comment**

We need a restaurant in West Edina. There are very few options. This would be a welcome addition to our neighborhood!



Respondent No: 431

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:12:48 am

Last Seen: Sep 16, 2022 09:12:48 am

IP Address: n/a

Q1. **First and Last Name**

David Litteken

Q2. **Address**

5733 France Ave S

Q3. **Comment**

Edina is a great city. We could use more neighborhood cafes and coffee shops.



Respondent No: 432

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:12:49 am

Last Seen: Sep 16, 2022 09:12:49 am

IP Address: n/a

Q1. **First and Last Name**

Anne Shute

Q2. **Address**

4825 Rutledge Ave Edina MN 55436

Q3. **Comment**

I support a zone change to allow for a restaurant to go into the Kevin Key's Auto space, which is currently an eye-sore and brings down the value of the neighborhood. This area needs more neighborhood restaurants for a place to gather to build community.



Respondent No: 433

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:14:55 am

Last Seen: Sep 16, 2022 09:14:55 am

IP Address: n/a

Q1. **First and Last Name**

Roger hauck

Q2. **Address**

6100 Westridge Blvd

Q3. **Comment**

We need restaurants in the neighborhood. A restaurant in this location would add value in many ways. Thanks!



Respondent No: 434

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:15:00 am

Last Seen: Sep 16, 2022 09:15:00 am

IP Address: n/a

Q1. **First and Last Name**

Jim Vandervelde

Q2. **Address**

6605 Biscayne Blvd

Q3. **Comment**

I support a restaurant in this location. It's in a perfect place to complement Bredesen Park and increase options to stay local for residents of the west side of Edina and will tie the community closer together.



Respondent No: 435

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:15:04 am

Last Seen: Sep 16, 2022 09:15:04 am

IP Address: n/a

Q1. **First and Last Name**

Ryan Horton

Q2. **Address**

6501 Parkwood Rd., Edina, MN 55436

Q3. **Comment**

For me, having lived in cities like London, wonderful little cafes and restaurants like this that are easily accessible create a sense of community and connection to neighbors. They bring wonderful environments to connect and enjoy amazing food!



Respondent No: 436

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:15:30 am

Last Seen: Sep 16, 2022 09:15:30 am

IP Address: n/a

Q1. **First and Last Name**

Dawn Siemon

Q2. **Address**

5401 Londonderry rd

Q3. **Comment**

I am in favor of a cafe in the Kevin Kees site. It would be a community asset for people in the neighborhood. Size and parking sound need to be appropriate.



Respondent No: 437

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:16:17 am

Last Seen: Sep 16, 2022 09:16:17 am

IP Address: n/a

Q1. **First and Last Name**

Alex Weicherding

Q2. **Address**

5024 William Ave

Q3. **Comment**

Would love the option for a new cafe to support in our neighborhood. Current garage is old and dated, I'm sure was great to have back in its day. Outside of hilltop, there are not many non-chain options in our neighborhood. So the addition of a locally owned? cafe would be a welcome addition nearby our home.



Respondent No: 438

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:17:06 am

Last Seen: Sep 16, 2022 09:17:06 am

IP Address: n/a

Q1. **First and Last Name**

Mary Hodgdon

Q2. **Address**

5612 McGuire Road, Edina MN 55439

Q3. **Comment**

We love the idea of a restaurant on the Kees site. The plans look great!



Respondent No: 439

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:17:17 am

Last Seen: Sep 16, 2022 09:17:17 am

IP Address: n/a

Q1. **First and Last Name**

Adriane Willmuth

Q2. **Address**

5116 Halifax Ave S.

Q3. **Comment**

We're thrilled that a restaurant (especially one with outdoor seating like these plans indicated) is being considered for this space. Crossing our fingers that the proposal is passed and we'll soon have a new local destination to bike to, meet friends at and enjoy!



Respondent No: 440

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:17:50 am

Last Seen: Sep 16, 2022 09:17:50 am

IP Address: n/a

Q1. **First and Last Name**

Laurie Licence Schleeter

Q2. **Address**

6600 Iroquois Trail

Q3. **Comment**

This brings back an old school nostalgia feel to the community. I think it will be a great addition to our unique community.



Respondent No: 441

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:19:25 am

Last Seen: Sep 16, 2022 09:19:25 am

IP Address: n/a

Q1. First and Last Name

Jon Foust

Q2. Address

5000 France Ave S, Unit 28, Edina MN 55410

Q3. Comment

Please approve. Would be a great gathering spot for the neighborhood and enhance relationships throughout the community. A local place to gather similar to Town Hall on Wooddale and Valley View.



Respondent No: 442

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:20:17 am

Last Seen: Sep 16, 2022 09:20:17 am

IP Address: n/a

Q1. **First and Last Name**

Erin vanSlingerlandt

Q2. **Address**

5801 South Drive, Edina, MN 55436

Q3. **Comment**

We would be thrilled to have a small, local restaurant in this part of town rather than another gas station or auto shop (we have plenty of those at 50th and Vernon). It would bring a lot to the (West Edina) community to have a place to walk (or drive) to to grab coffee, a drink or a meal that isn't 50th & France (too far to walk from West Edina) or 50th & Vernon (nothing much there other than Davannis or the Hilltop).



Respondent No: 443

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:20:38 am

Last Seen: Sep 16, 2022 09:20:38 am

IP Address: n/a

Q1. **First and Last Name**

Cara Andersen

Q2. **Address**

5721 Blake Rd S

Q3. **Comment**

I would rather have a restaurant than a decaying building in the neighborhood. I know several neighbors are concerned about cars and parking so would need parking entrance and exit to be on Vernon ideally.



Respondent No: 444

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:21:12 am

Last Seen: Sep 16, 2022 09:21:12 am

IP Address: n/a

Q1. First and Last Name

Ashley Doyle

Q2. Address

6800 Dakota Trail, Edina MN 55439

Q3. Comment

On the west side of Edina, we don't have a great community gathering spot. Somewhere to meet friends for dinner, do homework and create that sense of community that we all love about our city. After the pandemic, I think that we can all agree that having a space to bring us closer isn't something we are willing to sacrifice! I hope that you consider opening a restaurant in this space, for our current and future generations to gather.



Respondent No: 445

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:21:23 am

Last Seen: Sep 16, 2022 09:21:23 am

IP Address: n/a

Q1. **First and Last Name**

Rick Ekstrand

Q2. **Address**

6100 Waterford Court S

Q3. **Comment**

I believe a restaurant at the former Kevin Kees repair, 6016 Vernon. Is an important addition to our community. I support this proposal. Thank you.



Respondent No: 446

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:22:16 am

Last Seen: Sep 16, 2022 09:22:16 am

IP Address: n/a

Q1. **First and Last Name**

Tala Kuretsky

Q2. **Address**

6008 Code Ave

Q3. **Comment**

As I have seen all of Edina's expansion of housing, etc. we also need to keep in mind the wonderful community this continues to be. Communities come together in public spaces, parks, restaurants, etc. I believe a restaurant that is managed properly (meaning not a nuisance to local neighborhoods, etc.) and keeps the aesthetic and history of the auto repair, gas station (much like Town Hall Station) would benefit the area greatly. We have seen local businesses just like this thrive (ie. Hilltop, Townhall, etc.) let's keep that going and continue to reinforce our wonderful community!



Respondent No: 447

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:22:42 am

Last Seen: Sep 16, 2022 09:22:42 am

IP Address: n/a

Q1. **First and Last Name**

Bridget Hegman

Q2. **Address**

6105 Pine Grove Rd Edina 55436

Q3. **Comment**

Love the idea of a restaurant! The neighborhood location is great! I would definitely go there regularly and think it would be a great addition to our community!



Respondent No: 448

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:24:03 am

Last Seen: Sep 16, 2022 09:24:03 am

IP Address: n/a

Q1. **First and Last Name**

Kathy Bailey

Q2. **Address**

4808 East Sunnyslope Road

Q3. **Comment**

I absolutely approve of a neighborhood cafe, at 6016 Vernon, the Westside Cafe! It is what Edina needs more than another high rise rental building. Small, charming restaurants just add appeal to anyone looking to live in Edina.



Respondent No: 449

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:24:35 am

Last Seen: Sep 16, 2022 09:24:35 am

IP Address: n/a

Q1. **First and Last Name**

Nancy Haley

Q2. **Address**

4521 Parkside Lane Edina, MN 55436

Q3. **Comment**

I support this site for the Westside Cafe. I understand they've made modifications so that nearby residents are more comfortable. It would be great to have a restaurant within walking or biking distance.



Respondent No: 450

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:25:44 am

Last Seen: Sep 16, 2022 09:25:44 am

IP Address: n/a

Q1. **First and Last Name**

Jeff Doom

Q2. **Address**

5244 LOCHLOY DR

Q3. **Comment**

I support the proposed restaurant for 6106 Vernon Ave. I live a mile or so NW of that location on Lochloy Dr. I am a regular walker and bike rider with my family in our neighborhood as well as along Vernon to walk around Bredesen Park. I think turning the former auto shop into a restaurant would be a great addition to the neighborhood and would improve the livability of this part of Edina. Edina is a city of neighborhoods. We should have neighborhood schools. We have neighborhood parks. Having a neighborhood restaurant gives us a meeting place where we can run into our neighbors. I believe that the restaurant can do things with walls and parking lot location that should help to limit the nuisance to neighbors.



Respondent No: 451

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:26:07 am

Last Seen: Sep 16, 2022 09:26:07 am

IP Address: n/a

Q1. **First and Last Name**

Cole Hansen

Q2. **Address**

5909 Walnut Dr. Edina 55436

Q3. **Comment**

Having a restaurant in this location is an incredible plan. Why would anyone want to look at the ugly yellow building on Vernon when people could enjoy a great restaurant we could actually walk to. I don't understand how this is even an issue.



Respondent No: 452

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:26:19 am

Last Seen: Sep 16, 2022 09:26:19 am

IP Address: n/a

Q1. **First and Last Name**

Michael Lauer

Q2. **Address**

6200 Code Ave, Edina, MN 55436

Q3. **Comment**

The neighborhood could really use more restaurants. There is very little in the area.

**Respondent No:** 453**Login:** Anonymous**Email:** n/a**Responded At:** Sep 16, 2022 09:28:22 am**Last Seen:** Sep 16, 2022 09:28:22 am**IP Address:** n/a**Q1. First and Last Name**

tom carter

Q2. Address

5712 code ave

Q3. Comment

I am a lifelong Edina resident and strongly support the Westside Cafe replacing Kevin Kee's. There are so few close dining options for those of us that live on the westside of 100/north of 62. Look at the success of the Hilltop - it's a great community asset (such a great asset that the city is spending tax dollars to build a bridge to it from Jerry's). The Kevin Kee's site is a unique opportunity to create another community asset. This project is spearheaded by Edina residents that want to improve their community. The city should be encouraging this exact type of development. No one that I have talked to about this project prefers the current zoning (car wash/repair shop) or rezoning for affordable housing. I feel like the city has rightfully added a significant amount affordable housing units in the past few years, specifically in the Southdale area. Not every single parcel that turns over in this city needs to be turned into affordable housing. I'm sure whatever is eventually built on the old public works site will include affordable housing, bringing that option to this side of the city. Let's let Edina taxpayers/residents invest in, and improve, their community for their neighbors.



Respondent No: 454

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:28:25 am

Last Seen: Sep 16, 2022 09:28:25 am

IP Address: n/a

Q1. **First and Last Name**

Greta Golfis

Q2. **Address**

5264 Richwood Drive

Q3. **Comment**

We would love to see a neighborhood restaurant on this end of town. We have Town Hall on the east side and Hilltop in the middle, it would be great to have something similar on the west side of town. It's nice being able to walk or bike to a restaurant. Having a neighborhood spot also adds to the small town feel of our community.



Respondent No: 455

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:28:40 am

Last Seen: Sep 16, 2022 09:28:40 am

IP Address: n/a

Q1. **First and Last Name**

Debbie Green

Q2. **Address**

6670 Vernon Ave South, #120, Edina 55436

Q3. **Comment**

I support a restaurant at the Kevin Kees location on Vernon. I am really hoping there will be a breakfast/lunch option there, but don't know what is planned. We lost that option at D'Brian's and have missed that option in the neighborhood. Olive's Pizza doesn't offer that. In any case, we look forward to having a restaurant there.



Respondent No: 456

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:28:56 am

Last Seen: Sep 16, 2022 09:28:56 am

IP Address: n/a

Q1. **First and Last Name**

Tricia McNaughton

Q2. **Address**

6615 Londonderry Dr

Q3. **Comment**

I am in support the rezoning. This restaurant would be a welcome addition to the neighborhood.



Respondent No: 457

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:29:57 am

Last Seen: Sep 16, 2022 09:29:57 am

IP Address: n/a

Q1. **First and Last Name**

Krista Peterson

Q2. **Address**

6117 Ridgeway Road Edina, MN 55436

Q3. **Comment**

We would love to see this re-zoned to be a restaurant. Our side of Edina could use a neighborhood gathering spot and family restaurant.



Respondent No: 458

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:31:33 am

Last Seen: Sep 16, 2022 09:31:33 am

IP Address: n/a

Q1. **First and Last Name**

Megan Stone

Q2. **Address**

6008 Kaymar Drive

Q3. **Comment**

We do NOT want housing at this location. We already have 3 multi housing structures on that street and that is more than enough. People want to complain there may be parking issues...this is easily solved with signs and open lines of communication. We moved to this neighborhood for the great families that live here (of all generations) and how we all support one another. A restaurant will only make this neighborhood better.



Respondent No: 459

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:31:42 am

Last Seen: Sep 16, 2022 09:31:42 am

IP Address: n/a

Q1. **First and Last Name**

Anna Henningsen

Q2. **Address**

5605 Hawkes Drive

Q3. **Comment**

I think a simple café with a nice ambiance that works for people to socialize or study would be good



Respondent No: 460

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:34:46 am

Last Seen: Sep 16, 2022 09:34:46 am

IP Address: n/a

Q1. **First and Last Name**

Kevin Day

Q2. **Address**

5608 Heather Lane, Edina, MN 55436

Q3. **Comment**

We would like to see a restaurant that would bring the community and surrounding neighbors together!



Respondent No: 461

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:36:08 am

Last Seen: Sep 16, 2022 09:36:08 am

IP Address: n/a

Q1. **First and Last Name**

Rick Peterson

Q2. **Address**

6117 Ridgeway Rd

Q3. **Comment**

We need more restaurants in this area. This would be a big addition to our neighborhood.



Respondent No: 462

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:37:29 am

Last Seen: Sep 16, 2022 09:37:29 am

IP Address: n/a

Q1. **First and Last Name**

Tim Sipprell

Q2. **Address**

5117 W 48th St

Q3. **Comment**

I think the Westside Cafe is a phenomenal idea. The area at the juncture of Countryside, Highlands and Parkwood Knolls has no neighborhood gathering spot like it--it would fill a need for social connection in this area. Walking distance to Bredeson Park, too!



Respondent No: 463

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:39:54 am

Last Seen: Sep 16, 2022 09:39:54 am

IP Address: n/a

Q1. **First and Last Name**

Mari Bellmont

Q2. **Address**

5725 Ewing Ave S

Q3. **Comment**

Would love to see a neighborhood restaurant.



Respondent No: 464

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:42:11 am

Last Seen: Sep 16, 2022 09:42:11 am

IP Address: n/a

Q1. **First and Last Name**

Suzanne Chochrek

Q2. **Address**

6204 Fox Meadow Ln

Q3. **Comment**

In support of restaurant in Kees location



Respondent No: 465

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:42:43 am

Last Seen: Sep 16, 2022 09:42:43 am

IP Address: n/a

Q1. **First and Last Name**

Barb Dovolis

Q2. **Address**

6805 Dakota Trail

Q3. **Comment**

we are very supportive of cleaning up this space and bringing the West community together through a new restaurant.
Please move forward on this with our enthusiastic support.



Respondent No: 466

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:42:57 am

Last Seen: Sep 16, 2022 09:42:57 am

IP Address: n/a

Q1. **First and Last Name**

Bradley Hepp

Q2. **Address**

6442 Margaret's Lane 55439

Q3. **Comment**

I support the restaurant upgrade



Respondent No: 467

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:43:29 am

Last Seen: Sep 16, 2022 09:43:29 am

IP Address: n/a

Q1. **First and Last Name**

Nelson Lisa

Q2. **Address**

6225 Knoll Drive

Q3. **Comment**

I would like to have a restaurant in my neighborhood for impromptu casual dining.



Respondent No: 468

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:45:37 am

Last Seen: Sep 16, 2022 09:45:37 am

IP Address: n/a

Q1. **First and Last Name** Abigail Graves

Q2. **Address** 5800 Hidden Ln

Q3. **Comment**

More restaurants are needed in Edina, and especially on the SW side of town. It would allow residents to refrain from getting into their cars to go out to a restaurant and result in a more satisfied local community.



Respondent No: 469

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:47:18 am

Last Seen: Sep 16, 2022 09:47:18 am

IP Address: n/a

Q1. **First and Last Name**

Rachel Wollnik

Q2. **Address**

5509 Doncaster Way

Q3. **Comment**

I think a restaurant in this location would be fantastic!! We used to live nearby Town Hall Station and Valley View and Wooddale - it was so nice having a restaurant within walking distance. I would love to have that again in my new neighborhood.



Respondent No: 470

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:47:35 am

Last Seen: Sep 16, 2022 09:47:35 am

IP Address: n/a

Q1. **First and Last Name**

Erin Keeley

Q2. **Address**

6701 Tracy Ave

Q3. **Comment**

I support a restaurant on this site in Edina. Having a walkable community is not only good for our health, it also makes our neighborhoods develop stronger community and increase home values.



Respondent No: 471

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:47:52 am

Last Seen: Sep 16, 2022 09:47:52 am

IP Address: n/a

Q1. **First and Last Name**

Ralf Loeffelholz

Q2. **Address**

5912 Merold Drive

Q3. **Comment**

We are fully supporting the requested zoning changes. This will bring diverse business and amenities to our neighborhood.
We look forward to having something within walking distance as a meeting point and a much needed restaurant option.



Respondent No: 472

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:49:10 am

Last Seen: Sep 16, 2022 09:49:10 am

IP Address: n/a

Q1. **First and Last Name**

Ashley Salo

Q2. **Address**

5713 schaefer road

Q3. **Comment**

We support!



Respondent No: 473

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:49:32 am

Last Seen: Sep 16, 2022 09:49:32 am

IP Address: n/a

Q1. **First and Last Name**

Daniel J Salo

Q2. **Address**

5713 Schaefer Road

Q3. **Comment**

The neighborhood desperately needs a restaurant in the area, NOT another apartment or repair shop.



Respondent No: 474

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:52:14 am

Last Seen: Sep 16, 2022 09:52:14 am

IP Address: n/a

Q1. **First and Last Name**

Mark Schaefer

Q2. **Address**

6525 Nordic Drive

Q3. **Comment**

I support the zoning change to have a restaurant at 6016 Vernon Ave. Restaurants and coffee shops build a sense of community and enhance walkability, versus the sterility that often comes in suburbia. Please allow restaurants to be there.



Respondent No: 475

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:52:18 am

Last Seen: Sep 16, 2022 09:52:18 am

IP Address: n/a

Q1. **First and Last Name**

Matt Tourangeau

Q2. **Address**

6344 Red Fox Lane

Q3. **Comment**

Having this as a RESTAURANT would be a fantastic addition to this area. Any type of additional housing on that site would create unwanted auto traffic and congestion.



Respondent No: 476

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:55:59 am

Last Seen: Sep 16, 2022 09:55:59 am

IP Address: n/a

Q1. **First and Last Name**

Darran Spence

Q2. **Address**

6912 Gleason Road

Q3. **Comment**

I think a new restaurant would be great at 6016 Vernon and great for our community. Please allow the rezoning for a restaurant!



Respondent No: 477

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 09:58:27 am

Last Seen: Sep 16, 2022 09:58:27 am

IP Address: n/a

Q1. **First and Last Name**

Karen Balafas

Q2. **Address**

5316 Blake Road

Q3. **Comment**

My husband and I are very much in support of building a restaurant in the proposed location. This part of Edina is sorely missing casual eating options other than Hilltop. It is a very residential area that could easily support such a business.



Respondent No: 478

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:00:25 am

Last Seen: Sep 16, 2022 10:00:25 am

IP Address: n/a

Q1. **First and Last Name**

Kiley Teig

Q2. **Address**

6044 Olinger Circle, Edina, MN 55436

Q3. **Comment**

We are SO excited to have a place to walk to for a quick bite, drink or coffee. We would love to see a restaurant developed in this spot and provide a new place for the community to gather. Thank you!



Respondent No: 479

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:00:49 am

Last Seen: Sep 16, 2022 10:00:49 am

IP Address: n/a

Q1. **First and Last Name**

Lesley Hendrickson

Q2. **Address**

6085 Lincoln Drive, Apt.319

Q3. **Comment**

A neighborhood restaurant would be a fine addition and quite appropriate to the site.



Respondent No: 480

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:01:38 am

Last Seen: Sep 16, 2022 10:01:38 am

IP Address: n/a

Q1. **First and Last Name**

Christine Scott

Q2. **Address**

6016 Pine Grove Rd

Q3. **Comment**

We would love to have a community gathering space that is walkable! Please consider a restaurant in this location to allow folks to dine out without having to drive outside the neighborhood. Thank you!



Respondent No: 481

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:04:07 am

Last Seen: Sep 16, 2022 10:04:07 am

IP Address: n/a

Q1. **First and Last Name**

harlan rossmann

Q2. **Address**

5721 deville drive edina mn 55436

Q3. **Comment**

I would strongly encourage this to happen. I look forward to another locally owned restaurant in the neighborhood and i think it would be a great addition to the area! I live very close to the area, i walk around the area all the time and would love for another local spot to be available to residents and cant think of a better use of the space. Strongly agree with this project moving forward. Thanks for your consideration.



Respondent No: 482

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:04:17 am

Last Seen: Sep 16, 2022 10:04:17 am

IP Address: n/a

Q1. **First and Last Name**

David Redpath

Q2. **Address**

5532 Merritt Circle, Edina, MN

Q3. **Comment**

I just want to say that the restaurant concept for the former Kevin Kee's site is a great idea. The area of Edina west of Grandview/ Jerry's/ Hilltop is completely vacant of anywhere to enjoy a good meal. As long as the developers are sensitive to the neighborhoods around the site (which I understand they are), then this is a fantastic use of the property. We do NOT need another 4 story multi family housing unit there, Edina has plenty of those. But a fun dining and take out location would benefit many, many residents, and people from outside Edina (paying the new Edina Sales Tax ?). So I would strongly encourage the city to work with the developers to have this site be used to its optimal level, and benefit a lot of people. thank you



Respondent No: 483

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:07:02 am

Last Seen: Sep 16, 2022 10:07:02 am

IP Address: n/a

Q1. **First and Last Name**

Ryan Teig

Q2. **Address**

6044 Olinger Cir

Q3. **Comment**

A cafe in walking distance sounds like a great idea!



Respondent No: 484

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:07:55 am

Last Seen: Sep 16, 2022 10:07:55 am

IP Address: n/a

Q1. **First and Last Name**

Tara Bryan

Q2. **Address**

5605 GATE PARK RD

Q3. **Comment**

We would love this spot to be a community restaurant.



Respondent No: 485

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:09:22 am

Last Seen: Sep 16, 2022 10:09:22 am

IP Address: n/a

Q1. **First and Last Name**

Katie Baker

Q2. **Address**

5304 Chantrey Road Edina, MN 55436

Q3. **Comment**

I believe turning this site into a cafe/restaurant, rather than another gas station and/or car wash would be an improvement to our community offerings. I am in full support of this plan for the westside of Edina.



Respondent No: 486

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:10:03 am

Last Seen: Sep 16, 2022 10:10:03 am

IP Address: n/a

Q1. **First and Last Name**

Clay Parrish

Q2. **Address**

6421 Willow Wood Road

Q3. **Comment**

We would LOVE to have a bike-able or walkable restaurant in our neighborhood!



Respondent No: 487

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:10:20 am

Last Seen: Sep 16, 2022 10:10:20 am

IP Address: n/a

Q1. **First and Last Name**

Cassidy Parrish

Q2. **Address**

6421 Willow Wood Rd, Edina, MN 55436

Q3. **Comment**

I would love nothing more than for this to be a restaurant!



Respondent No: 488

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:13:18 am

Last Seen: Sep 16, 2022 10:13:18 am

IP Address: n/a

Q1. **First and Last Name**

Claire Parmenter

Q2. **Address**

6443 McCauley Ter, Edina

Q3. **Comment**

I am excited about a potential restaurant on this site. We don't have a lot, or really any, restaurant options in this area of town. We have far too many apartments that have gone up recently.



Respondent No: 489

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:13:50 am

Last Seen: Sep 16, 2022 10:13:50 am

IP Address: n/a

Q1. **First and Last Name**

Carolyn Terwilliger

Q2. **Address**

5813 Vernon Lane

Q3. **Comment**

I have responded previously in regard to this proposal. My husband and I are in favor of a small neighborhood restaurant, where we can meet our neighbors and friends for a bite to eat! I think their concessions and new plans for the site are fine given our choices at this time, we vote for a restaurant over all other options that we've been made aware of. But... What about a nice apartment complex that continues the flow of the housing that exists along Vernon now?



Respondent No: 490

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:16:09 am

Last Seen: Sep 16, 2022 10:16:09 am

IP Address: n/a

Q1. **First and Last Name**

Mary Tierney

Q2. **Address**

6881 Langford Dr

Q3. **Comment**

I would love to see the proposed restaurant at this location! We could bike there from our place on Langford Drive. This corner of Edina needs more small businesses like like restaurants!



Respondent No: 491

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:24:00 am

Last Seen: Sep 16, 2022 10:24:00 am

IP Address: n/a

Q1. **First and Last Name**

Kristina Dletzen

Q2. **Address**

4901 Bruce Avenue

Q3. **Comment**

What a unique and amazing way to provide a local establishment and neighborhood gathering place for residents in that part of Edina; such a win! Absolutely LOVE this!!!!



Respondent No: 492

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:25:24 am

Last Seen: Sep 16, 2022 10:25:24 am

IP Address: n/a

Q1. **First and Last Name**

David walter

Q2. **Address**

5024 Bruce Ave

Q3. **Comment**

Hello! I'm just writing in support of the restaurant plans at this site. My family of 5 would look forward to another neighborhood option that we could bike to. As a real estate investor/owner, I strongly believe this is best use of this property and one that will not only provide great community benefit to families like mine but also boost the whole area, particularly in comparison to the other options. Thank you for considering!

**Respondent No:** 493**Login:** Anonymous**Email:** n/a**Responded At:** Sep 16, 2022 10:25:35 am**Last Seen:** Sep 16, 2022 10:25:35 am**IP Address:** n/a**Q1. First and Last Name**

Mick Spence

Q2. Address

6912 Gleason Road, Edina, MN 55439

Q3. Comment

The west side of this city needs restaurants, and community gathering places, period. Having lived on the west side of Edina from as early as 1974-82, and again from 2005-present, there are very limited options for a family, socializing friends, students or even business associates, to gather. West-side residents, especially near this area, must travel to St. Louis Park, Hopkins, Minnetonka or Eden Prairie (or the already over-crowded 50th & France area) to spend their money for food, or to just enjoy some social time with community friends, fellow volunteers or business leaders. Please, PLEASE consider this deficit of restaurants when considering options for this property. A successful entrepreneurial venture, by proven, successful community members would be such a wonderful and valuable benefit for many Edina residents. I emphatically encourage our city leaders to improve this community with an asset that is much needed, and in demand by many. Thank you.



Respondent No: 494

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:25:52 am

Last Seen: Sep 16, 2022 10:25:52 am

IP Address: n/a

Q1. **First and Last Name**

Andy thieman

Q2. **Address**

129 Homedale road

Q3. **Comment**

DO IT! Build the restaurant! Rezone!

**Respondent No:** 495**Login:** Anonymous**Email:** n/a**Responded At:** Sep 16, 2022 10:26:57 am**Last Seen:** Sep 16, 2022 10:26:57 am**IP Address:** n/a**Q1. First and Last Name**

Ted Carlson

Q2. Address

5516 Knoll Drive

Q3. Comment

As a longtime Edina resident and consumer at area restaurants, I am very supportive of the applicant's proposal for the former Kee's site. The Parkwood Knolls neighborhood is in dire need of walkable/bikeable amenities and this is one amenity our family would frequent (assuming the food is good!). Plus, a restaurant is a much better use than an auto repair shop! Check out Town Hall Station! Furthermore, the development team resides in Edina, meaning that it's safe to assume they care about our community and will run a first class operation. Good luck, and hopefully we can start dining there in 2023!



Respondent No: 496

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:31:21 am

Last Seen: Sep 16, 2022 10:31:21 am

IP Address: n/a

Q1. **First and Last Name**

Stefanie & Greg Trebil

Q2. **Address**

6009 Saxony Road

Q3. **Comment**

We are so excited for the prospect of a neighborhood restaurant. We fully support a restaurant going in at this location.



Respondent No: 497

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:37:29 am

Last Seen: Sep 16, 2022 10:37:29 am

IP Address: n/a

Q1. **First and Last Name**

Benjamin Johnson

Q2. **Address**

6017 View Lane, Edina, MN 55436

Q3. **Comment**

I would very much like to have a social destination within walking distance of our home. As well as a potential employer for my kids.



Respondent No: 498

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:42:30 am

Last Seen: Sep 16, 2022 10:42:30 am

IP Address: n/a

Q1. **First and Last Name**

Julie Cologne

Q2. **Address**

5912 West 70th Street

Q3. **Comment**

We need more restaurants, parks and shopping in Edina...NOT multi-dwelling housing. We would love to have a restaurant option close to Bredesen park!



Respondent No: 499

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:44:29 am

Last Seen: Sep 16, 2022 10:44:29 am

IP Address: n/a

Q1. **First and Last Name**

James Gaasedelen

Q2. **Address**

6208 Schaefer Circle, Edina, MN

Q3. **Comment**

This looks like a very nice restaurant and will, hopefully, be a good addition to the neighborhood. I look forward to trying it, if it is approved.



Respondent No: 500

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:46:39 am

Last Seen: Sep 16, 2022 10:46:39 am

IP Address: n/a

Q1. **First and Last Name**

Alex Feyder

Q2. **Address**

5716 Melody Ln

Q3. **Comment**

Please put in a restaurant. I like food.



Respondent No: 501

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 10:51:59 am

Last Seen: Sep 16, 2022 10:51:59 am

IP Address: n/a

Q1. **First and Last Name** Jenna wild

Q2. **Address** 6625 parkwood road Edina Mn 55436

Q3. **Comment**

Please rezone this for a restaurant, our community needs it!



Respondent No: 502

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:02:04 am

Last Seen: Sep 16, 2022 11:02:04 am

IP Address: n/a

Q1. **First and Last Name**

Tom Nevers

Q2. **Address**

6012 Kaymar Drive

Q3. **Comment**

Please Rezone so this will be passed. Will be Fantastic for the neighborhood and home prices will go up!



Respondent No: 503

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:04:43 am

Last Seen: Sep 16, 2022 11:04:43 am

IP Address: n/a

Q1. **First and Last Name**

Bridget Lionetti

Q2. **Address**

5113 William Ave

Q3. **Comment**

This would be a great addition to the areas! We are in need of more neighborhoods restaurants in our area for a place for all of us neighbors to gather and enjoy each other and our local neighborhood restaurants! Please make this a restaurant!!!!



Respondent No: 504

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:12:29 am

Last Seen: Sep 16, 2022 11:12:29 am

IP Address: n/a

Q1. **First and Last Name**

Deb Lynner

Q2. **Address**

6404 harold woods lane

Q3. **Comment**

We fully support a neighborhood restaurant at 6016 Vernon. Town Hall Station has proved to be an asset in their neighborhood and we think one that is walkable/bikable for the Parkwood Knolls and surrounding neighborhoods would be welcomed as well. I know we'd frequent a casual restaurant in our neighborhood.



Respondent No: 505

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:24:13 am

Last Seen: Sep 16, 2022 11:24:13 am

IP Address: n/a

Q1. **First and Last Name**

Polly And Kenny Holley

Q2. **Address**

6412 Stauder Circle

Q3. **Comment**

We think it's a great idea to rezone the space for a restaurant.....NOT MORE HOUSING!



Respondent No: 506

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:26:10 am

Last Seen: Sep 16, 2022 11:26:10 am

IP Address: n/a

Q1. **First and Last Name**

Cory Samaras Griffeth

Q2. **Address**

6615 Parkwood Ln, Edina, MN 55436-1733, USA

Q3. **Comment**

A restaurant here make absolute sense. There are so many homes nearby that could be served by this establishment. A neighborhood joint!



Respondent No: 507

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:33:36 am

Last Seen: Sep 16, 2022 11:33:36 am

IP Address: n/a

Q1. **First and Last Name**

Jim Starr

Q2. **Address**

5025 Edinbrook Lane, Edina 55436

Q3. **Comment**

I give my full throated support of this plan and something, anything additional to add to the continued strong future of living, working and dollars that stay locally so supporting an Edina business, especially an excellent, strong business savvy ownership group that is a locally owned concept like this would be fantastic. ANYWHERE in the West Edina (north of Crosstown Highway) corridor is way overdue. As a 25 year Edina resident, we and many of our neighbors have been begging for something like this lovely looking future community gem, make it happen Council...PLEASE!



Respondent No: 508

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:34:57 am

Last Seen: Sep 16, 2022 11:34:57 am

IP Address: n/a

Q1. **First and Last Name**

Jason R Jones

Q2. **Address**

5109 Mirror Lakes Drive Edina 55436,

Q3. **Comment**

I support the building of a neighborhood restaurant at the former Kevin Kees auto site at 6016 Vernon. It would add a great deal to the neighborhood. We have no restaurants west of the Hwy 100 complex. I do not support the building of apartments or condominiums on this property. Thank you



Respondent No: 509

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:36:27 am

Last Seen: Sep 16, 2022 11:36:27 am

IP Address: n/a

Q1. First and Last Name

Richard L Geissler - Good afternoon! I am in full support of the Westside Cafe off of Vernon Avenue in Edina. I live off of Vernon/Walnut Drive for the last 20 years and there is NOT any restaurants in the area to walk to.

Q2. Address

6016 Walnut Drive, Edina MN 55436

Q3. Comment

Good afternoon! I am in full support of the Westside Cafe off of Vernon Avenue in Edina. I live off of Vernon/Walnut Drive for the last 20 years and there is NOT any restaurants in the area to walk too. I support the rezoning to allow a restaurant to be built. The "West side" of Edina would appreciate this amenity. Thank you.



Respondent No: 510

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:37:42 am

Last Seen: Sep 16, 2022 11:37:42 am

IP Address: n/a

Q1. **First and Last Name**

Amelia Svenningsen

Q2. **Address**

6149 Arctic Way Edina 55436

Q3. **Comment**

I would really enjoy a restaurant at the Kevin Kee's location



Respondent No: 511

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:39:15 am

Last Seen: Sep 16, 2022 11:39:15 am

IP Address: n/a

Q1. **First and Last Name**

Kristi Mcconnell

Q2. **Address**

6029 Kaymar Dr.

Q3. **Comment**

We really want this restaurant to happen! We can't wait to have an option on this side of town and want Westside Cafe to work out!!!



Respondent No: 512

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:43:28 am

Last Seen: Sep 16, 2022 11:43:28 am

IP Address: n/a

Q1. **First and Last Name**

Christopher Bryan

Q2. **Address**

5605 Gate Park Rd

Q3. **Comment**

looking forward to another restaurant location. we do NOT need more housing congestion in the vernon area.



Respondent No: 513

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:49:51 am

Last Seen: Sep 16, 2022 11:49:51 am

IP Address: n/a

Q1. **First and Last Name**

Steve Mura

Q2. **Address**

6408 Parkwood Rd

Q3. **Comment**

This is exactly what we need on this side of town. We often go to Eden Prairie to eat and shop since it is as convenient as going to 50th and France. The addition of Olive's Pizza has been great and this will enhance the Parkwood Knolls area and make this a more desirable place to live and support property values and taxes. People are willing to pay more for property and taxes when there are resources nearby.



Respondent No: 514

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 11:53:05 am

Last Seen: Sep 16, 2022 11:53:05 am

IP Address: n/a

Q1. **First and Last Name**

Kile, Paul

Q2. **Address**

6012 View lane

Q3. **Comment**

A small neighborhood restaurant would be a wonderful use of that space. Small gathering places like this promote community and connection and create unity and stability in a community.



Respondent No: 515

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:00:02 pm

Last Seen: Sep 16, 2022 12:00:02 pm

IP Address: n/a

Q1. **First and Last Name**

Renee harberts

Q2. **Address**

6125 Blake Ridge Road

Q3. **Comment**

I'd like you to consider rezoning, so we could have neighborhood restaurant. There is no restaurant close by. It would add to a sense of community. Thank you for considering.



Respondent No: 516

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:08:23 pm

Last Seen: Sep 16, 2022 12:08:23 pm

IP Address: n/a

Q1. **First and Last Name**

Ahroon Yoch

Q2. **Address**

5313 Chantrey Road

Q3. **Comment**

As a resident who lives very close to this location, I absolutely love the idea of a restaurant within in walking distance. I think this will create additional community connection with the local residents and visitors. The owners have responded to concerns from the neighbors and made adjustments to their plans. I love that the design is a nod to the old use of the property. It is close to biking trails, which means not all visitors will drive. This restaurant will be an excellent addition to the area. Ahroon Yoch



Respondent No: 517

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:15:36 pm

Last Seen: Sep 16, 2022 12:15:36 pm

IP Address: n/a

Q1. **First and Last Name**

Graciela C Vielguth

Q2. **Address**

6075 Lincoln Dr, Edina, MN 55436

Q3. **Comment**

I support whatever is required for the Westside Café to be approved and built.



Respondent No: 518

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:19:09 pm

Last Seen: Sep 16, 2022 12:19:09 pm

IP Address: n/a

Q1. **First and Last Name**

james zavoral

Q2. **Address**

4504 Edina Blvd

Q3. **Comment**

Nothing better than a neighborhood restaurant to tie a community closer together - we don't need more apartments, we need more social gathering spaces - there is nothing on the west side and this would be perfect. Locally owned and operated too. Make it happen City Council.



Respondent No: 519

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:29:30 pm

Last Seen: Sep 16, 2022 12:29:30 pm

IP Address: n/a

Q1. **First and Last Name**

John March

Q2. **Address**

4709 Townes Road

Q3. **Comment**

I think this is a good plan and would recommend you support it. I also believe they made a very good faith effort to address your concerns.



Respondent No: 520

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:30:50 pm

Last Seen: Sep 16, 2022 12:30:50 pm

IP Address: n/a

Q1. **First and Last Name**

Carrie anderson

Q2. **Address**

5250 Vernon Ave #203

Q3. **Comment**

Please make it a restaurant



Respondent No: 521

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:34:09 pm

Last Seen: Sep 16, 2022 12:34:09 pm

IP Address: n/a

Q1. **First and Last Name**

Maureen Lannan

Q2. **Address**

6105 Eden Prairie Road #14, Edina, Mn 55436

Q3. **Comment**

I am opposed to a restaurant at 6016 Vernon because the City Council has marked this parcel of land as residential for future developments. It is a quiet neighborhood of families with young children and senior citizens. A restaurant would create a lot of noise, traffic and pollution from cars and cooking vents. As an Edina resident of 65 years, I believe the City's comprehensive plan should be respected and 6016 Vernon should not be rezoned as a restaurant



Respondent No: 522

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:44:25 pm

Last Seen: Sep 16, 2022 12:44:25 pm

IP Address: n/a

Q1. **First and Last Name**

Karri Hansen

Q2. **Address**

6424 Red Fox Ct 55436

Q3. **Comment**

I am in full support of the Westside Cafe being built on the former Kevin Kee's site. I believe the new owners have made adjustments that would make this a great place for a restaurant. It would be nice having a restaurant on that side of Edina especially since all the apartments that are taking over the Grandview Area and Perkins site will make the traffic unbearable. Yes to Westside Cafe!



Respondent No: 523

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:46:41 pm

Last Seen: Sep 16, 2022 12:46:41 pm

IP Address: n/a

Q1. **First and Last Name**

Kathleen Brooks

Q2. **Address**

6225 Parkwood Rd

Q3. **Comment**

I support the proposed plan for a small restaurant replacing the car repair business.



Respondent No: 524

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:52:34 pm

Last Seen: Sep 16, 2022 12:52:34 pm

IP Address: n/a

Q1. **First and Last Name**

Sue Morris

Q2. **Address**

6075 Lincoln Drive #105 edina

Q3. **Comment**

In favor of new restaurant plans in this location.



Respondent No: 525

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:55:02 pm

Last Seen: Sep 16, 2022 12:55:02 pm

IP Address: n/a

Q1. **First and Last Name**

Lissa Diebold

Q2. **Address**

5524 Glengarry Pkwy

Q3. **Comment**

We are neighbors in support of the rezoning of 6016 Vernon for restaurant use. The site plans present the opportunity for a wonderful addition to the neighborhood and restaurant use allows for greater community building in west Edina. Thank you for considering.



Respondent No: 526

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 12:59:33 pm

Last Seen: Sep 16, 2022 12:59:33 pm

IP Address: n/a

Q1. **First and Last Name**

Renata Faeth

Q2. **Address**

6024 Chapel Drive 55439

Q3. **Comment**

I object.



Respondent No: 527

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:04:01 pm

Last Seen: Sep 16, 2022 13:04:01 pm

IP Address: n/a

Q1. **First and Last Name**

Michaelanne deGrood

Q2. **Address**

5223 Larada Lane, Edina, MN 55436

Q3. **Comment**

Please rezone this property for restaurant use. West Edina needs more walk ability! Thank you.



Respondent No: 528

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:16:53 pm

Last Seen: Sep 16, 2022 13:16:53 pm

IP Address: n/a

Q1. **First and Last Name**

Cathy Wolf

Q2. **Address**

5529 Chantrey Rd

Q3. **Comment**

The neighborhood would love a cafe!! How nice to have a walkable place to go grab a bits and visit with others. Yes!



Respondent No: 529

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:19:50 pm

Last Seen: Sep 16, 2022 13:19:50 pm

IP Address: n/a

Q1. **First and Last Name**

Linda King

Q2. **Address**

6122 Arctic Way

Q3. **Comment**

This plan looks great. Accommodating to the neighbors.



Respondent No: 530

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:20:01 pm

Last Seen: Sep 16, 2022 13:20:01 pm

IP Address: n/a

Q1. **First and Last Name**

Mel Peacock

Q2. **Address**

6904 Paiute Circle

Q3. **Comment**

Please re-zone to allow a restaurant. We need a nice place on the west side of town to bring the family to eat.



Respondent No: 531

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:23:44 pm

Last Seen: Sep 16, 2022 13:23:44 pm

IP Address: n/a

Q1. **First and Last Name**

Marie Berghult

Q2. **Address**

6628 Parkwood Road, Edina, 55436

Q3. **Comment**

We would love to see a restaurant in this location and nothing else!!



Respondent No: 532

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:42:27 pm

Last Seen: Sep 16, 2022 13:42:27 pm

IP Address: n/a

Q1. **First and Last Name**

Megan Yuen

Q2. **Address**

5517 Highwood Dr

Q3. **Comment**

I'd like to see a restaurant with ample parking to go in the current Kevin Keys location. For the consideration of its immediate neighbors, the restaurant should have smaller number of seatings, more takeout/walk-in options, and observe some quiet curfew. That will serve the neighborhood with needed dining option and still be respectful to its current livelihood of residents. Thanks!



Respondent No: 533

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:50:00 pm

Last Seen: Sep 16, 2022 13:50:00 pm

IP Address: n/a

Q1. **First and Last Name**

Steve and Anna Noran

Q2. **Address**

5819 Vernon Lane

Q3. **Comment**

We are strongly supporting the restaurant development. We believe it will help bring together our neighborhood. The building design will fit well.



Respondent No: 534

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:56:06 pm

Last Seen: Sep 16, 2022 13:56:06 pm

IP Address: n/a

Q1. **First and Last Name**

Amy Richter

Q2. **Address**

6233 Knoll Drive

Q3. **Comment**

We fully support this plan! and would like to see the rezoning application approved to move forward with building the restaurant



Respondent No: 535

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:57:04 pm

Last Seen: Sep 16, 2022 13:57:04 pm

IP Address: n/a

Q1. **First and Last Name**

Brandon Austin

Q2. **Address**

5816 W. 61st St.

Q3. **Comment**

I love the idea of having a small restaurant in the neighborhood. Edina consistently allows developers to build all over the city. Why should a resident be denied a project that will bring value? Please approve this proposal. Thanks!



Respondent No: 536

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 13:58:46 pm

Last Seen: Sep 16, 2022 13:58:46 pm

IP Address: n/a

Q1. **First and Last Name**

Roderick Maddox

Q2. **Address**

6405 Indian Pond Cir

Q3. **Comment**

I am in full support of this re-zoning and the creation of this dining option to in my community.



Respondent No: 537

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:05:48 pm

Last Seen: Sep 16, 2022 14:05:48 pm

IP Address: n/a

Q1. **First and Last Name**

Andrew Gardner

Q2. **Address**

5821 Merold Drive

Q3. **Comment**

A restaurant is much needed on the West side of Edina and it would be wonderful to have a neighborhood spot like this!
Please make this happen!



Respondent No: 538

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:16:00 pm

Last Seen: Sep 16, 2022 14:16:00 pm

IP Address: n/a

Q1. **First and Last Name**

Leah Smith

Q2. **Address**

5712 Wycliffe Rd

Q3. **Comment**

Would love to have a restaurant we could walk to!



Respondent No: 539

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:17:44 pm

Last Seen: Sep 16, 2022 14:17:44 pm

IP Address: n/a

Q1. **First and Last Name**

Ani Gholkar

Q2. **Address**

5417 Grove Street, Edina MN

Q3. **Comment**

The idea of a small restaurant is good one. I am in support of this proposal. The only tricky part based on the drawings shown will be parking spaces; will it have enough room to backout. The patio dinning space will not allow to have different entry and exit points. Hopefully the architects have taken that into consideration. Overall, excited to see if this proposal moves forward.



Respondent No: 540

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:24:37 pm

Last Seen: Sep 16, 2022 14:24:37 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah and Terry Clark

Q2. **Address**

8 Cooper Avenue

Q3. **Comment**

I would really like to see a restaurant in the old Kevin Keys location. It would be wonderful to have a neighborhood restaurant where the community could come together and enjoy each other.



Respondent No: 541

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:26:27 pm

Last Seen: Sep 16, 2022 14:26:27 pm

IP Address: n/a

Q1. **First and Last Name**

Greta simondet

Q2. **Address**

4448 vandervork ave

Q3. **Comment**

I support the proposal for a restaurant at the former Kee's auto shop. It sounds like the restaurant made some compromises when they heard input from the neighborhood. The restaurant seems to be the best use of that property.



Respondent No: 542

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:40:57 pm

Last Seen: Sep 16, 2022 14:40:57 pm

IP Address: n/a

Q1. **First and Last Name**

Glen Anderson

Q2. **Address**

6645 Interlachen Blvd, Edina, MN 55436

Q3. **Comment**

I am strongly in favor of allowing re-zoning of the site to allow construction of the restaurant proposed at 6016 Vernon Ave. I strongly believe neighborhood restaurants add to the fabric of great neighborhoods. In addition to their obvious functions, they act as valuable neighborhood gathering places.



Respondent No: 543

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:41:16 pm

Last Seen: Sep 16, 2022 14:41:16 pm

IP Address: n/a

Q1. **First and Last Name**

Doug Lambert

Q2. **Address**

6933 Mark Terrace Circle

Q3. **Comment**

The construction of a small neighborhood restaurant like the one proposed for the Kee's Auto site would be a fantastic addition to the west side of Edina. I think the proposal is sound and fills a void that many of the residents are craving. Please approve the site and let's eat! Thank you.



Respondent No: 544

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:43:12 pm

Last Seen: Sep 16, 2022 14:43:12 pm

IP Address: n/a

Q1. **First and Last Name**

Alex Knopick

Q2. **Address**

5311 Oaklawn Ave

Q3. **Comment**

This area would benefit tremendously from a restaurant, we do NOT need more multi family housing. My in-laws would love to be able to walk there for a bite to eat!!! For all the city's efforts to get cars off the road, a restaurant in this area would help more than additional housing



Respondent No: 545

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:43:40 pm

Last Seen: Sep 16, 2022 14:43:40 pm

IP Address: n/a

Q1. First and Last Name

Todd Chambliss

Q2. Address

5524 Malibu Drive, Edina

Q3. Comment

I would like to give my family's opinion on the proposed Cafe on Vernon. We as a family have to go either to the far East side of Edina or to Hopkins or St Louis Park for meals as there is next to no options for food on our side of the town in Edina. Not only would it be convenient but what a great experience to bike and enjoy food locally and NOT have to spend our money in other communities or drive all the way to the other side of town for a simple meal. Please approve this cafe and give us the opportunity to enjoy food closer to home. As much money and taxes we keep in our community helps support us all and generates good revenue for the city.



Respondent No: 546

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 14:48:22 pm

Last Seen: Sep 16, 2022 14:48:22 pm

IP Address: n/a

Q1. **First and Last Name**

Anna Mae Lambert

Q2. **Address**

6933 Mark Terrace Circle

Q3. **Comment**

Do whatever is necessary to make this restaurant happen! Fantastic idea. We need more local eats/coffee restaurants in Edina.



Respondent No: 547

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 15:11:36 pm

Last Seen: Sep 16, 2022 15:11:36 pm

IP Address: n/a

Q1. **First and Last Name**

Jeff simondet

Q2. **Address**

4448 Vandervork

Q3. **Comment**

I am in favor of the restaurant. I see no better use for that site. Please do what's needed to help them make it a wonderful and financially viable asset to our community. Thanks Jeff



Respondent No: 548

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 15:14:09 pm

Last Seen: Sep 16, 2022 15:14:09 pm

IP Address: n/a

Q1. **First and Last Name**

Mary MiMi Heines

Q2. **Address**

6108 Habitat Ct S

Q3. **Comment**

Yes for the restaurant!



Respondent No: 549

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 15:18:55 pm

Last Seen: Sep 16, 2022 15:18:55 pm

IP Address: n/a

Q1. **First and Last Name**

Elaine Roder

Q2. **Address**

6085 Lincoln Drive #322 Edina, MN 55436

Q3. **Comment**

I think opening the Westside Cafe would be great! Let the redone happen.

**Respondent No:** 550**Login:** Anonymous**Email:** n/a**Responded At:** Sep 16, 2022 15:34:02 pm**Last Seen:** Sep 16, 2022 15:34:02 pm**IP Address:** n/a**Q1. First and Last Name**

Daniel Azar

Q2. Address

5608 Highwood Drive

Q3. Comment

I would absolutely love a place to dine and enjoy in walking distance. With the break in of our car at 50th in France we tend to shy away from there at night. Southdale area is too congested. Bottom line we drive to hopkins, eden prairie and minnetonka for safe and congestion free dining. I am well aware of possible parking issues and could care less. The positive out weighs any negative. You are building Edina into a mini Minneapolis. Minneapolis has restaurants in every neighborhood and its great. Please give us a place to eat and gather. We desparately need it. We are not talking about a rock concert venue, just a nice local gathering venue that we can walk to and enjoy. There are great sidewalks and bike paths leading to the place from all directions. It is a perfect place. Thanks



Respondent No: 551

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 15:45:27 pm

Last Seen: Sep 16, 2022 15:45:27 pm

IP Address: n/a

Q1. **First and Last Name**

Barb Farstad

Q2. **Address**

6710 Vernon Ave So

Q3. **Comment**

Please have the property be the restaurant!!



Respondent No: 552

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 15:47:14 pm

Last Seen: Sep 16, 2022 15:47:14 pm

IP Address: n/a

Q1. **First and Last Name**

Kenneth Koski

Q2. **Address**

5308 Windsor Ave

Q3. **Comment**

Please approve this proposal. As a nearby resident, the area is badly in need of more walkable activities.



Respondent No: 553

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 16:35:04 pm

Last Seen: Sep 16, 2022 16:35:04 pm

IP Address: n/a

Q1. **First and Last Name**

Michael McCauley

Q2. **Address**

4444 Andover Road

Q3. **Comment**

There is inadequate parking for the capacity of the restaurant. It is too intense a development on top of a residential area.



Respondent No: 554

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 18:10:19 pm

Last Seen: Sep 16, 2022 18:10:19 pm

IP Address: n/a

Q1. **First and Last Name**

Julie and Bjorn Gunnerud

Q2. **Address**

5601 Schaefer Road Edina, MN 55436

Q3. **Comment**

We are in favor of rezoning this area to accommodate the restaurant plan. It will be a wonderful space to build community in this area. Thank you!



Respondent No: 555

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 18:46:16 pm

Last Seen: Sep 16, 2022 18:46:16 pm

IP Address: n/a

Q1. **First and Last Name**

Darlene Munson

Q2. **Address**

6005 Eden Prairie Road

Q3. **Comment**

Against



Respondent No: 556

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 20:13:17 pm

Last Seen: Sep 16, 2022 20:13:17 pm

IP Address: n/a

Q1. **First and Last Name**

Jay Chapman

Q2. **Address**

5509 Parkwood Lane

Q3. **Comment**

My wife and I, and our 4 daughters live about a mile from the 6016 Vernon Westside Cafe location and we can't be more excited about the possibility of having a new restaurant option on the west side of edina. This is exactly what we need. We really hope that the city sees this as an opportunity to create community and another place for us to gather. Please consider approving and allowing this project to go forward. thanks for your consideration,.



Respondent No: 557

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 20:19:15 pm

Last Seen: Sep 16, 2022 20:19:15 pm

IP Address: n/a

Q1. **First and Last Name**

Polly Norman

Q2. **Address**

4905 Lakeview Dr

Q3. **Comment**

Yes to the restaurant



Respondent No: 558

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 20:33:20 pm

Last Seen: Sep 16, 2022 20:33:20 pm

IP Address: n/a

Q1. **First and Last Name**

Jennifer Halgren

Q2. **Address**

6200 S Knoll Drive

Q3. **Comment**

For years, my husband and I have said we wish there were a restaurant within walking distance of Parkwood Knolls; as empty-nesters, we've considered moving to Linden Hills in Minneapolis, where so many restaurants are right there. Please help establish more nearby restaurants to make this a wonderful walking community, not just a driving one.



Respondent No: 559

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 20:59:16 pm

Last Seen: Sep 16, 2022 20:59:16 pm

IP Address: n/a

Q1. **First and Last Name**

Morissa hamburger

Q2. **Address**

6115 Lincoln dr

Q3. **Comment**

Great idea. Perfect spot. Don't let this gem of a spot wind up with another apartment crammed on this lot.



Respondent No: 560

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 22:10:35 pm

Last Seen: Sep 16, 2022 22:10:35 pm

IP Address: n/a

Q1. **First and Last Name**

Chris Daleiden

Q2. **Address**

5024 Park Terrace. Edina. 55436

Q3. **Comment**

A restaurant at that site would be an amazing addition to our neighborhood!



Respondent No: 561

Login: Anonymous

Email: n/a

Responded At: Sep 16, 2022 23:18:35 pm

Last Seen: Sep 16, 2022 23:18:35 pm

IP Address: n/a

Q1. **First and Last Name**

Michael Holm

Q2. **Address**

6005 Walnut Drive

Q3. **Comment**

After being unsure about the new restaurant on Londonderry called Olives Pizza it turned out to be such a wonderful restaurant. The new Westside restaurant Will have the same affect. Unsure if we want change in that area but once you see families and friends frequent the restaurant you realize it's such a wonderful addition to our community. My wife and I love the idea of having a restaurant at the old Kevin Kees.



Respondent No: 562

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 00:23:29 am

Last Seen: Sep 17, 2022 00:23:29 am

IP Address: n/a

Q1. **First and Last Name**

Mark Sverkerson

Q2. **Address**

4811 West 42 1/2 Street SLP 55416

Q3. **Comment**

Hello, I live on the border of Edina. I think the Keys site would be a great location for a neighborhood restaurant! It's only about five minutes from my house. I'm sure I'd eat there often. Thank you.



Respondent No: 563

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 04:42:22 am

Last Seen: Sep 17, 2022 04:42:22 am

IP Address: n/a

Q1. **First and Last Name**

Kaye Thoeny

Q2. **Address**

68 Woodland Circle

Q3. **Comment**

This proposed restaurant would be an improvement to the neighborhood!! It is a perfect gathering space for the area. I'm all for it. Give this project a chance.



Respondent No: 564

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 05:28:39 am

Last Seen: Sep 17, 2022 05:28:39 am

IP Address: n/a

Q1. **First and Last Name**

Marhya Molepske

Q2. **Address**

5920 Ashcroft Ave

Q3. **Comment**

A local restaurant is the best option for 6016 Vernon. People move to Edina for the unique small town community feel it offers. This help sets Edina apart from other cities. A restaurant like this offers a walkable gathering location for residents as there are no real restaurant options on the west side.



Respondent No: 565

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 06:09:26 am

Last Seen: Sep 17, 2022 06:09:26 am

IP Address: n/a

Q1. **First and Last Name** Deepak Nath

Q2. **Address** 6020 Tracy Ace

Q3. **Comment**

Please approve this rezoning. We need this new restaurant in Edina!.



Respondent No: 566

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 07:01:25 am

Last Seen: Sep 17, 2022 07:01:25 am

IP Address: n/a

Q1. **First and Last Name**

Jane Ramsland

Q2. **Address**

6800 York Avenue

Q3. **Comment**

We feel the community is eager to have a neighborhood restaurant and applaud you for your efforts in making this happen!



Respondent No: 567

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 07:06:11 am

Last Seen: Sep 17, 2022 07:06:11 am

IP Address: n/a

Q1. **First and Last Name**

Josh Ortmeier

Q2. **Address**

6224 Knoll Drive

Q3. **Comment**

We are in support of having a neighborhood restaurant. It will be a great addition to our community.



Respondent No: 568

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 07:54:48 am

Last Seen: Sep 17, 2022 07:54:48 am

IP Address: n/a

Q1. **First and Last Name**

Gerald R Weber

Q2. **Address**

4500 Golf Ter

Q3. **Comment**

Dinning out is becoming more and more important to Edina residents. Look at what the station has meant at Woodale and Valleyview for example, People love their neighborhood restaurants. 50th and France is great but parking is **always** a problem unless you are willing to walk. That is what would make this a great addition.

**Respondent No:** 569**Login:** Anonymous**Email:** n/a**Responded At:** Sep 17, 2022 09:22:52 am**Last Seen:** Sep 17, 2022 09:22:52 am**IP Address:** n/a**Q1. First and Last Name**

Deb & Mark Hanson

Q2. Address

5212 Meadow Ridge

Q3. Comment

Dear City Council Members: Thank you for the opportunity to provide input for the discussion of Westside Cafe at 6016 Vernon Ave. Westside Cafe would be an amazing asset to the community, particularly in the Grandview area of Edina, that currently lacks dining options. Local restaurants are an impactful gathering place for communities, fosters regional job growth, supports local agriculture, and keeps our hard-earned money in the community. Having another space where the community can gather and enjoy a meal and camaraderie would benefit All Edina residents. With the influx of multi-family dwellings over the past several years, it's time to look at what most Edina residents would like to see in this space. Adding a restaurant would be an incentive and is aesthetically more pleasing than seeing another apartment building. The Grandview area is a neighborhood- let's keep it that way and support our hometown with an asset for ALL of Edina to enjoy.



Respondent No: 570

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 09:31:20 am

Last Seen: Sep 17, 2022 09:31:20 am

IP Address: n/a

Q1. **First and Last Name**

Amy Gustafson

Q2. **Address**

4518 Bruce Avenue, Edina

Q3. **Comment**

Yes I support a neighborhood restaurant at the former Kevin Kee's Auto Shop. More restaurants and less apartments and tall buildings!



Respondent No: 571

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 10:18:26 am

Last Seen: Sep 17, 2022 10:18:26 am

IP Address: n/a

Q1. **First and Last Name**

Jill Inwards

Q2. **Address**

6005 Eden Prairie Road #201

Q3. **Comment**

Please don't let this go through! I live in the condo next door and my bedroom window faces that property . I don't want to hear the talking or smell the odors coming from that restaurant. So I'm opposing this proposal. Thank you!



Respondent No: 572

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 12:22:03 pm

Last Seen: Sep 17, 2022 12:22:03 pm

IP Address: n/a

Q1. **First and Last Name**

Jen Berge

Q2. **Address**

6713 Samuel Road

Q3. **Comment**

We have lived near Braemar for a long time and would love to see a restaurant on this side of town. There are many options in the other areas of Edina but this area is clearly lacking in gathering places. Thank you!



Respondent No: 573

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 13:13:15 pm

Last Seen: Sep 17, 2022 13:13:15 pm

IP Address: n/a

Q1. **First and Last Name**

Monica Robb

Q2. **Address**

11914 Germaine Terrace, Eden Prairie, MN 55347

Q3. **Comment**

Yes, I would like a neighborhood restaurant at the old Kevin Keyes location. I think it would be a wonderful gathering spot and just the right size!



Respondent No: 574

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 13:23:38 pm

Last Seen: Sep 17, 2022 13:23:38 pm

IP Address: n/a

Q1. **First and Last Name**

Maggie and Lee Valenta

Q2. **Address**

5033 Park Terrace Edina 55436

Q3. **Comment**

It would be beyond wonderful to have a restaurant in our little neck of the woods! There is so very little to choose from in West Edina. We support this project 100%!



Respondent No: 575

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 14:03:28 pm

Last Seen: Sep 17, 2022 14:03:28 pm

IP Address: n/a

Q1. **First and Last Name**

Ken Hartwell

Q2. **Address**

6710 Vernon Ave., S., #210, Edina, MN 55436

Q3. **Comment**

I vote "YES" for the restaurant proposal for the property at 6016 Vernon Avenue, Edina



Respondent No: 576

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 15:29:26 pm

Last Seen: Sep 17, 2022 15:29:26 pm

IP Address: n/a

Q1. **First and Last Name**

Mark Grovak

Q2. **Address**

5024 Yvonne Terrace

Q3. **Comment**

This proposed development is not in accordance with the City's Comprehensive Plan and would place an undue burden on a totally residential area. The noise and light pollution from the proposed development will have a significant impact on the neighbors in the area on summer evenings. This location should remain targeted for a solely residential area as previously decided by the City in its long term plan.



Respondent No: 577

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 15:35:05 pm

Last Seen: Sep 17, 2022 15:35:05 pm

IP Address: n/a

Q1. **First and Last Name**

Pete Hinze

Q2. **Address**

5500 Dundee Road

Q3. **Comment**

Would love to see a chef-driven, local restaurant in the neighborhood.



Respondent No: 578

Login: Anonymous

Email: n/a

Responded At: Sep 17, 2022 18:17:40 pm

Last Seen: Sep 17, 2022 18:17:40 pm

IP Address: n/a

Q1. **First and Last Name**

Marisa Paule

Q2. **Address**

6000 Idylwood Drive

Q3. **Comment**

I believe a restaurant would be an amazing addition to this neighborhood. May people would be able to walk/ bike which would cut down on the parking needs.



Respondent No: 579

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 00:42:48 am

Last Seen: Sep 18, 2022 00:42:48 am

IP Address: n/a

Q1. **First and Last Name**

Watchmaker DeeAnne

Q2. **Address**

5816 Vernon Lane

Q3. **Comment**

Fully support a restaurant at this location!!



Respondent No: 580

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 03:56:22 am

Last Seen: Sep 18, 2022 03:56:22 am

IP Address: n/a

Q1. **First and Last Name**

Ashley Keil Wackman

Q2. **Address**

4537 Parkside Lane

Q3. **Comment**

We would love to see a restaurant at this location. There are not many options for dining in this area. We would especially like this as it's an easy walk or bike ride from our house!



Respondent No: 581

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 05:00:36 am

Last Seen: Sep 18, 2022 05:00:36 am

IP Address: n/a

Q1. **First and Last Name**

Karen Lindblom

Q2. **Address**

5528 Merritt Circle

Q3. **Comment**

I support the proposal for the Westside Cafe. We need to bring more walkable gathering places to our neighborhoods. Let's support small businesses!



Respondent No: 582

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 05:49:48 am

Last Seen: Sep 18, 2022 05:49:48 am

IP Address: n/a

Q1. **First and Last Name**

linda singer

Q2. **Address**

5417 Malibu Drive

Q3. **Comment**

I would love a neighborhood restaurant that I could walk to.



Respondent No: 583

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 08:14:30 am

Last Seen: Sep 18, 2022 08:14:30 am

IP Address: n/a

Q1. **First and Last Name**

Josie Koppen

Q2. **Address**

4508 Oxford Ave Edina

Q3. **Comment**

I'm all for it! We need more walkable restaurants.



Respondent No: 584

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 09:07:49 am

Last Seen: Sep 18, 2022 09:07:49 am

IP Address: n/a

Q1. **First and Last Name**

Richard Manser

Q2. **Address**

5024 Edinbrook Lane

Q3. **Comment**

Please move forward with the restaurant as proposed.



Respondent No: 585

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 09:19:04 am

Last Seen: Sep 18, 2022 09:19:04 am

IP Address: n/a

Q1. **First and Last Name**

Jeff Griswold

Q2. **Address**

5516 Doncaster Way

Q3. **Comment**

Please change the zoning to allow this to be a restaurant. My thoughts:: - I expect minimal impact on traffic since many will walk out bike there. I live a half mile away and that's what I will do. - There is a distinct lack of places to eat in this neighborhood. Hilltop is the only thing close and it's overcrowded even though it's not very good, so we clearly want something new. - Given the location, this is not likely to draw customers from far away. I expect it will be a place where neighbors get together and build community. Town Hall Station seems to be a success for that neighborhood. If like to see the same here. Thanks for your consideration.



Respondent No: 586

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 09:48:10 am

Last Seen: Sep 18, 2022 09:48:10 am

IP Address: n/a

Q1. **First and Last Name**

Heather Goudy

Q2. **Address**

6136 Chowen Ave S

Q3. **Comment**

A restaurant would be perfect at this site. We need places like this that will bring our community together for fun and fellowship!



Respondent No: 587

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 10:04:21 am

Last Seen: Sep 18, 2022 10:04:21 am

IP Address: n/a

Q1. **First and Last Name**

Elizabeth A Habas

Q2. **Address**

5812 Chowen Ave. S.

Q3. **Comment**

Looking forward to this place opening up!



Respondent No: 588

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 10:10:21 am

Last Seen: Sep 18, 2022 10:10:21 am

IP Address: n/a

Q1. **First and Last Name**

Shaun Johnson

Q2. **Address**

5605 Ayrshire Blvd

Q3. **Comment**

We are very excited to have a neighborhood restaurant! We believe it will be a great gathering place for neighbors and the community. We think it's a great replacement to the repair shop that was there before, and will add value to the neighborhood. We look forward to being able to walk to dinner or lunch from our home with our kids and neighbors.



Respondent No: 589

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 10:32:31 am

Last Seen: Sep 18, 2022 10:32:31 am

IP Address: n/a

Q1. **First and Last Name**

Nancy Phinney

Q2. **Address**

6028 Olinger Circle, Edina, MN 55436

Q3. **Comment**

I would definitely like to see a restaurant in this space. We have no eateries in this part of town and it would be a much needed addition!



Respondent No: 590

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 11:07:56 am

Last Seen: Sep 18, 2022 11:07:56 am

IP Address: n/a

Q1. **First and Last Name**

Barbara Fredrickson

Q2. **Address**

6105 Eden Prarie Rd

Q3. **Comment**

Opposed to lack of parking space as it would impact all of the side streets and safety for any small children who might use streets for biking, playing etc.. Also opposed to sale of alcohol into the late hours promoting noise and safety problems!.



Respondent No: 591

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 13:30:52 pm

Last Seen: Sep 18, 2022 13:30:52 pm

IP Address: n/a

Q1. **First and Last Name**

annie vigso

Q2. **Address**

5713 View Lane, Edina

Q3. **Comment**

I strongly support the restaurant plan this is proposed for this site. Currently it's just a run down building and an unattractive look for the neighborhood. The neighborhood has very few dining options and a restaurant in this location would be a charming and convenient upgrade to the neighborhood



Respondent No: 592

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 14:46:41 pm

Last Seen: Sep 18, 2022 14:46:41 pm

IP Address: n/a

Q1. **First and Last Name**

Bill Marshall

Q2. **Address**

6105 Eden Prairie Rd #12

Q3. **Comment**

My primary objections to the proposed restaurant are the late evening noise and overflow parking on our street.



Respondent No: 593

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 15:44:37 pm

Last Seen: Sep 18, 2022 15:44:37 pm

IP Address: n/a

Q1. **First and Last Name**

Tracy Wang

Q2. **Address**

5512 Blake Rd S.

Q3. **Comment**

We'd like to have a restaurant serving our neighborhood at 6016 Vernon Ave. This can become a meeting place for our neighborhood and bring us together.

**Respondent No:** 594**Login:** Anonymous**Email:** n/a**Responded At:** Sep 18, 2022 15:58:37 pm**Last Seen:** Sep 18, 2022 15:58:37 pm**IP Address:** n/a**Q1. First and Last Name**

Mariah Grovak

Q2. Address

6005 Eden prairie rd, Edina, MN 55436

Q3. Comment

I live at 6005 Eden Prairie Road, the property that is directly next to the proposed restaurant located at 6016 Vernon Avenue. I am a health care worker with variable hours and am very concerned about the noise and light pollution of the proposed restaurant affecting my ability to sleep when I have shifts that require me to sleep in the evening. After reviewing the package that has been submitted I have serious concerns about what is being proposed and the large number of variances that the city must issue to allow the project to go forward. The City of Edina went through a long, complex and collaborative process to layout the vision for future development in the city to avoid a haphazard approach and end up with a mishmash that no one is happy with. This proposed restaurant goes totally against what the Edina Comprehensive Plan has laid out for this property and does not provide any compelling reasons on why the Plan should be totally ignored. The small setbacks that this restaurant would have are ridiculous. How can you have a 0 foot setback? Has the city ever allowed for no setback for a commercial business to a residential site? The traffic study did not address the impact of the additional traffic from the food delivery services such as Door Dash or Uber Eats. More and more people take advantage of this convenient service and it significantly increases vehicle traffic throughout the day. It is a major marketing tool used by restaurants and is not mentioned anywhere in the proposal. It is obvious to the objective observer that the large number of variances required and the minuscule setbacks to adjacent residential properties highlights that what is being proposed for 6016 Vernon does not fit physically or within the City's Comprehensive plan. The project as proposed should be denied. Mariah Grovak

**Respondent No:** 595**Login:** Anonymous**Email:** n/a**Responded At:** Sep 18, 2022 16:49:17 pm**Last Seen:** Sep 18, 2022 16:49:17 pm**IP Address:** n/a**Q1. First and Last Name**

Jake Heckenlaible

Q2. Address

5408 Highwood Drive W, Edina

Q3. Comment

In the past, Edina residents often traveled outside the city for dining options. This was necessitated because few dining options existed, and also because residents were happy to travel by car into Minneapolis or other areas for nightlife. But in recent times including the pandemic, Edina residents have shown a strong desire to remain closer to home, outdoor activities have increased in popularity, and local walk-in / bike-in establishments have become ideal destinations. Unfortunately, very few dining options are available locally. The proposed 6016 Cafe would bring a much needed local dining option to an area severely lacking in restaurants - specifically Edina West of Highway 100. The proposed 6016 plan addresses all the needs and trends of what our city and its residents are looking for: plenty of parking, highly accessible for bike and pedestrian traffic, excellent connection to the outdoors, service for meals throughout the day, and a locally owned and operated establishment presented in a respectful scale that is appropriate for the surrounding neighborhoods. Please don't let an extremely small vocal minority ruin this ideal opportunity for our city. Please approve all zoning and planning requests allowing this excellent opportunity become a reality. Many Thanks



Respondent No: 596

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 18:17:33 pm

Last Seen: Sep 18, 2022 18:17:33 pm

IP Address: n/a

Q1. **First and Last Name**

kathrine p frey

Q2. **Address**

6213 BALDER LANE

Q3. **Comment**

Support restaurant at site



Respondent No: 597

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 19:45:13 pm

Last Seen: Sep 18, 2022 19:45:13 pm

IP Address: n/a

Q1. **First and Last Name**

Michelle Paule

Q2. **Address**

6000 Idylwood Drive, Edina

Q3. **Comment**

This is a valuable space in Edina that should be shared by the residents of Edina. A restaurant would be an excellent space to bring our community together especially since we don't have this type of space on the West side of Hwy 100. What an excellent opportunity to have a restuarant that we can walk to and enjoy meeting our neighbors.



Respondent No: 598

Login: Anonymous

Email: n/a

Responded At: Sep 18, 2022 22:11:12 pm

Last Seen: Sep 18, 2022 22:11:12 pm

IP Address: n/a

Q1. **First and Last Name**

Sandra Davis

Q2. **Address**

6405 Harold Woods Lane

Q3. **Comment**

As a more than 25 year resident in Parkwood Knolls, I would so welcome this neighborhood gathering spot. There is nothing near here and I could walk or bike so easily. This would be a way to really have an impact on making this neighborhood into a community. It matters to those of us who live here. thank you.



Respondent No: 599

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 05:05:23 am

Last Seen: Sep 19, 2022 05:05:23 am

IP Address: n/a

Q1. **First and Last Name**

Dean Mathews

Q2. **Address**

7404 W Shore Dr

Q3. **Comment**

I used to live in Edina by Town Hall Station and that was a great addition to the neighborhood. This concept in the old Kevin Keys would bring the same.



Respondent No: 600

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 06:37:40 am

Last Seen: Sep 19, 2022 06:37:40 am

IP Address: n/a

Q1. **First and Last Name**

William Dubbs

Q2. **Address**

5020 Malibu Drive 55436

Q3. **Comment**

I am in favor of adding a small restaurant. Edina could use more charming spots to enjoy a snack or glass of wine.



Respondent No: 601

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 07:53:06 am

Last Seen: Sep 19, 2022 07:53:06 am

IP Address: n/a

Q1. **First and Last Name**

Jenna Hanzal

Q2. **Address**

5005 Yvonne Terrace, Edina, MN 55436

Q3. **Comment**

I would like to see this as a restaurant space. It fills a void in the area and would be a great place to create community and socialize with neighbors. Knowing your neighbors is also a fantastic way to increase safety, by added awareness.



Respondent No: 602

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 07:55:35 am

Last Seen: Sep 19, 2022 07:55:35 am

IP Address: n/a

Q1. **First and Last Name**

Kurt Lange

Q2. **Address**

5301 Mirror Lakes Dr

Q3. **Comment**

I would really like to see the restaurant pass, it would be great to have more local options and local business.



Respondent No: 603

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 08:17:18 am

Last Seen: Sep 19, 2022 08:17:18 am

IP Address: n/a

Q1. **First and Last Name**

Timothy D Wackman

Q2. **Address**

4537 Parkside Lane

Q3. **Comment**

Please allow this to become a restuarant. Our community needs more gathering options west of 100.



Respondent No: 604

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 08:58:33 am

Last Seen: Sep 19, 2022 08:58:33 am

IP Address: n/a

Q1. **First and Last Name**

Patrick McGovern

Q2. **Address**

5101 William Ave Edina 55436

Q3. **Comment**

100% in favor of a restaurant!! Life long Edina resident and proven success in the industry deserves a change to upgrade such a unique spot in a wonderful community! Life long (all but 7 years) Edina resident since 1977, Patrick McGovern ♣



Respondent No: 605

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 09:46:06 am

Last Seen: Sep 19, 2022 09:46:06 am

IP Address: n/a

Q1. **First and Last Name**

Pamela Allen

Q2. **Address**

6105 Eden Prairie Road #15

Q3. **Comment**

A restaurant would severely hurt the residential neighbors surrounding this lot. The noise, lights, smells, and traffic would destroy the neighborhood livability and walkability. As a result of the above points the home values will be markedly diminished. PLEASE do not let a restaurant go into this area!



Respondent No: 606

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 10:44:08 am

Last Seen: Sep 19, 2022 10:44:08 am

IP Address: n/a

Q1. **First and Last Name**

Steven Krikava

Q2. **Address**

5417 Malibu Dr., Edina MN 55436

Q3. **Comment**

I support the proposal to remodel and expand the existing Kee's auto repair shop at 6016 Vernon Avenue into a 2,300 square foot, 59-seat restaurant. The site is walking distance to my house which makes it very attractive to me and should be a big plus for the neighborhood. Also, a restaurant developed as proposed would be much preferable to leaving the property as an automotive service site.



Respondent No: 607

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 11:03:26 am

Last Seen: Sep 19, 2022 11:03:26 am

IP Address: n/a

Q1. **First and Last Name**

Audrey Allopenna

Q2. **Address**

5405 Londonderry Road

Q3. **Comment**

believe the proposed redevelopment of this site will have an adverse effect on our neighborhoods. I am not in favor.



Respondent No: 608
Login: sheri219
Email: sheri219@gmail.com

Responded At: Sep 19, 2022 11:40:26 am
Last Seen: Sep 19, 2022 18:34:48 pm
IP Address: 73.94.53.78

Q1. **First and Last Name**

Sheri Rosen

Q2. **Address**

6016 Kaymar Dr. Edina, MN 55436

Q3. **Comment**

I am writing in opposition to the proposed redevelopment plan for 6016 Vernon Ave. When we moved to Edina almost 10 years ago, we chose a quiet street in a quiet residential neighborhood for many reasons. Chief among those was that Kaymar Dr. is a street with limited traffic and it is a safe and enjoyable place for children to ride bikes and play in the street, for our neighbors to walk their dogs, and for families to take walks. I acknowledge that this site has previously been zoned for business and not residential but the prior business at this address was quiet and really had no effect on the neighborhood. It makes far more sense for this site to be rezoned for additional residential units or even transformed into a pocket park. The proposed changes to the site will completely change the character of the neighborhood. Contrary to what the developer is claiming to their supporters, they have not reached out to those of us living in the neighborhood and have not taken steps to gain our support. Restaurant patrons would fill our streets, parking their cars along Eden Prairie Rd, Kaymar Drive, and other nearby streets as the on-site parking would be insufficient. (Both at zoned numbers and requested variance). The proposed business hours mean restaurant staff and delivery trucks will be arriving early, increasing early morning noise in the neighborhood. Proposed closing times will greatly increase the night time noise and late night traffic on our streets. During the school year, the school busses make several stops along Eden Prairie Rd and Kaymar Dr; when these streets are filled with restaurant patrons' cars, it will be very difficult for the busses to get through and will increase the risk of accidents involving our children. We could talk about snow plowing and so many other issues but I'll stop. The residents of our neighborhood chose this neighborhood for a reason. Please help us keep the quiet neighborhood we've grown to love and do not approve this project or rezoning to neighborhood node. sincerely, Sheri Rosen



Respondent No: 609

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 11:44:45 am

Last Seen: Sep 19, 2022 11:44:45 am

IP Address: n/a

Q1. **First and Last Name**

Steven Begich

Q2. **Address**

6105 Eden Prairie Rd Apt 11

Q3. **Comment**

I oppose the development of a restaurant at the Kevin Kee's site. This is a residential neighborhood and the proposed restaurant would greatly disrupt the look and feel of the area. There would be increased congestion of the residential streets resulting in our once quiet streets becoming congested, noisy and less safe. The increase noise would be a nuisance. Alcohol sales introduce many safety concerns for all the residents but particularly the young and the old that now walk, run and bike down our quiet streets. Please vote no to this development. Thank you. Steve Begich

**Respondent No:** 610**Login:** Anonymous**Email:** n/a**Responded At:** Sep 19, 2022 12:55:11 pm**Last Seen:** Sep 19, 2022 12:55:11 pm**IP Address:** n/a**Q1. First and Last Name**

Tracy Pepper

Q2. Address

6004 Eden Prairie Rd

Q3. Comment

To Cary Teague, I am writing to communicate my opposition to the proposed redevelopment of 6016 Vernon Avenue to a restaurant. I live at 6004 Eden Prairie Road, just diagonal and across the street from the proposed development. We live on a quiet street, where people bike and walk, often after returning from school and work. We moved to Edina from Santa Fe, New Mexico in 2013, because we saw our values reflected in the community, as a place where we could raise our family safely, take advantage of excellent schools, and live in peace and safety. A review of the very first page of the Edina City's Comprehensive Plan Executive Summary indicates that the appeal was not accidental: "growth, redevelopment and public investments are directed to neighborhood nodes . . . This strategy to focus growth preserves the integrity of single-family and low-density neighborhoods . . ." As I bike past Town Hall, heading home from the Southdale emergency department at 11pm, I observe the red fluorescent lights reflected in the windows of the apartment facing the area. Doors slam, chatter and music echo down the street of an otherwise tranquil, sleepy neighborhood. This will become the scene every day and evening across from my home. Even with the proposed modifications, our street will undoubtedly be used for parking, as the number of parking spaces is inadequate for patrons and staff. The entry point on Vernon Avenue means patrons of the restaurant will be pulling onto a straightaway with a hill, where rush hour traffic doesn't pause. An establishment serving alcohol will lower the inhibitions of all those exiting – will they see my son racing across the street after an errant kickball? Will they brake for my daughter biking back from Valley View Middle School? We expect Edina to adhere to its comprehensive plan, in which it lays out how residential areas should be used. We understand that change will arrive, but advocate for re-zoning 6016 to a residential area. The restaurant development would be completely antithetical to this plan. This would be the only instance that I am aware of in which Edina would develop a restaurant in a residential area. We are proud of the coalition we have built among neighbors opposing this proposal. We meet people in our living room, as they walk past our home, and in their driveways. We have gone door-to-door to talk with people. In contrast, the restaurant campaign involved a sign with a QR code on Vernon, and a Twitter campaign meant to generate a higher number of "clicks." Most disturbing, they have attempted to use the specter of affordable housing as a scare tactic to push more people to support the restaurant. We look forward to welcoming new neighbors into a vibrant, safe, thriving community. I believe "democracy" with a small "d" will help convince the council that Edina must make good on its commitment. Keep our neighborhood residential, and fulfill Edina's promise. Thank you for taking the time to carefully consider my concerns. Tracy Pepper, MD 6004 Eden Prairie Rd. Edina, MN 55436

**Respondent No:** 611**Login:** Anonymous**Email:** n/a**Responded At:** Sep 19, 2022 13:02:01 pm**Last Seen:** Sep 19, 2022 13:02:01 pm**IP Address:** n/a**Q1. First and Last Name**

Frank W. and Margo C. Bonvino

Q2. Address

5518 Highwood Dr. W. Edina, MN

Q3. Comment

To: Members of the Edina City Planning Commission and Edina City Council c/o Mr. Carey Teague, Community Development Director. From: Frank W. And Margo C. Bonvino Property Address: 5518 Highwood Drive, West, Edina, MN 55436 Date: September 19, 2022 My comments below supplement our concerns expressed in my email, dated October 26, 2021 addressed to Mr. Carey Teague, Community Development Director. [Note: Mr. Teague we ask that, if possible, you attach a copy of my October 26, 2021 email to this email so that the Members have the entirety of our position on this matter. Thank you. Margo and I reaffirm our opposition to the updated proposal submitted by Special X Properties LLC ("Special X") to construct and operate a restaurant (the "Proposed Use") on the property located at 6016 Vernon Avenue, Edina, MN (the "Site"), for the reasons set forth in my October 26, 2021 email and the additional reasons set forth in this email. We understand that Special X, by itself or through its affiliates, has communicated with various members of the Community who, for the most part, do not live in vicinity of the Site — but not with many of the property owners directly affected by the Proposed Use. We have not received any such communication and to my knowledge neither have our neighbors with whom we have contact. We also have reason to believe that Special X, or its affiliates, have made certain statements in its communications, which were not authorized or approved by the City. Further, as stated in my October 26, 2021 email, we believe that the prior use of the property as a gas station and auto repair shop, for many years, should require an environmental assessment in any event. The fact that the City's Comprehensive Plan provides that if the subject property were to be re-zoned the Comprehensive Plan would need to be amended to permit the Proposed Use - contrary to the promise regarding rezoning made by the City to its residents as set forth in the current Comprehensive Plan. It seems to us that if the City were to approve the application by Special X to permit Proposed Use on the Site which Site is located in a residential neighborhood, such an action would create a precedent that other developers might very well pursue with respect to their proposed projects, in residential areas of the City. In addition our concern that the Proposed Use would likely adversely affect the value of our property and those of our neighbors, we are also concerned that we have enjoyed the quiet and peaceful use of our property for more than 49 years of ownership. We believe that would dramatically change should Special X's Proposed Use be approved (e.g., parking in front our and our neighbors' property and loud noise and light emanating from the Site) — particularly if the many requested variances shown in the plans and sketches submitted by Special X in support of its application for rezoning of the Site — were to be granted by the City and to the extent applicable by Hennepin County. For all of the reasons set forth in this email and in our October 26, 2021 email, we respectfully request that the Proposed Use of the Site as requested by Special X be rejected by the City Planning Commission and the City Council. Thank you, in advance, for your consideration of our views. Frank W. Bonvino



Respondent No: 612

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 13:06:44 pm

Last Seen: Sep 19, 2022 13:06:44 pm

IP Address: n/a

Q1. **First and Last Name**

Jeffrey Keyes

Q2. **Address**

6105 Eden Prairie Rd

Q3. **Comment**

I strongly oppose this development. The developer cannot sustain the burden of showing that the comprehensive plan should be amended to allow this rezoning from residential to commercial use. There is no justification for the disturbance to the residential neighborhood that would be entailed in this development. Increased noise, inadequate parking, safety issues arising from alcohol sales, outdoor patio noise, grill grease odor and more all militate against this development. Please save our neighborhood!



Respondent No: 613

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 15:26:18 pm

Last Seen: Sep 19, 2022 15:26:18 pm

IP Address: n/a

Q1. **First and Last Name**

Karen Hoops

Q2. **Address**

5108 Mirror Lakes Drive, Edina, MN

Q3. **Comment**

It appears a lot of thought and work has already gone into preliminary plans for a "Westside Cafe". I appreciate that you have listened to those residents who live in the neighborhood and are addressing their concerns. Not sure I have anything to add at this point regarding the site plan including grading, drainage, erosion control, utilities, landscaping, etc. I like the idea of a limited healthy Cafe food menu (e.g. bakery goods, salads, soups, sandwiches, coffee, tea, smoothies, etc.). I would like to see as much farm-to-table nutritious food used as possible to support local MN farmers/gardeners/businesses. Maybe make it unique/nostalgic by having a juke box ... and/or having some "special" for each day of the week to draw in different age groups. Just a couple of ideas. Thank you for seeking community input!



Respondent No: 614

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 15:57:52 pm

Last Seen: Sep 19, 2022 15:57:52 pm

IP Address: n/a

Q1. **First and Last Name**

Karen Haff

Q2. **Address**

6501 Scandia Rd.

Q3. **Comment**

Would love to see this restaurant on Vernon with these two owners!



Respondent No: 615

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:25:35 pm

Last Seen: Sep 19, 2022 19:25:35 pm

IP Address: n/a

Q1. **First and Last Name**

ANNETTE KUCK

Q2. **Address**

6316 WESTWOOD CT

Q3. **Comment**

I support the re-zoning of the Kevin Kees property to support a restaurant.



Respondent No: 616

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:43:52 pm

Last Seen: Sep 19, 2022 19:43:52 pm

IP Address: n/a

Q1. **First and Last Name**

Ben ponson

Q2. **Address**

570& dale ave

Q3. **Comment**

I think that the cafe is s great idea and encourage it



Respondent No: 617

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:44:01 pm

Last Seen: Sep 19, 2022 19:44:01 pm

IP Address: n/a

Q1. **First and Last Name**

Ben Riter

Q2. **Address**

5717 CHOWEN AVE S

Q3. **Comment**

as an edina resident i believe the city's comprehensive plan should be respected and 6016 vernon should not be rezoned for a new restaurant



Respondent No: 618

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:44:17 pm

Last Seen: Sep 19, 2022 19:44:17 pm

IP Address: n/a

Q1. **First and Last Name**

Philip Colwell

Q2. **Address**

6611 Pawnee rd

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant



Respondent No: 619

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:48:55 pm

Last Seen: Sep 19, 2022 19:48:55 pm

IP Address: n/a

Q1. **First and Last Name**

Mac duffy

Q2. **Address**

6001 dublin circle

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant.



Respondent No: 620

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 19:59:06 pm

Last Seen: Sep 19, 2022 19:59:06 pm

IP Address: n/a

Q1. **First and Last Name**

David Irwin

Q2. **Address**

6025 Kaymar Drive

Q3. **Comment**

I think the restaurant is a great investment into our community and will be a nice place to eat considering there are not many restaurants near our house



Respondent No: 621

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 20:13:31 pm

Last Seen: Sep 19, 2022 20:13:31 pm

IP Address: n/a

Q1. **First and Last Name**

Griffin Moen

Q2. **Address**

4430 Garrison Lane

Q3. **Comment**

I think putting in a restaurant here would be a great add to the neighborhood!!!



Respondent No: 622

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 20:16:57 pm

Last Seen: Sep 19, 2022 20:16:57 pm

IP Address: n/a

Q1. **First and Last Name**

Nick Tande

Q2. **Address**

6401 Mildred ave

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant.



Respondent No: 623

Login: Anonymous

Email: n/a

Responded At: Sep 19, 2022 20:25:01 pm

Last Seen: Sep 19, 2022 20:25:01 pm

IP Address: n/a

Q1. **First and Last Name**

Sarah Irwin

Q2. **Address**

6025 Kaymar Drive

Q3. **Comment**

I think I've changed my mind about it. It sounds like a very fun place to hang out

**Respondent No:** 624**Login:** Anonymous**Email:** n/a**Responded At:** Sep 20, 2022 07:41:40 am**Last Seen:** Sep 20, 2022 07:41:40 am**IP Address:** n/a**Q1. First and Last Name**

Joan and Leigh Johnson

Q2. Address

6105 Eden Prairie Road #13, Edina

Q3. Comment

We are new residents to Edina and oppose the Kee's proposal for a restaurant on Vernon Ave/Eden Prairie Road. We believe the proposal very negatively impacts the surrounding residential area.

1. **Parking/Traffic.** The restaurant proposal is too large for the size of the lot and does not provide enough off-street parking. Vernon Avenue has a bike path and that should not be changed to accommodate the restaurant. The surrounding residential streets should not be forced to accommodate restaurant patrons. They currently are well used by residents and are not designed to accommodate commercial traffic. There are no sidewalks requiring people to walk on the streets or on residents' lawns—not desirable and a safety issue.. No parking signage would inconvenience current residents and lead to issues of enforcement.
2. **Noise/lighting** The restaurant would have long hours into the night and generate significant noise—especially in summer. The traffic would be continual—ruining a quiet neighborhood. The lighting would also be an ongoing night annoyance.
3. **Alcohol Sales.** Having a full bar means potential safety and behavioral issues for both the premises and the surrounding residential area.
4. **Smells/grease.** The restaurant kitchen vents will release significant odors and grease to surrounding areas—not desirable air quality for residents.
5. **Decreased Property Values** All of the above negative factors will result in lower property values for current residents. Realtors are estimating between 10-20%. Finally, we ask the council to maintain restrictions on the use of this property for the good of the surrounding residential areas and the city itself. Since this lot is situated in the heart of a residential area, building a single family home or a double home/condominium would appear to best serve the needs of the community. The Vernon Avenue commercial area is just down the road and adequately services the neighborhood.



Respondent No: 625

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 09:04:12 am

Last Seen: Sep 20, 2022 09:04:12 am

IP Address: n/a

Q1. **First and Last Name**

Helena Orlandi

Q2. **Address**

5004 Kelsey Terrace

Q3. **Comment**

We would love to see a restaurant on this site. We support the proposal to build the restaurant. Thank you, Helena Orlandi



Respondent No: 626
Login: Liz Olson
Email: lkolson@EdinaMN.gov

Responded At: Sep 20, 2022 09:21:15 am
Last Seen: Sep 23, 2022 13:47:30 pm
IP Address: 156.142.13.110

Q1. **First and Last Name** Lillian Tita

Q2. **Address** 6105 Eden Prairie Rd., Apt 21, Edina

Q3. **Comment**

I do not approve of the project of being built. It will lead to too much traffic and too much noise. Thank you.(Voicemail received 9/20/22 at 9:43 AM. Transcribed by Liz Olson, City Staff Member)



Respondent No: 627
Login: Liz Olson
Email: lkolson@EdinaMN.gov

Responded At: Sep 20, 2022 09:23:47 am
Last Seen: Sep 23, 2022 13:47:30 pm
IP Address: 156.142.13.110

Q1. **First and Last Name** Judy and Gail Brothers

Q2. **Address** 6020 Grove Circle, Edina

Q3. **Comment**

We would be in favor of the redevelopment. We think it might be a nice thing to have on our side of town. Thank you.
(Voicemail received 9/20/22 at 11:14 AM. Transcribed by Liz Olson, City Staff Member)



Respondent No: 628

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 10:28:15 am

Last Seen: Sep 20, 2022 10:28:15 am

IP Address: n/a

Q1. **First and Last Name**

Jennifer Skavnak

Q2. **Address**

6713 West Shore Drive, Edina 55435

Q3. **Comment**

As a resident of Edina for the past 14 years, I strongly believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant..

**Respondent No:** 629**Login:** Anonymous**Email:** n/a**Responded At:** Sep 20, 2022 12:19:04 pm**Last Seen:** Sep 20, 2022 12:19:04 pm**IP Address:** n/a**Q1. First and Last Name**

Kristin Horvath

Q2. Address

5601 Highwood Drive, Edina MN 55436

Q3. Comment

Hello - I am against the proposed restaurant for 6016 Vernon Avenue. My main concern regards the increase in traffic and likely street parking that would result during busy restaurant hours. Our house is within a block, up the street, from the restaurant on Highwood Drive and will be significantly impacted by on-street parking from restaurant patrons. There are no sidewalks on the road which will make the increase in traffic and parking more dangerous for pedestrians or bikers. I have 3 children 5yrs and under and really value the quiet street and neighborhood. It is a dangerous precedent to change the comprehensive plan so quickly after it was established in order to build a restaurant that does not fit in size and scope to the parcel of land purchased. The traffic and parking study clearly shows that there will not be enough parking based on ITE standards in the summer time when there will be a patio allowing for additional restaurant seating. The study assumed 5 staff maximum per shift which feels very light to serve over 60 people so I imagine there was also an under-estimate of parking needs from that assumption. As much as the idea of good food close to the house sounds, the proposal put forward will be damaging to the neighborhood and should not be approved as submitted. Thank you for considering my comment

Kristin Horvath



Respondent No: 630

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 12:55:58 pm

Last Seen: Sep 20, 2022 12:55:58 pm

IP Address: n/a

Q1. **First and Last Name**

Jennifer McLenighan

Q2. **Address**

6004 Leslee Lane

Q3. **Comment**

I am supportive of and excited for a restaurant within walking distance of my house. I think the owners of the property have done their due diligence to address any concerns and that this would be a wonderful addition to the west side of Edina.



Respondent No: 631

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 13:33:59 pm

Last Seen: Sep 20, 2022 13:33:59 pm

IP Address: n/a

Q1. **First and Last Name**

Lindsay Sorem

Q2. **Address**

5512 Glengarry Parkway

Q3. **Comment**

My family would really like a restaurant at this location. I think there is a community value in being able to walk to a local hang out and see your neighbors and make friends with new neighbors. A restaurant at this location makes me think of my grandparents favorite diner they used to visit and take me too. We always saw people they knew. Community is so important and I know that's a goal of the city of Edina



Respondent No: 632

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 14:11:02 pm

Last Seen: Sep 20, 2022 14:11:02 pm

IP Address: n/a

Q1. **First and Last Name**

Beth Kehoe

Q2. **Address**

5613 Sherwood Ave

Q3. **Comment**

I think this restaurant would be such a welcome addition to the city! It would bring a fabulous family and community gathering spot to an otherwise unused area. I know our family would come often. We really hope this project sees the light of day!!!



Respondent No: 633

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 14:47:30 pm

Last Seen: Sep 20, 2022 14:47:30 pm

IP Address: n/a

Q1. **First and Last Name**

Kristen Karpinsky

Q2. **Address**

5012 Park Terrace, Edina MN 55436

Q3. **Comment**

I vote for the new proposed restaurant at the Kevin Kee's site. This is a large area of Edina and has very little restaurant options. We love The Hilltop and Olives and all could benefit from an additional option. Thank you! Kristen Karpinsky



Respondent No: 634

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 14:49:40 pm

Last Seen: Sep 20, 2022 14:49:40 pm

IP Address: n/a

Q1. **First and Last Name**

Susan olson

Q2. **Address**

5408 Brookview av edina 55424

Q3. **Comment**

Local restaurants build community . I don't live in that neighborhood but if I did I would support having a restaurant instead of the other options.



Respondent No: 635

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 15:57:41 pm

Last Seen: Sep 20, 2022 15:57:41 pm

IP Address: n/a

Q1. **First and Last Name**

Gretchen Grey

Q2. **Address**

6105 eden prairie rd #27

Q3. **Comment**

This proposal is unacceptable. Space is inadequate, parking and traffic problems and increased noise an issue. this space is not meant for a restaurant



Respondent No: 636

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 17:50:57 pm

Last Seen: Sep 20, 2022 17:50:57 pm

IP Address: n/a

Q1. **First and Last Name**

Christian Stevens

Q2. **Address**

6709 Parkwood Lane, Edina MN 55436

Q3. **Comment**

We have been waiting a long time for the property to be developed. Thrilled to see a restaurant at this location!

**Respondent No:** 637**Login:** Anonymous**Email:** n/a**Responded At:** Sep 20, 2022 19:11:51 pm**Last Seen:** Sep 20, 2022 19:11:51 pm**IP Address:** n/a**Q1. First and Last Name**

Ann M Hoedeman

Q2. Address

6105 Eden Prairie Rd, Apt 33

Q3. Comment

I object to the Westside Cafe proposal. There is no other retail nearby (like there is for Red Cow), so it completely sacrifices the character of my neighborhood. Also, with customers coming and parking on my street, I would be afraid for my young grandchildren to ride their bikes over to my place. I don't want to smell food or listen to patio noise from the restaurant, which will ruin the enjoyment of my own patio in the summer. This site was never meant to be commercial. I believe the Kevin Keyes family had a gas station there before Edina's boundaries expanded, so they were allowed to keep the property for commercial use. The city's comprehensive plan dictates that the site be zoned residential. It is best to follow the comprehensive plan since it determined the best use of the site before emotions were involved and lots and lots of variances were requested. That alone, tells you a restaurant is not the logical choice.



Respondent No: 638

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 20:41:29 pm

Last Seen: Sep 20, 2022 20:41:29 pm

IP Address: n/a

Q1. **First and Last Name**

Timothy J Deutsch

Q2. **Address**

6908 Gleason Road

Q3. **Comment**

I would love to have more options to eat out for dinner. This part of Edina is a restaurant desert and I need to travel to Eden Prairie or Minnetonka to get a bite to eat. With so much effort going into building out multi family housing in this town, we could use a change in pace... plus all those new people need a place to eat.



Respondent No: 639

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 20:44:10 pm

Last Seen: Sep 20, 2022 20:44:10 pm

IP Address: n/a

Q1. **First and Last Name**

Dan prazich

Q2. **Address**

6612 Field Way; Edina, Mn 55436

Q3. **Comment**

The restaurant would add a convenience to the Parkwood Knolls neighborhood. Residents would be able to walk or bike as opposed to driving to Hopkins or Minnetonka. I also feel the ownership would be respectful to its neighbors and surrounding area.



Respondent No: 640

Login: Anonymous

Email: n/a

Responded At: Sep 20, 2022 22:18:06 pm

Last Seen: Sep 20, 2022 22:18:06 pm

IP Address: n/a

Q1. **First and Last Name**

Lucy Peterson

Q2. **Address**

5600 Highwood Dr

Q3. **Comment**

As an Edina resident, I believe the City's Comprehensive Plan should be respected, and 6016 Vernon should not be re-zoned for a new restaurant!!!



Respondent No: 641

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 05:48:39 am

Last Seen: Sep 21, 2022 05:48:39 am

IP Address: n/a

Q1. **First and Last Name**

Lucy Esberg

Q2. **Address**

4808 Woodhill Way, Edina

Q3. **Comment**

My husband and I have long said we need another neighborhood restaurant. The 6016 Vernon Ave., Westside Café is a genius idea and can only bring our community closer.



Respondent No: 642

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 06:23:00 am

Last Seen: Sep 21, 2022 06:23:00 am

IP Address: n/a

Q1. **First and Last Name**

Drew Stevens

Q2. **Address**

6419 Stauder Circle

Q3. **Comment**

I fully support the restaurant zoning for this location and love the new design. The west side of Edina needs more food options that are accessible by walking/biking.



Respondent No: 643

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 08:48:59 am

Last Seen: Sep 21, 2022 08:48:59 am

IP Address: n/a

Q1. **First and Last Name**

Mark E Heigl

Q2. **Address**

6300 Knoll Drive

Q3. **Comment**

My wife Candy and I have lived in the Parkwood Knolls area for almost 30 years and would 100% like to see the property developed for a restaurant. We for sure don't need to cram any more apartments into our city. Put us both down for a yes!!

**Respondent No:** 644**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 11:10:23 am**Last Seen:** Sep 21, 2022 11:10:23 am**IP Address:** n/a**Q1. First and Last Name**

Sarah Irwin

Q2. Address

6025 Kaymar Drive

Q3. Comment

The City Council's instructions to the developer last year were to speak to the neighbors who opposed the project. As a direct neighbor, I was never approached, and the compromise the developer has offered doesn't change my opinion at all, mostly because the scale of the restaurant continues to be simply too large for the space. Since last year, the developer has pushed a PR campaign and unscientific survey, arguing that this restaurant will solve the "problem" of no restaurant options on the west side of Edina. I disagree that this is a problem, and I'm curious if before the developer proposed this idea, there were many complaints to the City about the lack of eating establishments in the northwestern, residential quadrant of Edina. It is no surprise that many who live within a 3-mile radius of the spot find the idea of a restaurant appealing, especially when the developer's "survey" casts his beautiful renderings alongside the alternatives of a car wash or multiplex housing. Will those within a 3-mile radius of the restaurant find the idea attractive? Yes. But will NOT having a restaurant there greatly change the quality of life for all those within a 3 mile radius? No. There ARE thoughtfully planned business districts throughout Edina that have been singled out in the Comprehensive Plan as neighborhood nodes. Everyone living within a 3 mile radius - in the Countryside, Highlands, and Parkwood Knolls neighborhoods - chose to purchase their homes in an area without a very close walkable business district. For these folks, sure, a restaurant "would be nice to have," and many will respond positively to it, but it will not deeply affect their quality of life or probably even matter all that much to them in the long run. But choosing to have a restaurant there WILL deeply affect the quality of life of those who live in close proximity to it, who purchased their homes WITHOUT it there, and who will be forced to deal with the challenging consequences of increased traffic, noise, smell, and street parking - none of which were expected or considered when we purchased our homes because we chose to live in a quiet, all-residential area. This reality would be taken from us if the West Side Cafe is allowed to be built. In addition, the Comprehensive Plan outlines over and over again the increased need for alternative types of housing throughout Edina. Why rezone 6016 Vernon for something that may be "nice to have" - a restaurant, instead of using the land for something that is actually needed - more affordable opportunities to bring new, young families to Edina? Please, do what the Comprehensive Plan outlines, and "preserve the integrity of my neighborhood" by not allowing 6016 Vernon Ave to be rezoned for a restaurant.



Respondent No: 645

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 11:33:22 am

Last Seen: Sep 21, 2022 11:33:22 am

IP Address: n/a

Q1. First and Last Name

Caroline Cashman

Q2. Address

5820 Vernon Lane Edina MN

Q3. Comment

I live within a block of this site and fully support the Westside Cafe and the required zoning modification and variances to make this happen. ** Every neighborhood wants and appreciates a local place to gather, grab a bite to eat or meet for for a beverage. ** It is proven that walkability to dining and shops increases neighborhood property values. ** The current zoning option for multi-housing does not seem to make sense. Due to the land cost, it does not appear that enough residences could be created (mainly due to lack of parking) to make the number work. ** The property is on a busy road with very few single family homes and has land buffers on all sides. ** The owners requesting the change in zoning and variances has talked to the the concerned neighbors and has made substantial changes to their plan to try to make this land work for the greatest good. Vote yes on the zoning and variance requests.



Respondent No: 646

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 11:46:44 am

Last Seen: Sep 21, 2022 11:46:44 am

IP Address: n/a

Q1. **First and Last Name**

Susan Larson

Q2. **Address**

6105 Eden prairie rd

Q3. **Comment**

I do not want a restaurant in what is a residential neighborhood. There are no other commercial sites here and the site they are wanting to develop has been here long before there were houses. There is no way our streets will not be filled with cars and noise. NO NO NO

**Respondent No:** 647**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 12:07:43 pm**Last Seen:** Sep 21, 2022 12:07:43 pm**IP Address:** n/a**Q1. First and Last Name**

Sedona Timm

Q2. Address

6000 Eden Prairie Road, Edina, MN

Q3. Comment

I am the neighbor that is directly across the street from the proposed restaurant on the north side. My biggest concern is parking, right now they are showing 25 parking stalls for a restaurant that seats 70 at capacity. That would mean that 2.8 people would need to be driving in 1 car together for dinner. Realistically this isn't going to happen and what restaurant patrons are going to do is park right next to my home and my neighbor's homes and use the side walk that goes from my street right into the restaurant's parking lot. There are a lot of young children that are in my neighborhood and adding more traffic into this neighborhood is an obvious safety concern. I am absolutely open to having some sort of restaurant or cafe here but it needs to be able to have enough parking to accommodate at a minimum of half its capacity. Right now with their current plans my neighborhood is going to become their overflow parking lot. There needs to be a better solution to parking before myself or my neighbors will be in support of this project.



Respondent No: 648

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 12:53:23 pm

Last Seen: Sep 21, 2022 12:53:23 pm

IP Address: n/a

Q1. **First and Last Name**

Scott H

Q2. **Address**

6021 Idylwood

Q3. **Comment**

Upper bracket townhouses please

**Respondent No:** 649**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 13:23:35 pm**Last Seen:** Sep 21, 2022 13:23:35 pm**IP Address:** n/a**Q1. First and Last Name**

Michael Cashman

Q2. Address

5820 Vernon Lane

Q3. Comment

The Olde Vernon Homeowners Association is right next door to this site. I am a resident and also president of the association. I and the residents of Olde Vernon strongly support the proposed neighborhood cafe. This is an amenity this neighborhood is sorely lacking. It would dramatically improve walkability for the neighborhood, and provide an amenity that neighborhoods such Country Club and South Harriet enjoy. There is no reason why West Edina should not have similar amenities within walking distance. The proposed cafe is a vastly superior amenity compared to currently zoned uses. The neighborhood does not need an auto repair shop or car wash, since those amenities do not need to be in walking distance and are right down the street in the Grandview District. The neighborhood does not need additional "affordable" housing in this location. By Edina standards, there is plenty of affordable housing in this immediate neighborhood. Affordable housing should not be concentrated in one area.



Respondent No: 650

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 13:27:15 pm

Last Seen: Sep 21, 2022 13:27:15 pm

IP Address: n/a

Q1. **First and Last Name**

Adam Sonnenfeld

Q2. **Address**

6112 Kaymar Dr., Edina MN 55436

Q3. **Comment**

I write in strong support of rezoning Kevin Lee's Auto for the construction of Westside Cafe. I live a short walk behind the shop, in the community that would be most affected by the rezoning. A restaurant, similar to the proposed, would significantly benefit the walkability of our neighborhood. I think it would be a great use of the space.



Respondent No: 651

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 13:40:57 pm

Last Seen: Sep 21, 2022 13:40:57 pm

IP Address: n/a

Q1. **First and Last Name**

John B Wellborn

Q2. **Address**

6008 Eden Prairie Rd

Q3. **Comment**

No, violates the Comprehensive plan, the zoning ordinance, and the setback requirements>this goes against everything YOU have established and is a huge violation of the trust and promise of the Comprehensive Plan.



Respondent No: 652

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 13:42:06 pm

Last Seen: Sep 21, 2022 13:42:06 pm

IP Address: n/a

Q1. **First and Last Name**

John Gester

Q2. **Address**

6005 Eden Prairie Road #201 Edina Mn.

Q3. **Comment**

I don't want a Restaurant next door to where I live . The traffic and cars parking on our Quiet Residential Rd.(Eden Prairie Rd) would be absolutely terrible!! The noise from the restaurant patio, would be terrible. The lot is perfect for a beautiful Twin Home PLEASE SAY NO TO A RESTAURANT... Thank You John Gester

**Respondent No:** 653**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 13:56:58 pm**Last Seen:** Sep 21, 2022 13:56:58 pm**IP Address:** n/a**Q1. First and Last Name**

Gregory Kalogerson

Q2. Address

6000 Kaymar Dr

Q3. Comment

Something needs to be establish on the property, there is no question about that. But would the Westside Café be the right fit for the community & the lot? I have been to the meeting that Special X Properties held at property in October 2021 & I heard from my neighbors about this issue over the months. I have lived in the neighborhood most of my life. I grew up on Saxony Road & I have plenty of memories riding my bike with my friends & stopping at the KO gas station to grab a soda from the vending machines. My father was friends with the owner/mechanic of the KO gas station until his retirement & than Kevin Kees purchased the property. As the homeowner that lives closest to the property my real concern would be the parking that might happen on Eden Prairie Road & Kaymar Drive. I know that most residents in the neighborhood have the same concerns as well. I have driven down Arcadia Ave when the Hilltop restaurant is full & with customers parking on one side of of the street, it can be tough. As interesting the idea of the Café is, I don't think it is the right fit for the size of the lot & maybe another solution would be best.



Respondent No: 654

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 14:08:56 pm

Last Seen: Sep 21, 2022 14:08:56 pm

IP Address: n/a

Q1. **First and Last Name**

Anders R Olson

Q2. **Address**

5117 William Ave

Q3. **Comment**

This is a MUST have for the city of Edina. I wish it was larger but understand folks want less of a footprint. PLEASE approve this as there are no restaurants around this part of the city.....it would be a game changer!



Respondent No: 655

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 14:57:46 pm

Last Seen: Sep 21, 2022 14:57:46 pm

IP Address: n/a

Q1. **First and Last Name**

Patrick Morton

Q2. **Address**

6128 SHERMAN CIR, EDINA. MN. 55436-1954

Q3. **Comment**

As cities encourage a walking lifestyle, distributed retail/restaurant options are highly desirable. I feel that the change from auto-repair to restaurant at 6016 Vernon would benefit the surrounding neighborhood. I would walk to it. Therefore, I support the necessary zoning changes and variances.

**Respondent No:** 656**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 15:56:28 pm**Last Seen:** Sep 21, 2022 15:56:28 pm**IP Address:** n/a**Q1. First and Last Name**

Rick c Bredice

Q2. Address

6020 Kaymar Drive

Q3. Comment

I am opposed to this project. It seems highly unusual for such a business to establish itself in the middle of a residential area. Most, if not all of the business establishments in Edina are centralized among other business; e.g. 50th and France, 44th and France, Southdale and Highway 100 & Vernon Avenue. Our neighborhood has no sidewalks, with the exceptions of Blake Road and Vernon Avenue, so pedestrian and bicycle traffic must share the road with motor vehicles. If traffic in our neighborhood increases it presents safety hazards for children and adults. The immediate neighborhood of Eden Prairie Road and Kaymar Drive are on several school bus routes. The applicant narrative refers to the high level of support in the surrounding community for this establishment and the narrative characterizes the establishment as a neighborhood gathering place. This might be true but I believe that the narrative overstates this establishment's value to the neighborhood. I doubt that there will be much bicycle or foot traffic in the winter. There will be more traffic and more people from outside the neighborhood. My understanding is that this establishment may request a license to serve beer, wine and perhaps liquor. If that does occur there will likely be late night hours, noise and the risk of bad behavior. This would be disruptive and not in the best interest of those living in close proximity to this establishment. I question whether this establishment would add value to our neighborhood. I fear that private properties might lose some of their value and attractiveness when homeowners sell and buyers seek a quiet residential neighborhood. Amending the Comprehensive Plan from Medium Density Residential to Neighborhood Node could open the door to any number of business types so I cannot support this amendment request.



Respondent No: 657

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 16:23:44 pm

Last Seen: Sep 21, 2022 16:23:44 pm

IP Address: n/a

Q1. **First and Last Name**

Jacque Kempf

Q2. **Address**

5913 View Lane, Edina 55436

Q3. **Comment**

We are fully in support of the proposed Westside Cafe. Our side of town enjoys the gift of Bredesen Park & the expanded biking/walking trails available; however, we lack a neighborhood social/eatery spot within walking/biking distance. This would be an incredible asset to our west Edina community. It would get people out & together & is sure to add to the quality of living on this side of the highway. This proposed plan gets our FULL support!!



Respondent No: 658

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 16:45:51 pm

Last Seen: Sep 21, 2022 16:45:51 pm

IP Address: n/a

Q1. **First and Last Name**

Robert and Mary Melander

Q2. **Address**

6105 Eden Prairie Road #35 Edina MN 55436

Q3. **Comment**

We are not in favor of any type of restaurant being built at the former Kevin Kee's site. This area is a quiet neighborhood and we want it to stay that way. We are very concerned Eden Prairie Rd. would become part of the parking for any such establishment. Noise and late hours would not be welcomed. We would like to see some kind of residential structure built on the site.



Respondent No: 659

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 17:42:44 pm

Last Seen: Sep 21, 2022 17:42:44 pm

IP Address: n/a

Q1. **First and Last Name**

Amy Minea

Q2. **Address**

5204 Ridge Rd

Q3. **Comment**

I would love a restaurant to be built on the Kevin Kees site!

**Respondent No:** 660**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 18:20:04 pm**Last Seen:** Sep 21, 2022 18:20:04 pm**IP Address:** n/a**Q1. First and Last Name**

Mary Kenealy-Bredice

Q2. Address

6020 Kaymar Drive

Q3. Comment

I am strongly opposed to any and all rezoning and variances for this property. This is not a commercial area and this business does not belong here. The people who live next to and across from this property did not buy their home with the expectation that it would be rezoned as a commercial property, and that they would be subject to having a restaurant or any other business that required rezoning or variances across the street. There will be more traffic, lights, noise and smells coming from this type of establishment. This would severely impact the aesthetics and resale value of these private homes as well as for the condo buildings on Eden Prairie Road. The condos are mainly comprised of seniors who walk in the neighborhood and want to live in a quiet area. My children call our neighborhood "Kaymar Trail" and think it should be renamed as there is a constant stream of walkers, runners, dog walkers, kids on scooters and bicycles. There is traffic starting before daylight and going past dark in this "horseshoe" neighborhood. There are lots of small children who live in the neighborhood. The permanent residents are aware of this, but customer traffic to the business would not be. Our neighborhood does not have sidewalks on any of the side streets and is a school bus route. This increase in traffic would not be safe for anyone. Reducing the front setback variance to Eden Prairie Road from 35 to 12 foot is a big reduction, decreasing the setback by almost 66 percent. We don't have sidewalks, and this area is needed. Reducing the front setback Variance for the patio built is also non-negotiable. Reducing the side setback from 25 to 5 feet is a ridiculous reduction of 80 percent. Reducing the parking lot setback variance from 10 feet to 0 feet is a 100 percent reduction and would be inappropriate to put parking places right next to the condos. Their green space should be protected. The condo residents have been unhappy with Kevin Keys being next to them and that was nothing compared to what is being proposed. I am also opposed to a comprehensive plan amendment from medium density residential to neighborhood node. The definition alone does not fit the situation. This is one business, not a commercial area and does remotely compare to other neighborhood nodes in Edina. We are not at a crossroads or even near to what would be considered an urban neighborhood. We do not want a comprehensive plan amendment that would allow new businesses that don't fit the current regulations. That could mean even more commercial development. I have lived in Edina my entire life and this simply does not fit. I am opposed to any business parking on both Eden Prairie Rd. and Kaymar Drive for the above mentioned reasons. This a neighborhood with heavy foot traffic including seniors and children as well as people from surrounding neighborhoods. With the rise of crimes in Edina, we are inviting more foot and car traffic to a residential area that has remained relatively safe and quiet in all the years we have lived here. There should only be a currently zoned business that can only be accessed from Vernon as that is the actual address and a fence should be required at the current setbacks to block the entrance from cars and foot traffic from Eden Prairie Road and provide privacy for the neighborhood.

**Respondent No:** 661**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 19:17:31 pm**Last Seen:** Sep 21, 2022 19:17:31 pm**IP Address:** n/a**Q1. First and Last Name**

Daniel Peterson

Q2. Address

6020 Leslee Ln Edina 55436

Q3. Comment

Dear City Council, I ask that you approve the rezoning of 6016 Vernon to allow for a restaurant. I grew up in this area and recently moved back for the great neighborhood, safety and schools. What has always been missing is walkability to neighborhood establishments. The restaurant (just 2 blocks from our home) would be a perfect addition to the neighborhood. I do not support additional multi-family housing in the area, which was previously proposed, especially when the unique opportunity has become available for a neighborhood restaurant. Additional multi-family housing will not bring the neighborhood together and does not provide a common place for the neighborhood to connect, which it is desperately missing. The city council's approval to rezone for a restaurant will demonstrate its ability to listen and act on behalf of its constituents and adapt to a community's changing need. Thank you for your support.

**Respondent No:** 662**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 19:44:04 pm**Last Seen:** Sep 21, 2022 19:44:04 pm**IP Address:** n/a**Q1. First and Last Name**

Noah Mundahl

Q2. Address

5705 Newport Dr, Edina, MN 55436

Q3. Comment

I'm a resident of the Parkwood Knolls neighborhood, where I've lived with my wife for over 2 years. As past residents of St. Paul and Minneapolis, we appreciated the vibrance and access to retail, entertainment, and dining we experienced living there. We moved to West Edina for the additional green space, excellent schools, and safe neighborhoods. Although we enjoy those qualities, two things we've found lacking are walkability and gathering spaces. While other neighborhoods in Edina enjoy easy access to the 50th & France, Southdale, and Grandview retail areas, West Edina is highly residential and often requires carbon-emitting transportation to access those areas for shopping or dining. We moved to Edina during the first year of the COVID pandemic. It has not been easy to connect with our new neighbors. We noticed that in this medium-density, highly residential neighborhood, it took very intentional plans to make social connections with our neighbors. For these reasons, I support the proposed rezoning and development plan. Adding a dining option to the neighborhood will support walkability/bikeability, reduce carbon pollution, and provide a gathering space for the community. The proposed plans are thoughtfully scaled to the lot and the neighborhood so as to avoid becoming intrusive to immediate neighbors of the site. While I support adding higher-density, market-rate housing to our city, I question whether developing this particular site for that purpose would make a meaningful impact, given its size and shape. I believe developing the property as proposed will meaningfully improve our neighborhood and our environment and deepen the connections we have with each other.

**Respondent No:** 663**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 19:44:24 pm**Last Seen:** Sep 21, 2022 19:44:24 pm**IP Address:** n/a**Q1. First and Last Name**

Jennifer Skramstad

Q2. Address

5021 Kelsey Terrace Edina, MN 55436

Q3. Comment

The proposed plan for the Westside Cafe is very promising. It would fill a walkable/bikable dining void for residents in the northwest pocket of Edina. It would also be a desirable alternative for other community members and those enjoying nearby bike paths/parks. It appears many compromises and improvements were made to the previous plan(s) to ensure a cohesive fit with the nearest neighbors. The proposed design is tasteful, unobtrusive and maintains the integrity of the original building. Excited to see next steps and the possibility of this site in the near future. Thank you, Jennifer Skramstad

**Respondent No:** 664**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 20:24:30 pm**Last Seen:** Sep 21, 2022 20:24:30 pm**IP Address:** n/a**Q1. First and Last Name**

Maria Pazos

Q2. Address

5412 Highwood Dr W

Q3. Comment

Our family is really excited about this Cafe opening in our neighborhood! This community really needs a place to gather and come together and we're really happy to see that this spot is getting re-energized and put to a good use. Here're couple of things we would love the developers to keep in mind: - Would love if this Cafe serves breakfast and to-go coffee in the mornings. This area gets a lot of traffic of people going to work or going for a morning walk - This area also gets a lot of families biking during the weekends. Would be nice if you offer juices and grab-and-go options - Finally, we love the modern design you're proposing for the building. This will add great curb appeal to our neighborhood. Can't wait for the opening!

**Respondent No:** 665**Login:** Anonymous**Email:** n/a**Responded At:** Sep 21, 2022 20:24:31 pm**Last Seen:** Sep 21, 2022 20:24:31 pm**IP Address:** n/a**Q1. First and Last Name**

Barbara M Bender

Q2. Address

6105 Eden Prairie Road

Q3. Comment

Adhering to Edina's Comprehensive Plan for medium density housing at this site is one of many compelling reasons to deny the developer's litany of requests for rezoning and setbacks. Home owners who relied on the city's plans for this quiet suburb would face parking congestion, noise, reduced air quality and threats to safety. Many residents with limited mobility, hearing and vision enjoy walking and bicycling in the safety of Eden Prairie Road/Kaymar Drive. They would be denied this high quality experience in their own neighborhood. Given the number of single family homes and dozens of owners in condominiums, parking for guests and service vehicles would be seriously impaired as would passage for school buses and emergency vehicles. The developer has not made changes to the original site plan that overcome prior objections on the part of the Mayor and Council members.



Respondent No: 666

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 20:44:46 pm

Last Seen: Sep 21, 2022 20:44:46 pm

IP Address: n/a

Q1. **First and Last Name**

Norma Pezzuto

Q2. **Address**

6423 Vernon Ave S

Q3. **Comment**

Would love to have a neighborhood restaurant! Thank you.



Respondent No: 667

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 20:45:43 pm

Last Seen: Sep 21, 2022 20:45:43 pm

IP Address: n/a

Q1. **First and Last Name**

Dawn Rundman

Q2. **Address**

5820 Chowen Avenue South

Q3. **Comment**

I do not support the restaurant after hearing from residents in the immediate i. Traffic, parked cars, and disruptions to the normal flow of neighborhood all compromise the quality of life for several families. I know people who live near Pizzeria Lola. They would have NEVER bought the house they did if they knew that restaurant was going to be built because of how parking disrupts the block so much. Thank you. Dawn Rundman



Respondent No: 668

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 21:03:19 pm

Last Seen: Sep 21, 2022 21:03:19 pm

IP Address: n/a

Q1. **First and Last Name**

Dan Arom

Q2. **Address**

6016 eden prairie rd

Q3. **Comment**

I live roughly 50 yards from the proposed restaurant. I'm incredibly excited for a potential restaurant to become part of the neighborhood. I've lived in the neighborhood for 15 years and have lived on the west side of Edina for roughly 40 years. This side of Edina needs a place like this, a place to gather, and a place that can serve families on the west side. Please support the change - families want this, and the community will embrace it.



Respondent No: 669

Login: Anonymous

Email: n/a

Responded At: Sep 21, 2022 21:09:37 pm

Last Seen: Sep 21, 2022 21:09:37 pm

IP Address: n/a

Q1. **First and Last Name**

Anthony Heinz

Q2. **Address**

5805 Interlachen Blvd

Q3. **Comment**

Our household supports a restaurant at this location. The addition of a restaurant in this location would only build upon/better the vibrant community that already exists in our neighborhoods that surround this location. This restaurant has our full support!

**Respondent No:** 670**Login:** Anonymous**Email:** n/a**Responded At:** Sep 22, 2022 06:19:49 am**Last Seen:** Sep 22, 2022 06:19:49 am**IP Address:** n/a**Q1. First and Last Name**

Todd and Susan Young

Q2. Address

5511 Highwood Drive W, Edina, MN 55436

Q3. Comment

The intent of this letter is to state our concern and opposition of the future restaurant development-submitted by Special X Properties, LLC on the old Kevin Kees property. We are 20-year residences of the immediate neighborhood to this proposed property site. Todd is a 32-year practicing architect with commercial, multi-family and residential experience, and our family has been in the restaurant business for over 25 years. We'd like to add some perspective based on that experience. We have concerns over the survey that was initiated by the developer. It is our understanding that people in the direct neighborhood did not receive it, therefore skewing the results to their benefit. The developer also has made no effort to engage in solutions with the neighborhood as originally suggested by the Planning Commission and City Council. They have made false statements that one of the options had to be low-income housing which in our opinion was a scare tactic for voting. We are opposed to this development for the following the reasons, 1. Changing the city comp plan/rezoning, 2. The number of variances, 3. Site plan/parking issues, and 4. Liquor license and hours. The concerns are briefly addressed below.

1. City Comp Plan/Rezoning. Everyone would probably agree this is a dinosaur parcel left over from a bygone era and does need to be rezoned. The city has spent considerable time and money creating a well thought out comp plan to address all types of issues to maintain the integrity, esthetics and safety of our neighborhoods and therefore a strong plan to follow. This fits with why the property is currently zoned as PRD-3 Multi Family Residential. The developers idea that the city should now create one parcel of PRD 1 Commercial, in the middle of all residential uses goes against all logic of comp planning. A Comp plan's very purpose is to protect the city and residences from non-compatible use next to each other. There are already plenty of established Commercial nodes in Edina (50th/France, Jerry's Foods area, Cahill, and Lincoln Drive/Londonderry Road). These areas are different as they all have vehicular, mass transit, and pedestrian planning. They also have adequate infrastructure, lighting, overflow parking and traffic control to support a restaurant use. This little parcel does not begin to meet any criteria to support Commercial use. Todd has done many Multi-family projects in his career so took a quick look at this parcel and multi-family is indeed a feasible option to maintain the neighborhood and does not need to be subsidized housing as originally stated in the developer survey. It would also take some variances to make it work but would be more fitting to the neighborhood. (See Exhibit 1 - will be provided directly to Planning Commission and City Council Members under separate email). This example is just to show something else can indeed be done.

2. Number of Requested Variances. You are all well aware of the variances and areas of issues so we won't restate them. The number of variances they are requesting speaks to how unfit this parcel is for the type of project they are proposing. Many of these variances would negatively impact the direct neighbors. Good variance requests needs to show real hardship. The developer can make the argument that it is an odd site, and it is but they knew that prior to purchasing the property. Major variance changes also opens the flood gates for future requests and expectations from other developers and sets a very dangerous precedence for the city.

3. Site Plan Design and Parking Issues. Looking at the site design, there are a number of red flags. By moving the patio to the front, they slightly solved a neighborhood and noise problem but made the parking a long-term issue. Both parking areas now are dead ends which will cause many problems for patrons trying to back in and out and exiting back onto Vernon. We and neighbors who would be directly affected by this are concerned that this site is "under parked" already and with this poor parking solution patrons will park on the residential streets as it will be an easier to get in and out. Also, the parking ordinance does not really address traffic coming in for a quick food pickup. That could easily account for 4-8 cars an hour. There is no good parking for that use and what is there by the pick-up window on the far-left side of plan is dangerous, accessing/ exiting onto Vernon, a 40 MPH road. It is reasonable to assume patrons will park on the neighborhood streets which will drive constant traffic through the neighborhood. The plan is overall under parked which would be a constant issue.

4. Liquor Licenses and Hours. The developer is positioning this to the public as a family restaurant, but with the original proposed hours and liquor license the bottom line is it will be a bar/restaurant. The idea of creating a bar in the middle of a family neighborhood seems really incompatible. Having inebriated people trying to get onto

40 mph Vernon Avenue or barreling through the neighborhood with family and kids walking in the streets seems like an accident waiting to happen and situation that the city would not want to support. The developer mentioned that they have reduced the hours but did not state what those would be. This is hard working neighborhood with families and kids that must get up early for school and work. So, the notion that this neighborhood would have to put up with traffic and loud noises that will travel up from that site past 9:00 pm is unfathomable as a long-term solution. Finally, this proposed development has many issues, and the long-term effects may cause the potential lowering of the value of our homes. We all selected West Edina as it is a residential, quiet area. This development is an overreach on every level and the developer has made no effort to listen to the neighborhood or make substantial changes. Please use your comp plan as your guide and take this great neighborhood and it's residents into consideration and Vote No to this development. Thank you for your time and consideration. Sincerely, Todd C. Young, AIA CID & Susan Young



Respondent No: 671

Login: Anonymous

Email: n/a

Responded At: Sep 22, 2022 08:04:11 am

Last Seen: Sep 22, 2022 08:04:11 am

IP Address: n/a

Q1. **First and Last Name**

Jim Farrell

Q2. **Address**

5811 View Lane

Q3. **Comment**

I think it would be a great addition to the neighborhood.



Respondent No: 672

Login: MKD

Email: margaret@mwatfarms.com

Responded At: Sep 22, 2022 08:08:43 am

Last Seen: Sep 20, 2022 20:08:18 pm

IP Address: 75.73.52.75

Q1. **First and Last Name**

Margaret Davis

Q2. **Address**

6637 Parkwood Road

Q3. **Comment**

I think this is a great location for a small restaurant & gathering space. I like how the design maintains the feel of the old gas station & how close it is to Bredesen Park & the new 9-mile creek trail system. It would add a lot to the neighborhood.

**Respondent No:** 673**Login:** Anonymous**Email:** n/a**Responded At:** Sep 22, 2022 08:41:30 am**Last Seen:** Sep 22, 2022 08:41:30 am**IP Address:** n/a**Q1. First and Last Name**

David Irwin

Q2. Address

6025 Kaymar Drive, Edina, MN

Q3. Comment

I am writing in opposition to the proposed rezoning of 6016 Vernon Avenue in order to allow the building of the Westside Cafe. During previous meetings last year, the City Council's instructions to the developer were to speak to the neighbors who opposed the project. As a nearby resident were never approached, and the compromise the developer has offered doesn't change our opinion at all, mostly because the scale of the restaurant continues to be simply too large for the space. Instead, since last year, the developer has pushed a PR campaign and unscientific survey, arguing that this restaurant will solve the "problem" of no restaurant options on the west side of Edina; I strongly disagree with this viewpoint. Choosing to have a restaurant at this location WILL deeply affect the quality of life of those who live in close proximity to it, who purchased their homes WITHOUT it there, and who will be forced to deal with the challenging consequences of increased traffic, noise, smell, and street parking - none of which were expected or considered when we purchased our homes because we chose to live in a quiet, all-residential area. Additionally, the city's Comprehensive Plan outlines over and over again the increased need for alternative types of housing throughout Edina. We ask that the city do what the Comprehensive Plan outlines, and please "preserve the integrity of our neighborhood" by not allowing 6016 Vernon Ave to be rezoned for a restaurant.



Respondent No: 674

Login: Anonymous

Email: n/a

Responded At: Sep 22, 2022 09:49:30 am

Last Seen: Sep 22, 2022 09:49:30 am

IP Address: n/a

Q1. **First and Last Name**

JULIE ARMBRUST

Q2. **Address**

4516 MOORLAND AVE. EDINA, MN 55424

Q3. **Comment**

After I reviewed the numerous changes that were made to the proposal of putting a restaurant at 6016 Vernon Ave, I'm in complete support of this project. With the reduced size of the building, changes to the patio position it will be a great addition to Edina. Thank you, Julie Armbrust



Respondent No: 675

Login: Anonymous

Email: n/a

Responded At: Sep 22, 2022 09:54:34 am

Last Seen: Sep 22, 2022 09:54:34 am

IP Address: n/a

Q1. **First and Last Name**

Mary Thatcher

Q2. **Address**

6005 Eden Prairie Road #110 Edina MN 55436

Q3. **Comment**

I remain opposed to this proposal as presented in the current (revised) document. The amount of parking on the property and therefore potential for on street parking means potential for reduced sight lines/safety issues. We do not have sidewalks. The long hours proposed (6 am) to 10 pm (midnight Friday and Saturday) would be a major change in noise and lights not existing now next door to my bedroom window and in this and adjoining residential neighborhood streets. Numerous variances are required suggesting there is a mismatch between what is proposed and previously existing governing codes.



Respondent No: 676

Login: Anonymous

Email: n/a

Responded At: Sep 22, 2022 09:58:02 am

Last Seen: Sep 22, 2022 09:58:02 am

IP Address: n/a

Q1. **First and Last Name**

Amanda Hill

Q2. **Address**

5705 Newport Dr

Q3. **Comment**

I am very excited about the idea of a cafe at this location. Our community needs a great gathering plan that we can ride our bikes to, walk to and grab a snack, a beer etc. I am impressed with the redesigned plans - smaller venue, shielding concepts for the houses there, parking etc. I think it's important that it work with the surroundings and also for traffic flow in and out and not create congestion. We will be patrons of this location. I also do support housing in our community, but that location is not conducive to that at all - it's an odd shape, would stick out, etc. We look forward to learning more about the cafe plans and are BIG supporters.

March 1, 2022

VIA EMAIL

Marty Collins
Special X Properties LLC
6016 Vernon Ave S
Edina, MN 55436-1908

RE: No Association Determination
Kevin Kee's Auto Service, 6016 Vernon Ave, Edina
MPCA Site ID: BF0001999
Billing ID: 104880
PIN: 3211721230027

Dear Marty Collins:

This letter is in response to the request from Greg Browne of The Javelin Group, Inc. for a determination under Minn. Stat. § 115B.178 that certain actions proposed to be taken by Special X Properties LLC at the Kevin Kee's Auto Service site, located at the address referenced above (the Site), will not constitute conduct associating Special X Properties LLC with the release or threatened release of hazardous substances, pollutants, or contaminants at the Site for the purpose of Minn. Stat. § 115B.03, subd. 3(4).

The Minnesota Pollution Control Agency (MPCA) staff in the Voluntary Investigation and Cleanup (VIC) Program has reviewed the documents submitted for the Site. The 0.38-acre Site was undeveloped until construction of the current Site building in 1957. The building was occupied by a gas station until the early 1990s and has since operated as an auto repair shop. A petroleum release was discovered in November 1992 when underground storage tanks were being removed from the Site. The leak site (MPCA Site ID# LS0002247) was closed in February 2002. Special X Properties LLC intends to renovate the existing Site building for use as a restaurant.

An environmental investigation completed at the Site in September 2021 included three interior soil borings and one exterior soil boring. Four soil samples were collected and analyzed for volatile organic compounds (VOCs) and diesel range organics (DRO); two of the soil samples were also analyzed for Resource Conservation and Recovery Act (RCRA) metals and one sample for polynuclear aromatic hydrocarbons (PAHs). Tetrachloroethene (PCE) was detected in one sample collected near the flammable waste trap at a concentration of 0.24 milligrams per kilogram (mg/kg), which is greater than the MPCA's screening soil leaching value (SLV). Groundwater was not encountered during the investigation.

Five exterior soil vapor samples were collected at the Site in August 2018 and three sub-slab soil vapor samples were collected at the Site in September 2021 (non-heating season) and November 2021 (heating season). PCE was detected at a maximum concentration of 279 $\mu\text{g}/\text{m}^3$, which is less than the MPCA action level of thirty-three times (33X) its commercial intrusion screening value (ISV). Low concentrations of cis-1,2-dichloroethene (cis-1,2-DCE) were also detected in soil vapor.

For the purpose of this letter, the identified release consists of PCE in soil, and PCE, cis-1,2-DCE and other non-petroleum-VOCs in soil vapor (Identified Release). This letter does not address petroleum-related contaminants. Petroleum contamination detected at the Site is under the oversight of the MPCA's Petroleum Brownfield Program.

Based upon a review of the information provided to the MPCA VIC Program, and subject to the conditions set forth in this letter, a determination is hereby made pursuant to Minn. Stat. § 115B.178, subd. 1 that the proposed actions (Proposed Actions) listed below will not associate Special X Properties LLC with the Identified Release for the purpose of Minn. Stat. § 115B.03, subd. 3(4). This determination applies only to the following Proposed Actions:

- Purchase of the Site;
- Renovation of the existing Site building for use as a restaurant; and
- Operation and maintenance of the Site building, grounds, and related infrastructure.

This determination is made in accordance with Minn. Stat. § 115B.178, subd. 1, and is subject to the following conditions:

1. The Proposed Actions shall be carried out as described herein.
2. Special X Properties LLC shall cooperate with the MPCA, its employees, contractors, and others acting at the MPCA's direction, in the event that the MPCA takes, or directs others to take, response actions at the Site to address the Identified Release or any other as yet unidentified release or threatened release of a hazardous substance, pollutant, or contaminant, including, but not limited to, granting access to the Site so that response actions can be taken.
3. Special X Properties LLC shall avoid actions that contribute to the Identified Release or that interfere with response actions required under any MPCA-approved response action plan to address the Identified Release.

Pursuant to Minn. Stat. § 115B.178, subd.1, when Special X Properties LLC takes the Proposed Actions in accordance with the determination in this letter, subject to the conditions stated herein, the Proposed Actions will not associate Special X Properties LLC with the Identified Release for the purpose of Minn. Stat. § 115B.03, subd. 3(4).

The determination made in this letter applies to Special X Properties LLC's successors and assigns if the successors and assigns: 1) are not otherwise responsible for the Identified Release at the Site; 2) do not engage in activities with respect to the Identified Release which are substantially different from the activities which Special X Properties LLC proposes to take, as described herein; and 3) comply with the conditions set forth in this letter.

Please be advised that the determination made in this letter is subject to the disclaimers found in Attachment A and is contingent on compliance with the terms and conditions set forth herein.

Marty Collins
Page 3
March 1, 2022

If you have any questions about the contents of this letter, please contact Amanda Guertin, Project Manager/Hydrologist, at 651-757-2369 or by email at amanda.guertin@state.mn.us.

Sincerely,

Amy K. Hadjaris

This document has been electronically signed.

Amy K. Hadjaris, P.G.
Supervisor
Redevelopment Unit
Remediation Division

AKH/AG:akh

Enclosure

cc: Greg Browne, The Javelin Group, Inc.
Sharon Allison, City of Edina
John Evans, Hennepin County

Disclaimers

Kevin Kee's Auto Service

MPCA Site ID: BF0001999

1. Reservation of authorities

The Minnesota Pollution Control Agency (MPCA) Commissioner reserves the authority to take any appropriate actions with respect to any release, threatened release, or other conditions at the Site. The MPCA Commissioner also reserves the authority to take such actions if the voluntary party does not proceed in the manner described in this letter or if actions taken or omitted by the voluntary party with respect to the Site contribute to any release or threatened release, or create an imminent and substantial danger to public health and welfare.

2. No MPCA assumption of liability

The MPCA, its Commissioner, and staff do not assume any liability for any release, threatened release or other conditions at the Site or for any actions taken or omitted by the voluntary party with regard to the release, threatened release, or other conditions at the Site, whether the actions taken or omitted are in accordance with this letter or otherwise.

3. Letter based on current information

All statements, conclusions, and representations in this letter are based upon information known to the MPCA Commissioner and staff at the time this letter was issued. The MPCA Commissioner and staff reserve the authority to modify or rescind any such statement, conclusion or representation and to take any appropriate action under his authority if the MPCA Commissioner or staff acquires information after issuance of this letter that provides a basis for such modification or action.

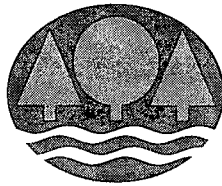
4. Disclaimer regarding use or development of the property

The MPCA, its Commissioner, and staff do not warrant that the Site is suitable or appropriate for any particular use.

5. Disclaimer regarding investigative or response action at the property

Nothing in this letter is intended to authorize any response action under Minn. Stat. § 115B.17, subd. 12.

6. This approval does not supplant any applicable state or local stormwater permits, ordinances, or other regulatory documents.



Minnesota Pollution Control Agency

February 8, 2002

Mr. Walter Kunz
Kunz Oil Company
7900 Excelsior Boulevard
Hopkins, MN 55343

RE: Petroleum Tank Release Site File Closure
Site: Former Peoples Plus, 6016 Vernon Avenue, Edina
Site ID#: LEAK00002247

Dear Mr. Kunz:

We are pleased to let you know that the Minnesota Pollution Control Agency (MPCA) staff has determined that your investigation and/or cleanup has adequately addressed the petroleum tank release at the site listed above. Based on the information provided, the MPCA staff has closed the release site file.

Closure of the file means that the MPCA staff does not require any additional investigation and/or cleanup work at this time or in the foreseeable future. Please be aware that file closure does not necessarily mean that all petroleum contamination has been removed from this site. However, the MPCA staff has concluded that any remaining contamination, if present, does not appear to pose a threat to public health or the environment under current conditions.

The MPCA reserves the right to reopen this file and to require additional investigation and/or cleanup work if new information, changing regulatory requirements or changed land use make additional work necessary. If you or other parties discover additional contamination (either petroleum or nonpetroleum) that was not previously reported to the MPCA, Minnesota law requires that the MPCA be immediately notified.

You should understand that this letter does not release any party from liability for the petroleum contamination under Minn. Stat. ch. 115C (2000) or any other applicable state or federal law. In addition, this letter does not release any party from liability for nonpetroleum contamination, if present, under Minn. Stat. ch. 115B (2000), the Minnesota Superfund Law.

The monitoring wells for this site should be abandoned in accordance with the Minnesota Department of Health Well Code, Chapter 4725. If you choose to keep the monitoring wells, the Minnesota Department of Health will continue to assess a maintenance fee for each well.

Mr. Walter Kunz
Page 2
February 8, 2002

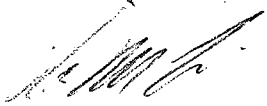
Please note that as a result of performing the requested work you may be eligible to apply to the Petroleum Tank Release Compensation Fund (Petrofund) for partial reimbursement of the costs you have incurred in investigating and cleaning up this petroleum tank release. The Petrofund is administered by the Petroleum Tank Release Compensation Board (Petro Board) and the Minnesota Department of Commerce. To learn more about who is eligible for reimbursement, the type of work that is eligible for reimbursement, and the amount of reimbursement available, please contact Petrofund staff at 651-297-1119 or 1-800-638-0418.

If future development of this property or the surrounding area is planned, it should be assumed that petroleum contamination may still be present. If petroleum contamination is encountered during future development work, the MPCA staff should be notified immediately.

For specific information regarding petroleum contamination that may remain at this leak site, please call the Leaking Underground Storage Tank File Request Program at 651/297-8499. The MPCA fact sheet *Request to Bill for Services Performed* must be completed prior to arranging a time for file review.

Thank you for your response to this petroleum tank release and for your cooperation with the MPCA to protect public health and the environment. If you have any questions regarding this letter, please call me at 651/297-8580.

Sincerely,



Chris McLain
Project Manager
Petroleum Remediation Unit
Petroleum and Landfill Remediation Section
Majors and Remediation Division

CLM:tf

cc: Debra Mangen, Edina City Clerk
Marty Scheerer, Edina Fire Chief
Dave Jaeger, Hennepin County Solid Waste Officer
Jason Rauk, EPOCH Environmental
Mark Hoffman, Minnesota Department of Health
Minnesota Department of Commerce Petrofund Staff

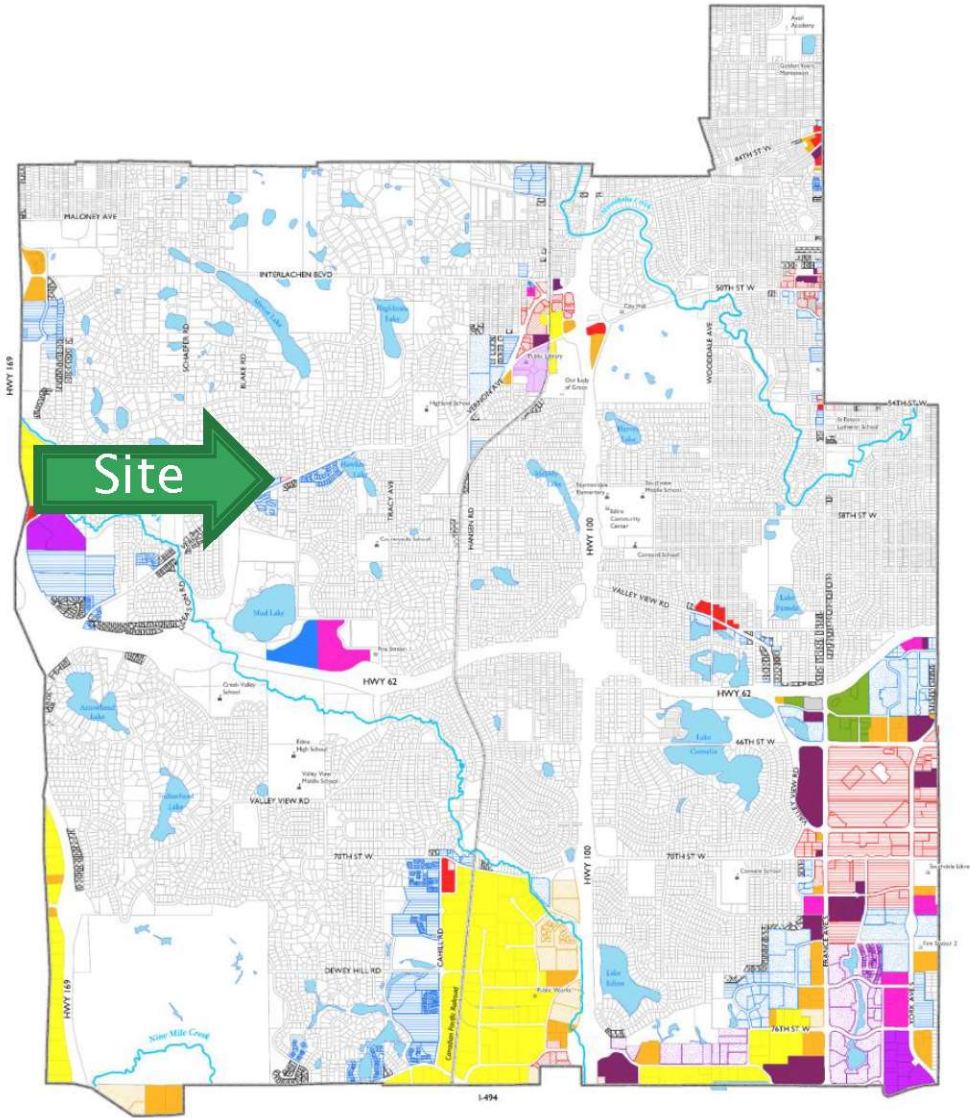
ARCHITECTURA





The CITY of
EDINA

Comprehensive Plan Amendment, Rezoning and Site Plan with multiple Variances – 6016 Vernon Avenue



The CITY of
EDINA

Zoning



The CITY of
EDINA

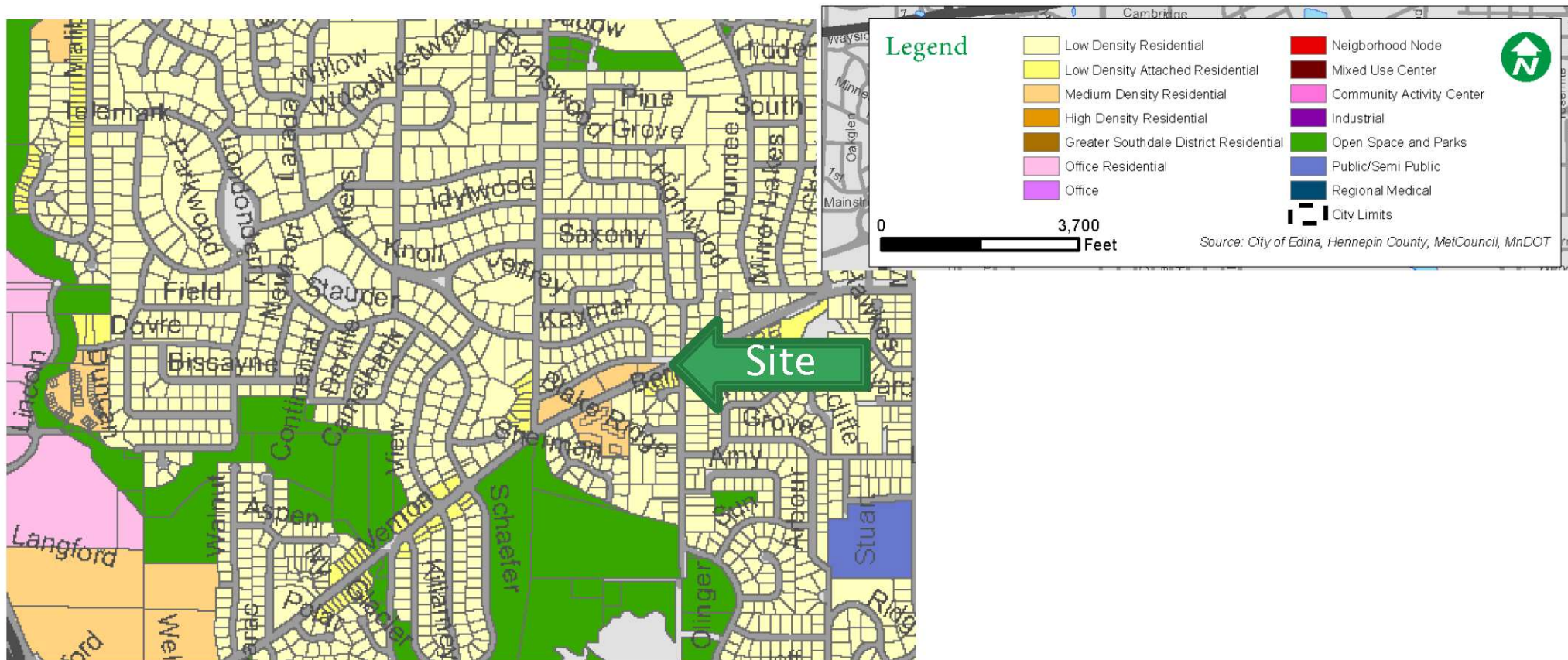


- R-2 - Double Dwelling Unit
- PRD-1 - Planned Residence
- PRD-2 - Planned Residence
- PRD-3 - Planned Residence
- PRD-4 - Planned Residence
- PRD-5 - Planned Residence
- PCD-1 - Planned Commercial
- PCD-2 - Planned Commercial
- PCD-3 - Planned Commercial
- PCD-4 - Planned Commercial**
- ~~POD-1 - Planned Office~~
- POD-2 - Planned Office
- RMD - Regional Medical
- PID - Planned Industrial
- PUD - Planned Unit Development
- APD - Automotive Parking
- PSR-4 - Planned Residence
- MDD-4 - Mixed Development
- MDD-5 - Mixed Development
- MDD-6 - Mixed Development

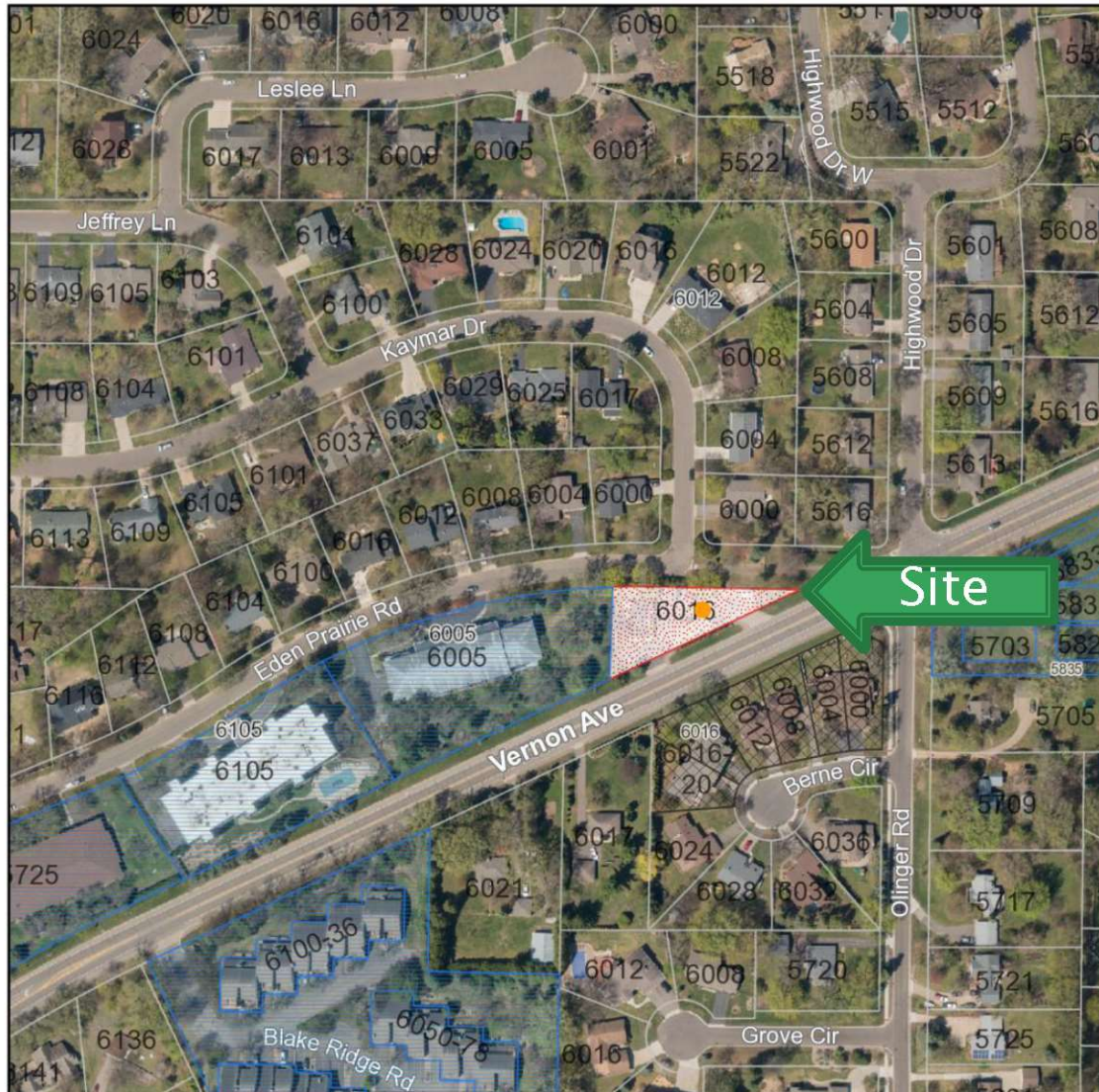
Comprehensive Plan



Edina 2040 Comprehensive Plan Edina, Minnesota

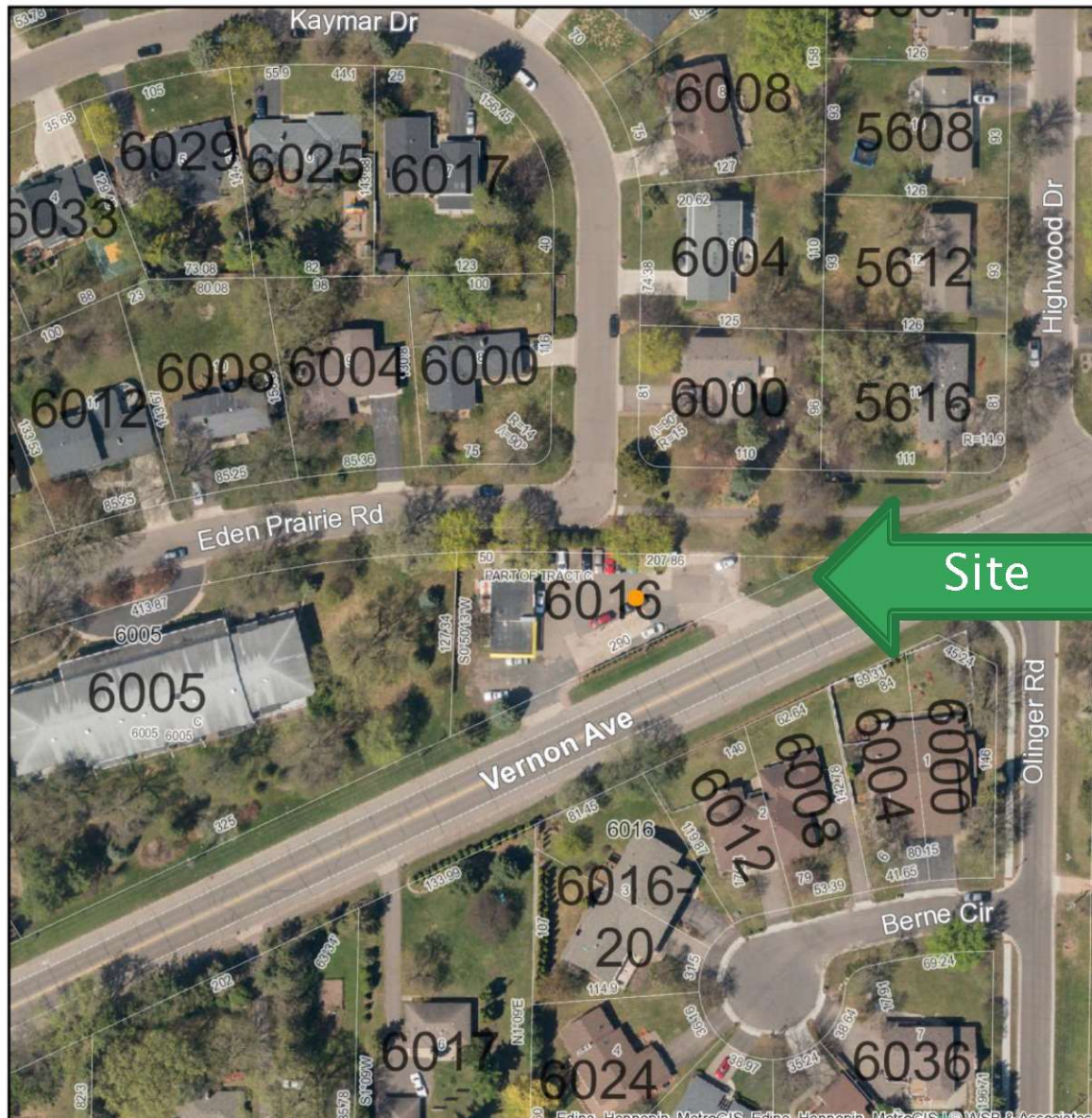


Zoning



The CITY of
EDINA

- R-2 - Double Dwelling Unit
- PRD-1 - Planned Residence
- PRD-2 - Planned Residence
- PRD-3 - Planned Residence
- PRD-4 - Planned Residence
- PRD-5 - Planned Residence
- PCD-1 - Planned Commercial
- PCD-2 - Planned Commercial
- PCD-3 - Planned Commercial
- PCD-4 - Planned Commercial**
- POD-1 - Planned Office
- POD-2 - Planned Office
- RMD - Regional Medical
- PID - Planned Industrial
- PUD - Planned Unit Development
- APD - Automotive Parking
- PSR-4 - Planned Residence
- MDD-4 - Mixed Development
- MDD-5 - Mixed Development
- MDD-6 - Mixed Development



The CITY of
EDINA

EXISTING SITE



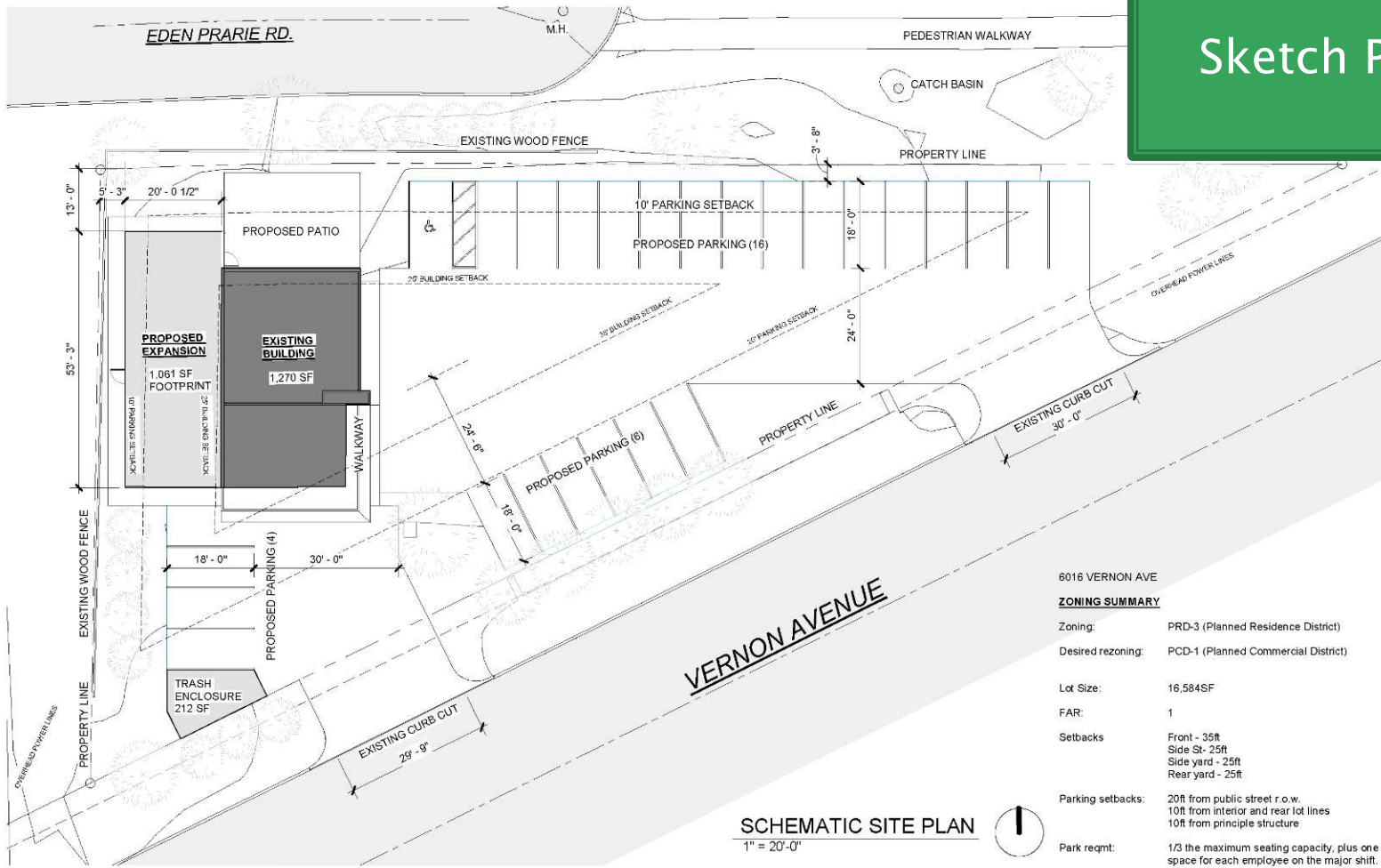
EXISTING BUILDING

of
A



PROPOSED SITE PLAN

Sketch Plan

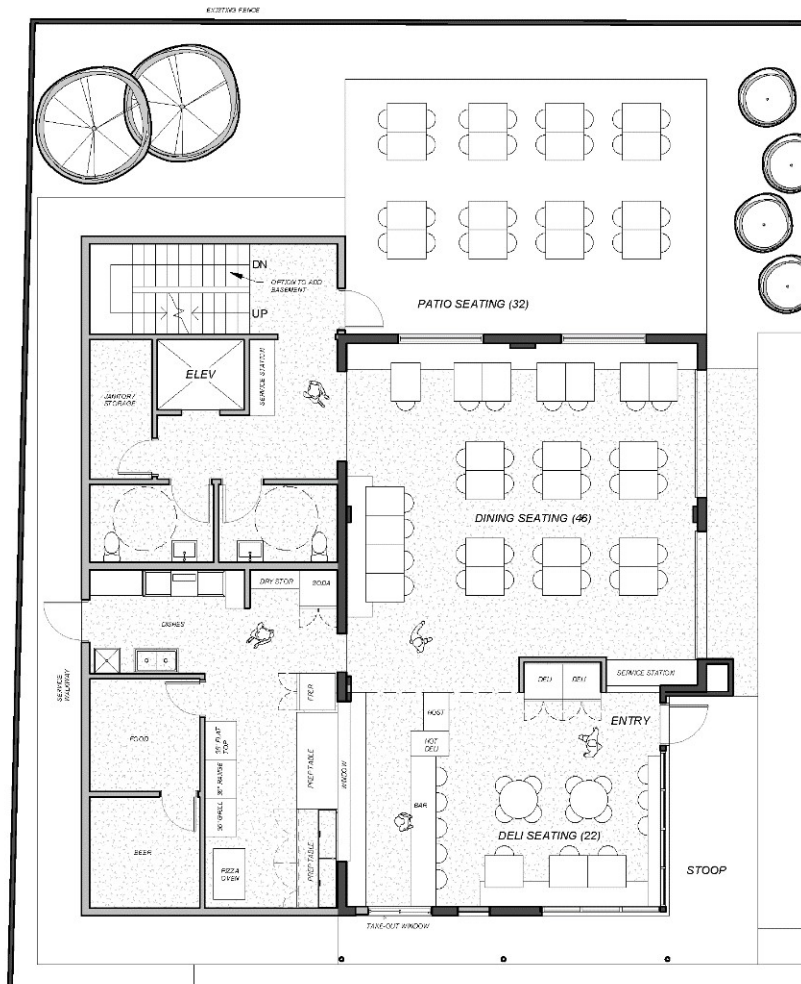


SCHEMATIC SITE PLAN
1" = 20'-0"

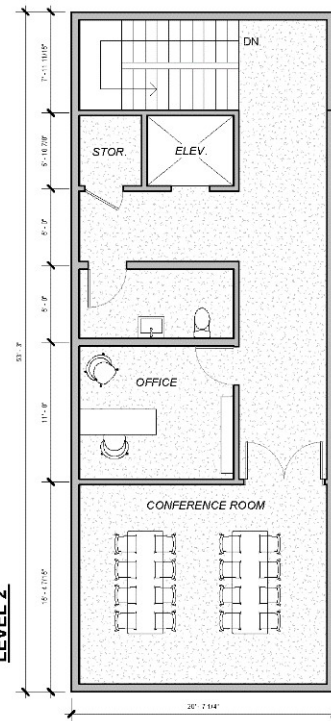


PROPOSED BUILDING PLAN

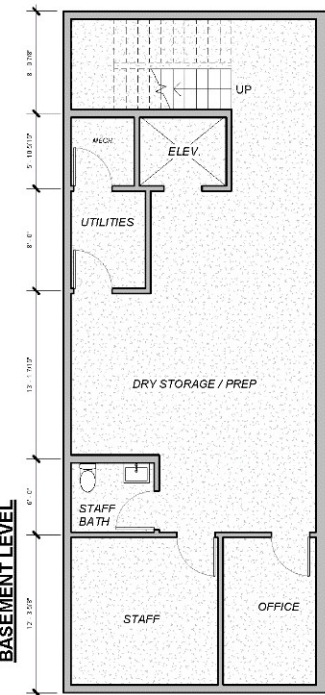
Sketch Plan



LEVEL 2



BASEMENT LEVEL

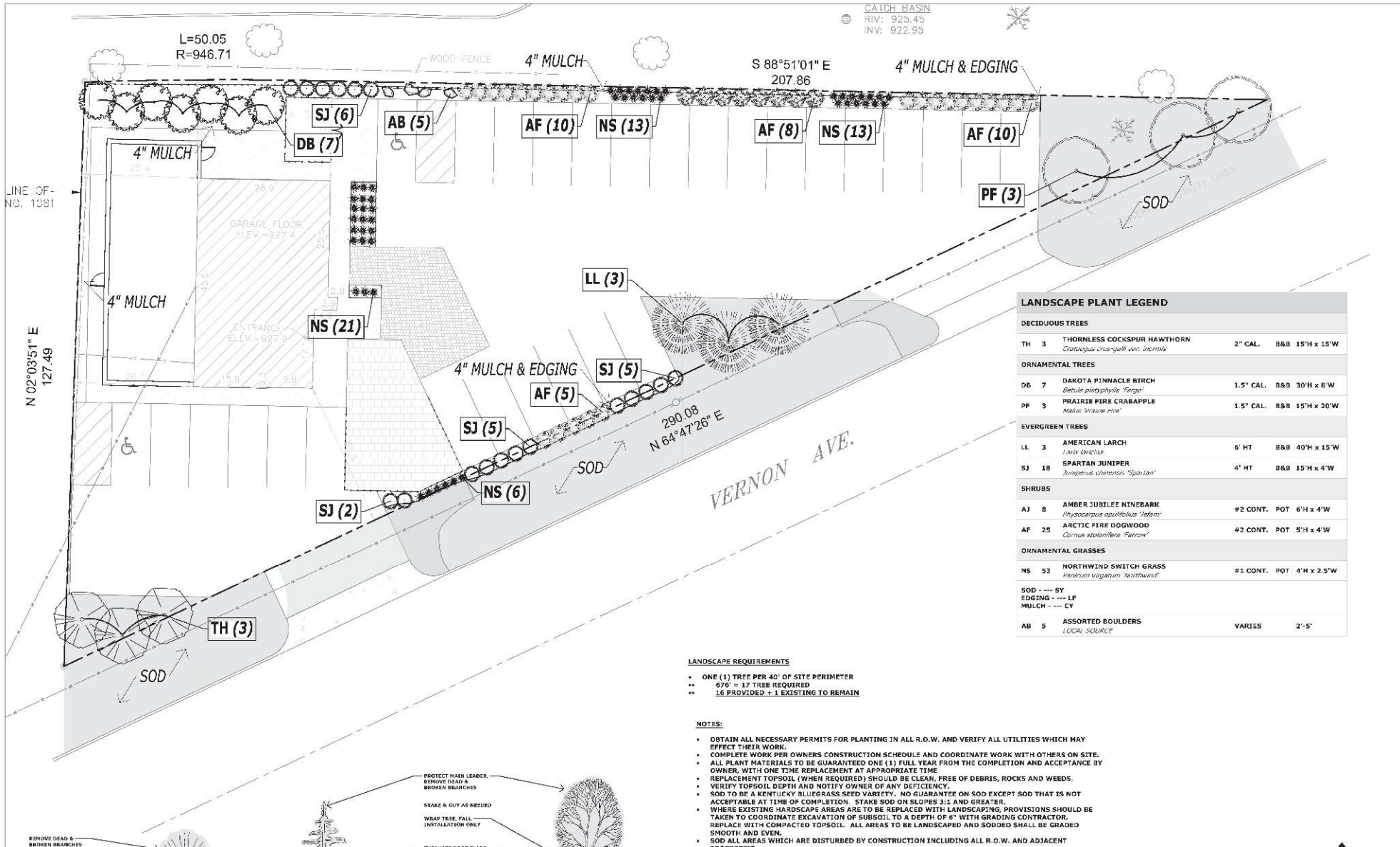




The CITY of
EDINA

Revisions from Sketch Plan

- Eliminated the 2nd story office.
- Reduced the number of indoor seats from 68 to 59.
- Moved the patio from the north side of the building to the southeast away from the residential area.



LANDSCAPE PLANT LEGEND

DECIDUOUS TREES			
TH 3	THORNLESS COCKSPUR HAWTHORN <i>Crataegus crug-galli</i> var. <i>incornis</i>	2" CAL.	B&B 15'H x 15'W
ORNAMENTAL TREES			
DB 7	DAKOTA PINNACLE BIRCH <i>Betula papyrifera</i> 'Pencil'	1.5" CAL.	B&B 30'H x 8'W
PF 3	PRAIRIE FIRE CRABAPPLE <i>Malus 'Prairie Fire'</i>	1.5" CAL.	B&B 15'H x 20'W
EVERGREEN TREES			
LL 3	AMERICAN LARCH <i>Larix laricina</i>	6' HT	B&B 40'H x 15'W
SJ 18	SPARTAN JUNIPER <i>Juniperus chinensis</i> 'Spartan'	4' HT	B&B 15'H x 4'W
SHRUBS			
AJ 8	AMBER JUBILEE NINEBARK <i>Physocarpus opulifolius</i> 'Djebel'	#2 CONT.	POT 6'H x 4'W
AF 25	ARCTIC FIRE DOGWOOD <i>Cornus stolonifera</i> 'Farrow'	#2 CONT.	POT 5'H x 4'W
ORNAMENTAL GRASSES			
NS 53	NORTHWIND SWITCH GRASS <i>Panicum virgatum</i> 'Northwind'	#1 CONT.	POT 4'H x 2.5'W
SOD - --- SY			
EDGING - --- LF			
MULCH - --- CY			
AB 5	ASSORTED BOULDERS LOCAL SOURCE	VARIES	2'-5'

LANDSCAPE REQUIREMENTS

- ONE (1) TREE PER 40' OF SITE PERIMETER
- 676' ± 17' TREE REQUIRED
- 16 PROVIDED + 1 EXISTING TO REMAIN

NOTES:

- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W. AND VERIFY ALL UTILITIES WHICH MAY AFFECT THEIR WORK.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- ALL PLANT MATERIALS TO BE GUARANTEED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME.
- REPLACEMENT TOPSOIL (WHEN REQUIRED) SHOULD BE CLEAN, FREE OF DEBRIS, ROCKS AND WEEDS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY. NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF COMPLETION. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING HARDSCAPE AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 6" WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT











Compliance Table

	City Standard (PCD-1)	Proposed
Structure Setbacks		
Front – Vernon	35 feet	40 feet (30 feet existing) **
Front Patio – Vernon	35 feet	1-foot*
Front – Eden Prairie Road	35 feet (structure)	12 feet* (20 feet existing) **
Side – West	25 feet	5 feet*
Parking & Drive-aisle Setbacks		
Front – Vernon	20 feet	1 Foot**
Front – Eden Prairie Road	20 feet	3 feet**
Side – West	10 feet	0 feet*
Space between building and parking area	10 feet	4 feet**&*
Height	2-1/2 stories and 30 feet	1 story
Parking Stalls	Restaurant = 1 stall per 3 seats + number of employees on max shift (25 <u>total stalls required</u>)	28 stalls
Lot Size (Restaurant in PCD-1)	1 acre	16,373 s.f.
Trash Enclosure Screening	20 feet	16 feet*
FAR	1.0	.13%

***Variance Required**

****Existing Condition**



The CITY of
EDINA

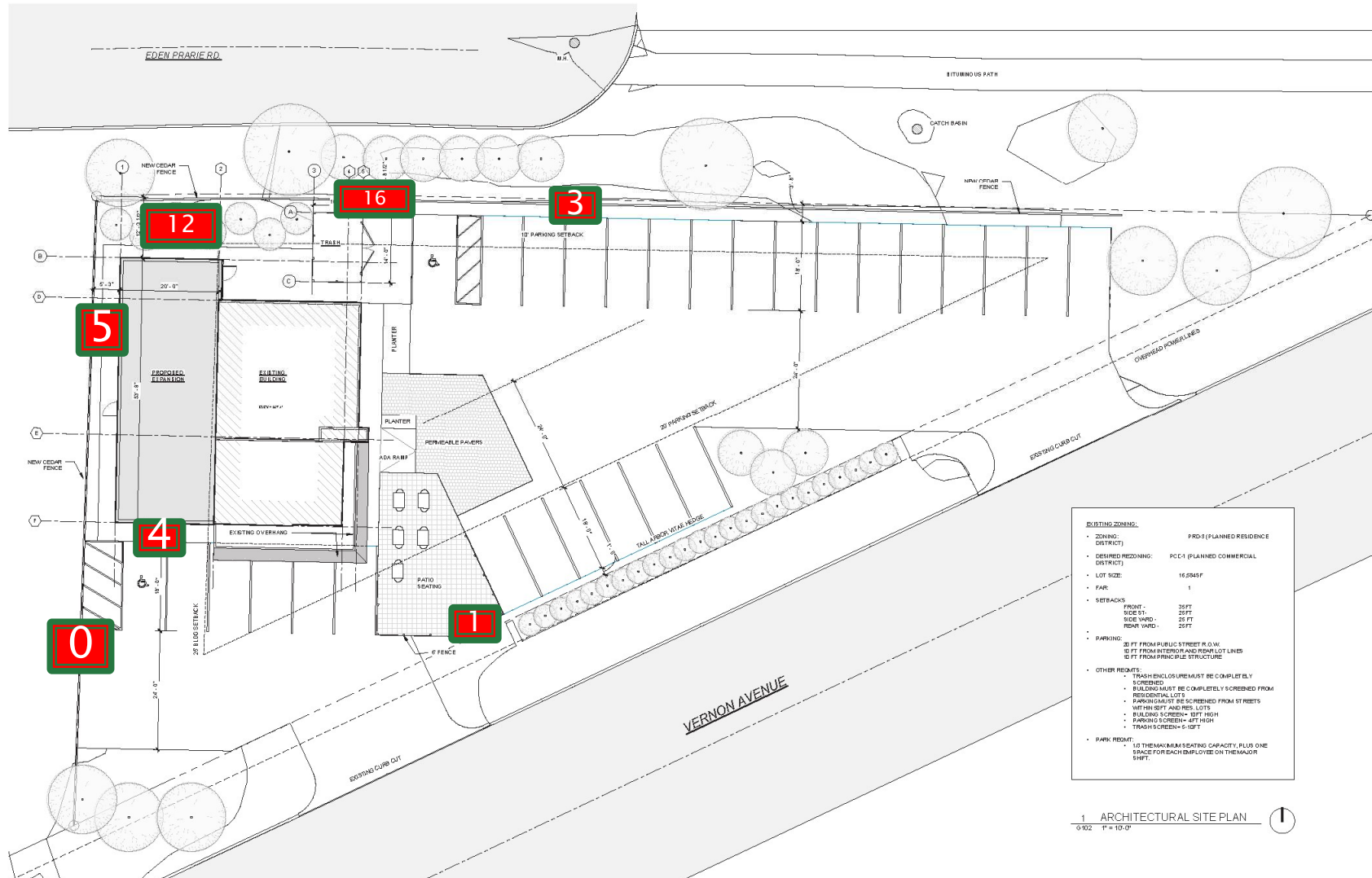
Request Requires:



The CITY of
EDINA

- A Comprehensive Plan Amendment from MDR, Medium Density Residential to NN, Neighborhood Node.
- A Rezoning from PCD-4, Planned Commercial District 4 to PCD-I, Planned Commercial District I, with a lot size variance to allow a restaurant in the PCD-I District less than 1 acre in size.
- Site Plan Review with the following:
 1. Front Street Setback Variance to Eden Prairie Road from 35 to 12 feet.
 2. Side Yard setback variance from 25 to 5 feet.
 3. A Front Street Setback Variance for the patio built toward Vernon Avenue from 35 feet to 1-foot.
 4. A Parking Lot Setback Variance from 10 feet to 0 feet to expand the parking area along the west lot line, and 10 feet to 4 feet for separation between the building and parking lot.
 5. Trash enclosure screening setback from the street from 20 feet to 16 feet.

\\snp\proj\CD\arch\dwg\CA-2021-17-0016 WESTSIDE CAFE\REV\T02117_MN1001.dwg



WESTSIDE CAFE

CHRISTIAN DEAN ARCHITECTURE

2000 Bryant Ave #204
Minneapolis, MN 55408
612.885.2814
www.deanarch.com

Contact:
Christian Dean
cdean@deanarch.com
612.885.2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

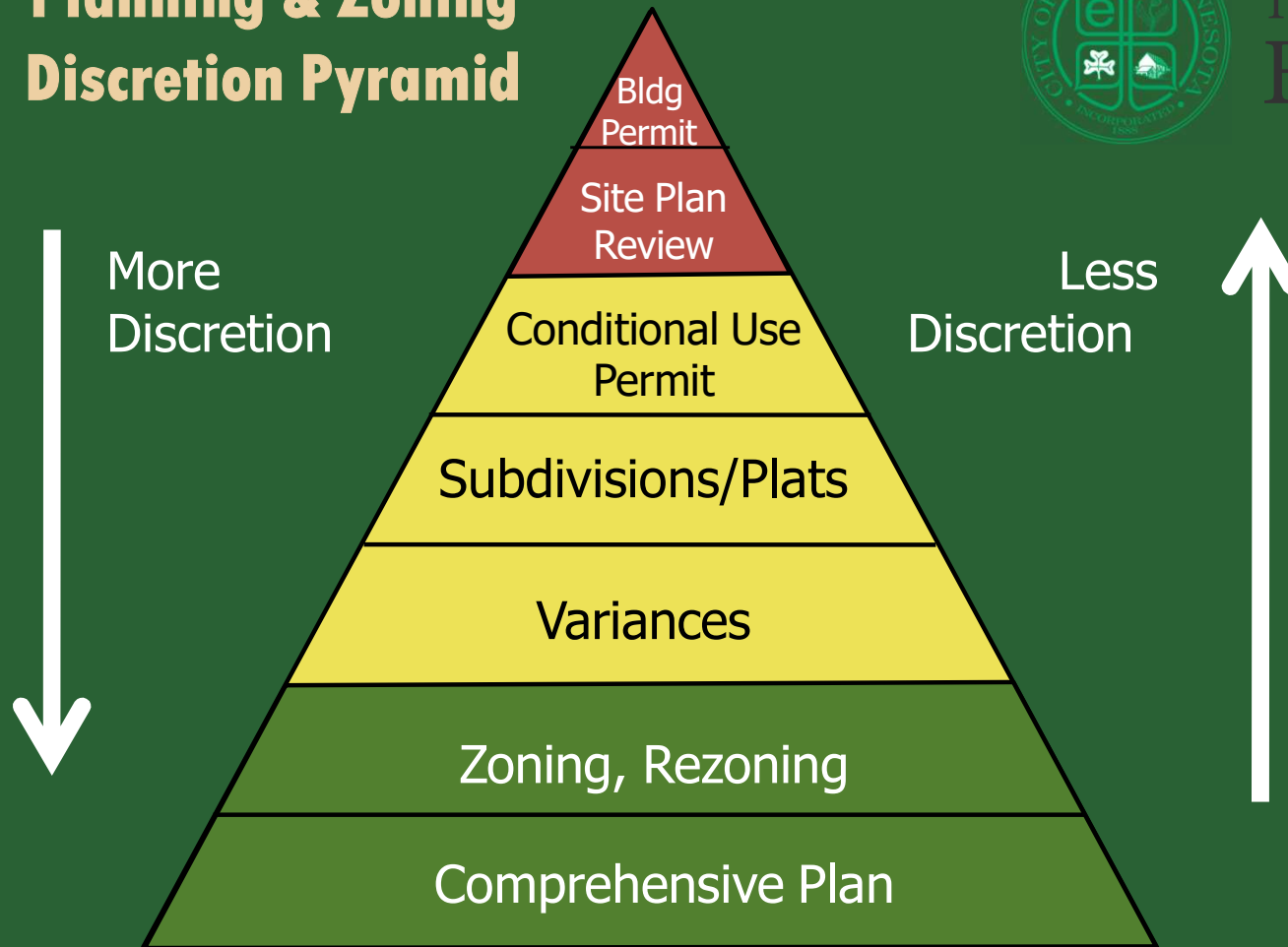
NOT FOR CONSTRUCTION

0015 VERNON AVE
EDEN PRAIRIE, MN
Project Number: 202117

Planning & Zoning Discretion Pyramid



The CITY of
EDINA



Primary Issues



The CITY of
EDINA

- Are the Proposed Variances Justified?
- Is the Proposed Rezoning to PCD-I Reasonable?
- Is the Proposed Comprehensive Plan Amendment Reasonable?

Primary Issues



The CITY of
EDINA

- Are the Proposed Variances Justified?

No. Staff believes the Variances requested are excessive for this site, and do not meet the City's Variance criteria as follows:

1) Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. "Practical difficulties" may include functional and aesthetic concerns.

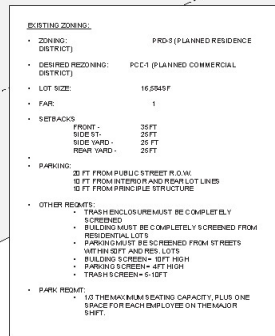
CHRISTIAN DEAN
ARCHITECTURE

Contact
Christian Dean
odean@deanarch.com
612 666 2814

Print Name _____

Issue / Revision Schedule		
NO	Description	Date

NOT FOR CONSTRUCTION



1 ARCHITECTURAL SITE PLAN
G102 1" = 10'-0"

Primary Issues



The CITY of
EDINA

- Are the Proposed Variances Justified?

2) *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?*

Yes. The site is generally unique and not common to similarly zoned PCD, Planned Commercial properties. The site is very small in size, is triangular in shape, and has two street frontages. It would be difficult to build anything on this site without a variance. This site is similar in size to the property at 4404 Valley View Road that just received approval to build 4 townhomes. That site is 11,691 square feet in size, while the subject property is 16,373 square feet in size.

Primary Issues



The CITY of
EDINA

- Are the Proposed Variances Justified?

3) Will the variance alter the essential character of the neighborhood?

Yes. Given the magnitude and number of variances requested, the lack of screening and separation for residential uses, concern over parking and vehicles maneuvering in, out and around the site, the variances and intensification of the site would alter the essential character of the neighborhood.

Primary Issues



The CITY of
EDINA

- Is the Proposed Rezoning to PCD-I Reasonable?

No. In this instance, with the circumstances surrounding the proposed site plan, staff does not support the request for the following reasons:

- I. The proposal does not meet the findings for rezoning per Section 36-216 of the City Code. specifically:
 - a) The proposal is not consistent with the comprehensive plan.
 - b) The site plan would be detrimental to properties given the magnitude and number variances requested, lack of green space, setback and separation from residential uses, potential parking issues and vehicle maneuvering in and out of the site.
 - c) Will result in an overly intensive land use.
 - d) Does not conform to the provisions of the City Code.
 - e) Does not “provide a proper relationship between the proposed improvements, existing structures, open space and natural features.”

Primary Issues



The CITY of
EDINA

- Is the Proposed Rezoning to PCD-I Reasonable?
 2. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance, specifically, traffic moving from one part of a parking area to another is not capable of doing so without using Vernon Avenue.
 3. Staff would recommend a rezoning of the site to PRD-3 to bring the site in to compliance with the existing Comprehensive Plan designation. The property owner would then have the option of continuing the automotive repair use as a legally existing non-conforming use or could propose to redevelop the site with 4 units of housing under the PRD-3 standards.

Primary Issues



The CITY of
EDINA

- Is the Comprehensive Plan Amendment Reasonable?

No. Staff does not support the Variances or Rezoning, therefore, does not support the Comprehensive Plan Amendment for the following reasons:

1. The subject property is too small to accommodate all that is being proposed on the site. As proposed with the significant number of variances being requested, the restaurant would be an overly intensive use for the site.
2. The proposed use and site plan to accommodate the use is not compatible with the adjacent residential land uses. The variances proposed are significant.
3. There is a lack of green space and landscaping to minimize impact to the adjacent properties. The parking lots are located right up to the lot lines, and the proposed addition is just 5 feet from the west lot line, providing no opportunity for green space and landscaping.
4. As proposed, based on the parking study done by WSB, there is potential for parking on adjacent streets. There is additional concern over car and truck maneuvering in and out of the site off Vernon Avenue. The on-site circulation within the parking area is not adequate and does not comply with Section 36-1347 of the Zoning Ordinance.

Better Together Edina

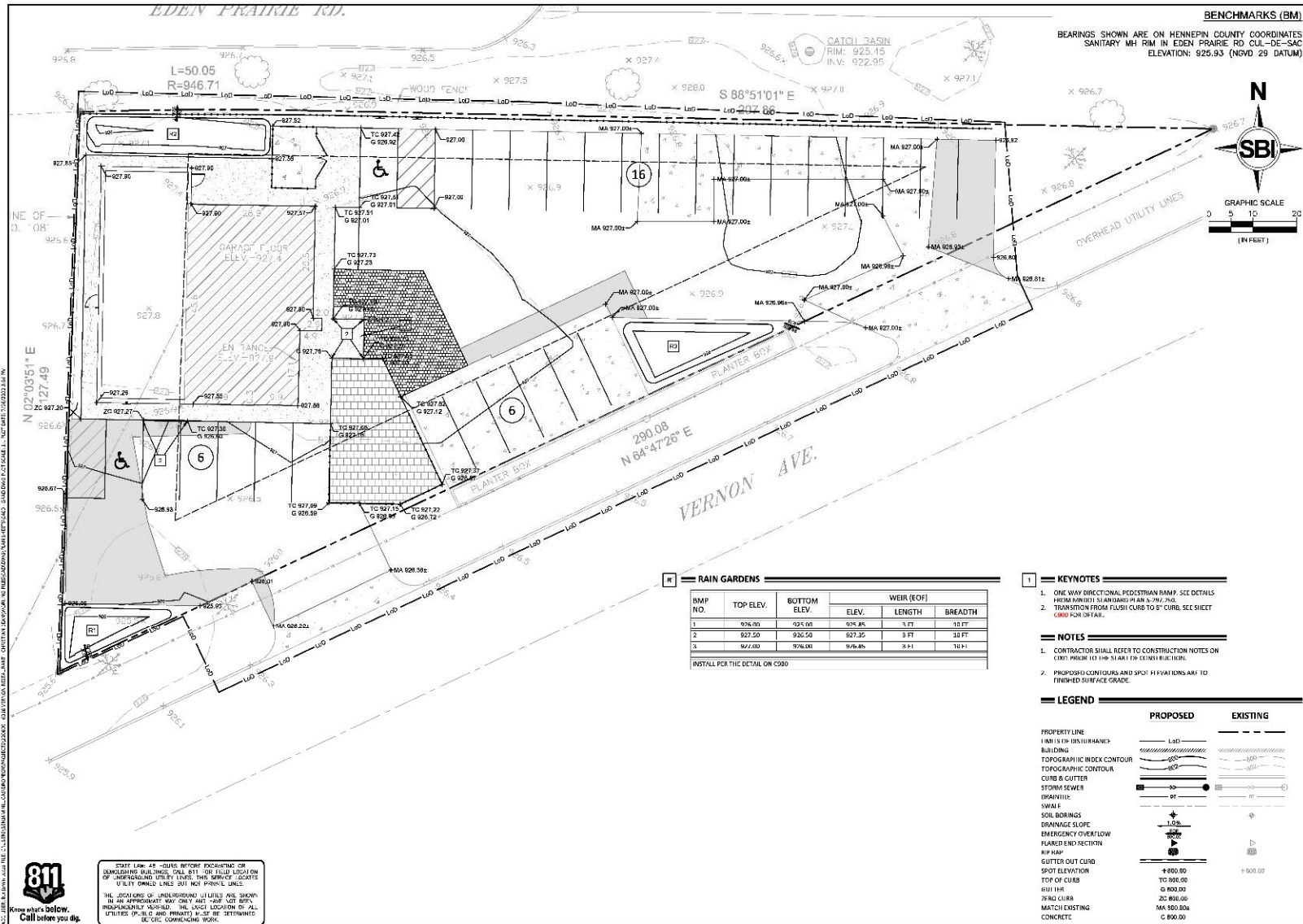


The CITY of
EDINA

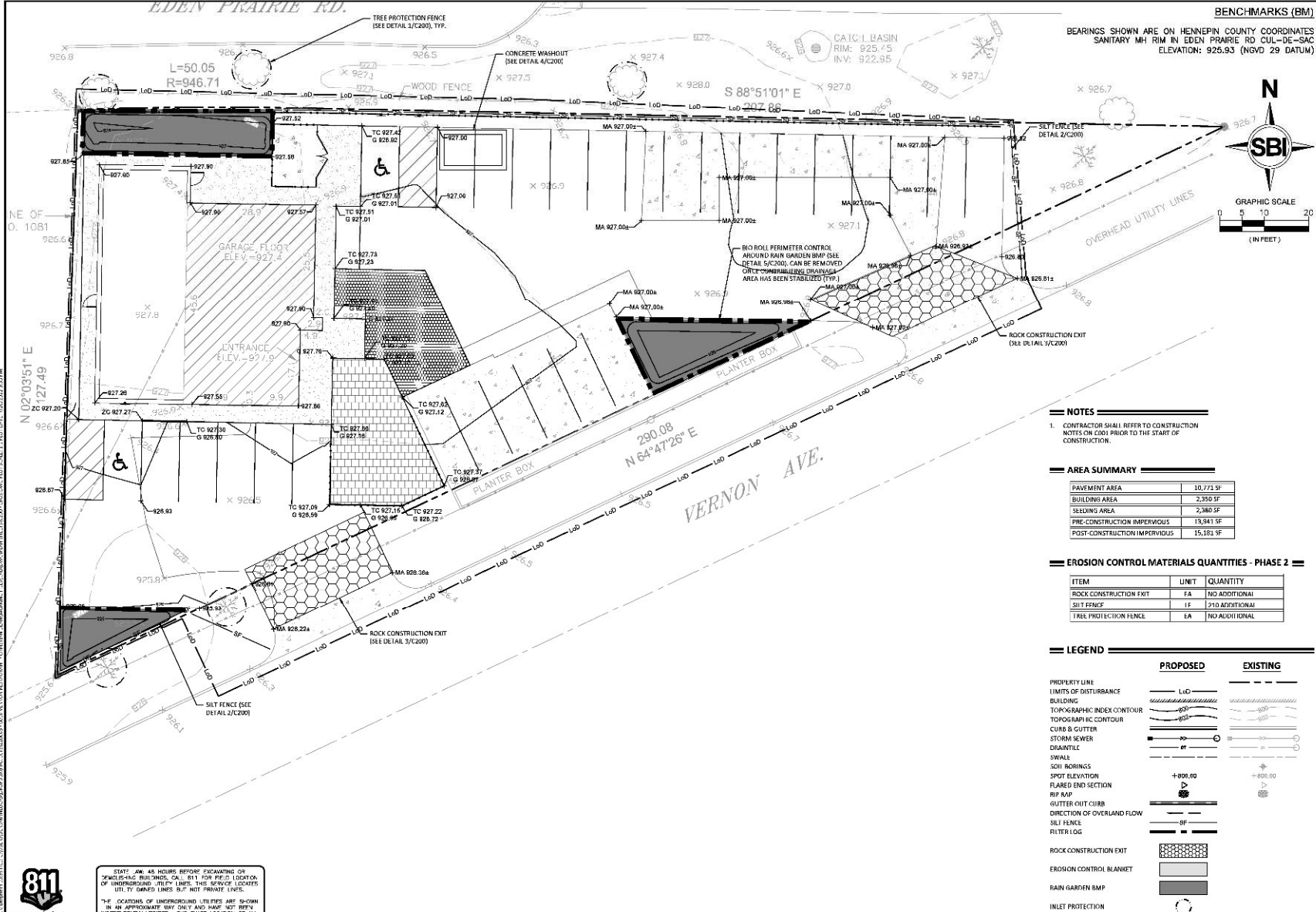
Recommendation



The CITY of
EDINA



EDEN PRAIRIE RD.



BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 926.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY

DESIGNED: BUL DRAWN: BUL
REVIEWED: BUL INITIAL ISSUE: 7-22-22
PHASE: PRELIM

DATE	DESCRIPTION
01/20/22	PRELIMINARY SUBMITTAL - HPC

CERTIFICATION

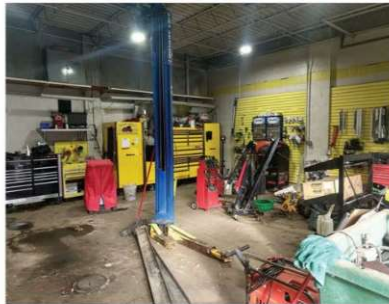
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature
BETHANN LUCAS, P.E.
DATE: 7-22-22 REG. NO. 54285

SEDIMENT & EROSION
CONTROL PLAN PH II

SOLUTION BLUE PROJECT NO. 22008

2 BASEMENT SLAB
A201 3/16" = 1.0"



WESTSIDE C

CHRISTIAN DEAN ARCHITECTURE

2000 Bryant Ave #204
Minneapolis, MN 55405
612.888.2014
www.cdarch.com

Contact:
Christian Dean
cdean@cdarch.com
612.888.2014

I hereby certify that this plan/specification, or
report was prepared by me or under my
direct supervision and that I am a duly
Licensed Architect under the laws of the
State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
©2020 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

EXISTING
CONDITIONS

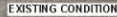
G103

APPLICATIONS | JULY 25, 2022

0016.ME
Project No.

2019 COPYRIGHT CHRISTIAN DEAN ARCHITECTURE, LLC. 7/25/2022 9:39:51 AM \\10.1.10.15\share\Dropbox\CD Architecture\CD-A-2021-17-0010 VERNON AVE02 REV\2022117_MAIN_MODEL_R19.rvt

—



NO	NAME
GENERAL	
G00	COVER
G100	ARCHITECTURAL SITE PLAN
G104	EXISTING CONDITIONS
G104	EXISTING FACTS
G105	CONTEXT FACTS
LANDSCAPE	
L00	LANDSCAPE PLAN
ARCHITECTURAL	
A01	ASSESSMENT LEVEL 1 FLOOR PLAN
A01	BUILDING ELEVATIONS, ETC. MATERIALS
Civil	
C01	COVER SHEET
C100	GENERAL NOTES
C200	EXISTING UTILITIES & REMOVALS PLAN
C210	SEWERAGE & STORMWATER CONTROL DETAILS
C210	SEWERAGE & STORMWATER CONTROL PLAN
C211	SEWERAGE & STORMWATER CONTROL PLAN DETAIL
C300	WATER SUPPLY PLAN
C400	WATER SUPPLY & IRRIGATION PLAN
C500	UTILITY PLAN
C600	DETAILS

- REZONING FROM PCD-4 TO PCD-1
- REDUCE PARKING SETBACK ON NORTH PROPERTY LINE TO 3'-8" AND SETBACK AT SOUTH PROPERTY LINE TO 0' (TO REFLECT EXISTING PAVEMENT/PARKING CONDITIONS)
- REDUCE BUILDING SETBACK ON WEST PROPERTY LINE FROM 25' TO 5'
- REDUCE BUILDING SETBACK ON NORTH PROPERTY LINE FROM 25' TO 13' (EXISTING BUILDING IS 21' From the North property line)

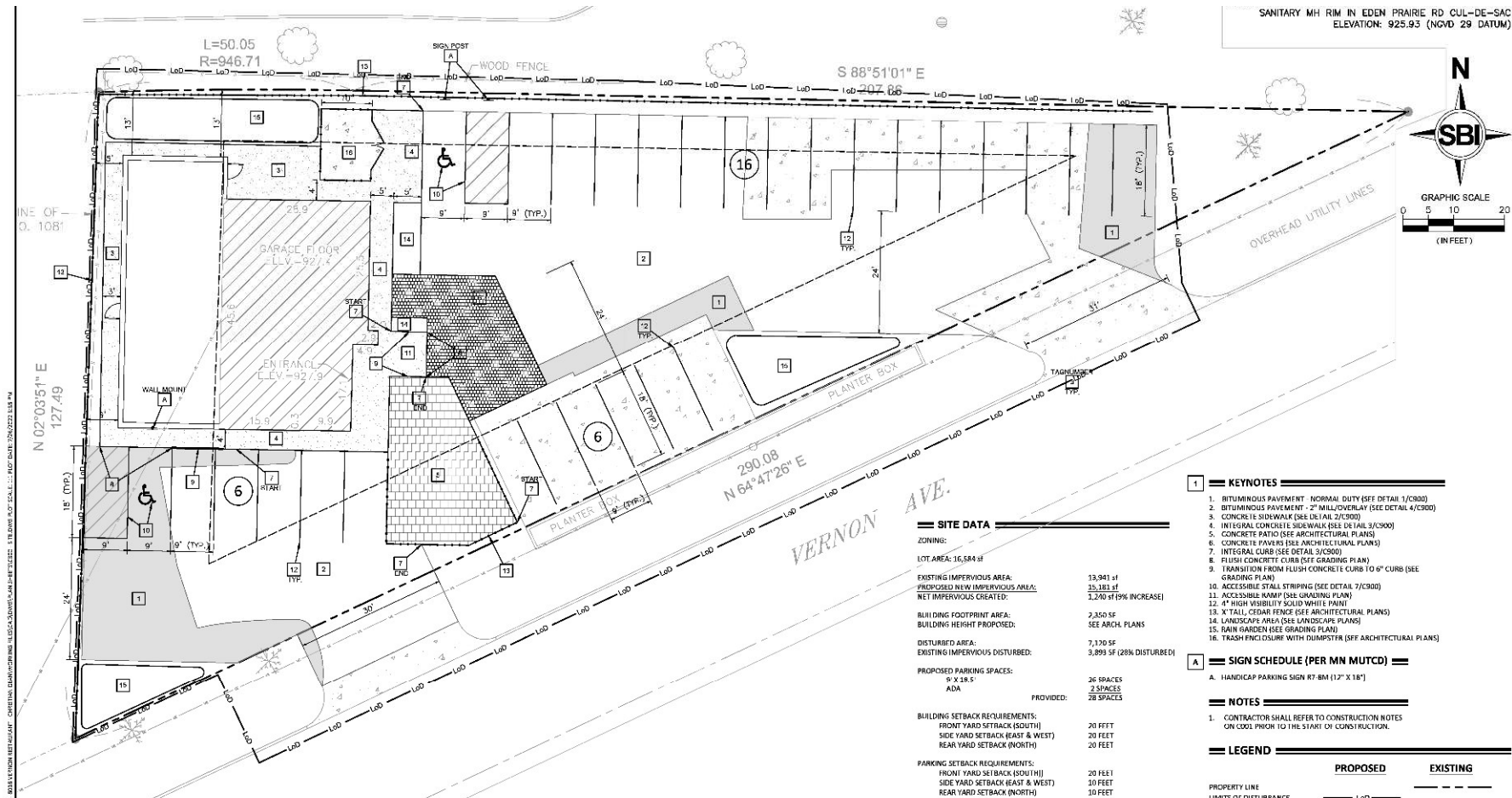


Contact
Christian Dean
cdean@deanarch.com
612 886 2814

NOT FOR CONSTRUCTION
APPLICATIONS | JULY 25, 2022



STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY DRINKING WATER, GAS, AND FIBER OPTIC LINES. THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY A LICENSED UTILITY LOCATOR.



SITE DATA

ZONING:	
LOT AREA: 16,584 sf	13,941 sf
EXISTING IMPERVIOUS AREA:	15,181 sf
PROPOSED NEW IMPERVIOUS AREA:	1,240 sf (9% INCREASE)
NET IMPERVIOUS CREATED:	
BUILDING FOOTPRINT AREA:	2,350 sf
BUILDING HEIGHT PROPOSED:	SEE ARCH. PLANS
DISTURBED AREA:	7,120 sf
EXISTING IMPERVIOUS DISTURBED:	3,899 sf (28% DISTURBED)
PROPOSED PARKING SPACES:	
8' X 18' ADA	26 SPACES
PROVIDED:	2 SPACES
	28 SPACES
BUILDING SETBACK REQUIREMENTS:	
FRONT YARD SETBACK (SOUTH)	20 FEET
SIDE YARD SETBACK (EAST & WEST)	20 FEET
REAR YARD SETBACK (NORTH)	20 FEET
PARKING SETBACK REQUIREMENTS:	
FRONT YARD SETBACK (SOUTH)	20 FEET
SIDE YARD SETBACK (EAST & WEST)	30 FEET
REAR YARD SETBACK (NORTH)	10 FEET

KEYNOTES

1. BITUMINOUS PAVEMENT - NORMAL DUTY (SEE DETAIL 1/C300)
2. BITUMINOUS PAVEMENT - 2" MILL/OVERLAY (SEE DETAIL 4/C300)
3. CONCRETE SIDEWALK (SEE DETAIL 2/C300)
4. INTEGRAL CONCRETE SIDEWALK (SEE DETAIL 3/C300)
5. CONCRETE PATIO (SEE ARCHITECTURAL PLANS)
6. CONCRETE PAVING (SEE ARCHITECTURAL PLANS)
7. INTEGRAL CURB (SEE DETAIL 3/C300)
8. FLUSH CONCRETE CURB (SEE GRADING PLAN)
9. TRANSITION FROM FLUSH CONCRETE CURB TO 6" CURB (SEE GRADING PLAN)
10. ACCESSIBLE STALL STRIPING (SEE DETAIL 7/C300)
11. ACCESSIBLE RAMP (SEE GRADING PLAN)
12. 4" HIGH VISIBILITY SOLID WHITE PAINT
13. 4" TALL CEDAR FENCE (SEE ARCHITECTURAL PLANS)
14. LANDSCAPE AREA (SEE LANDSCAPE PLANS)
15. RAIN GARDEN (SEE GRADING PLAN)
16. TRASH ENCLOSURE WITH DUMPSTER (SEE ARCHITECTURAL PLANS)

SIGN SCHEDULE (PER MN MUTCD)

- A. HANDICAP PARKING SIGN R7-BM (12" X 18")

NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON CD01 PRIOR TO THE START OF CONSTRUCTION.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	---	---
LIMITS OF DISTURBANCE	---	---
BUILDING	---	---
CURB & GUTTER	---	---
SOIL BORINGS	+	+
FENCE	X	X
SIGN	+	+
LIGHT POLE	+	+
PARKING STALL COUNT	+	+
ADA PAVEMENT MARKING	+	+
2" BITUMINOUS MILL/OVERLAY	---	---
STANDARD DUTY BITUMINOUS	---	---
CONCRETE SIDEWALK	---	---
CONCRETE PAVING	---	---
CONCRETE PATIO	---	---

SUMMARY		
DESIGNED: B.J.L	DRAWN: B.J.L	
REVIEWED: B.J.L	PHASE: PRELIM	
INITIAL ISSUE:		
REVISION HISTORY		
#	DATE	DESCRIPTION
01	7/22/22	PRELIMINARY SUBMITTAL - NY

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

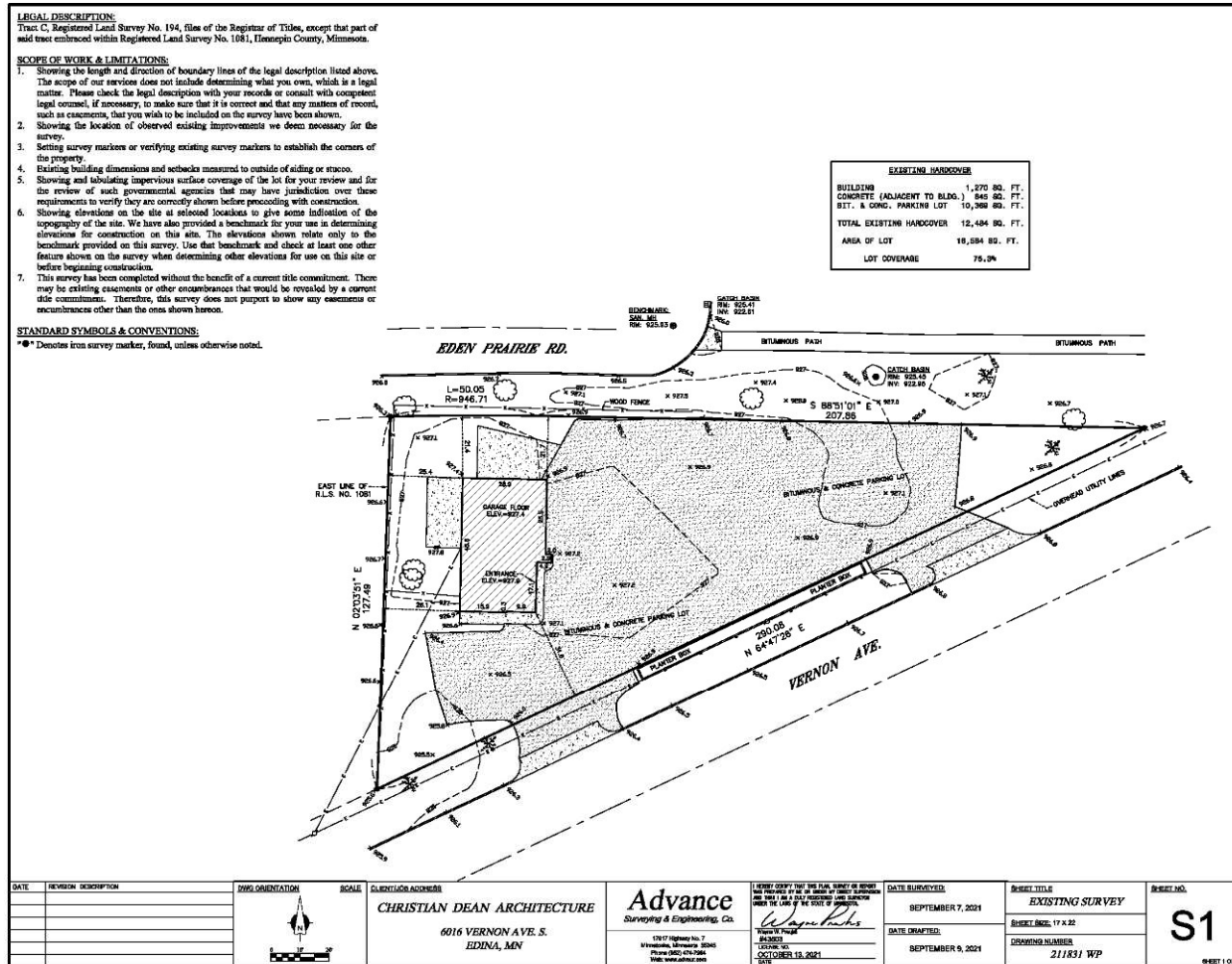
DATE: 7-22-22 REG. NO. 54

CIVIL SITE PLAN

SOLUTION BLUE PROJECT NO: 22

C300

EXISTING SITE



6016 VERNON AVE

P.G. 3

CHRISTIAN DEAN ARCHITECTURE

CHRISTIAN DEAN ARCHITECTURE

WESTSIDE CAFE
6016 VERNON AVE
EDINA, MN



DRAWING INDEX

NO.	NAME
GENERAL	
G000	COVER
G102	ARCHITECTURAL SITE PLAN
G103	EXISTING CONDITIONS
G104	CONTEXT PHOTOS
G105	CONTEXT PHOTOS
LANDSCAPE	
L100	LANDSCAPE PLAN
ARCHITECTURAL	
A201	BASEMENT & LEVEL 1 FLOOR PLAN
A301	BUILDING ELEVATIONS & EXT. MATERIALS
CIVIL	
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & REMOVALS PLAN
C200	SEDIMENT & EROSION CONTROL DETAILS
C210	SEDIMENT & EROSION CONTROL PLAN PH I
C211	SEDIMENT & EROSION CONTROL PLAN PH II
C300	CIVIL SITE PLAN
C400	GRADING & DRAINAGE PLAN
C500	UTILITY PLAN
C900	DETAILS

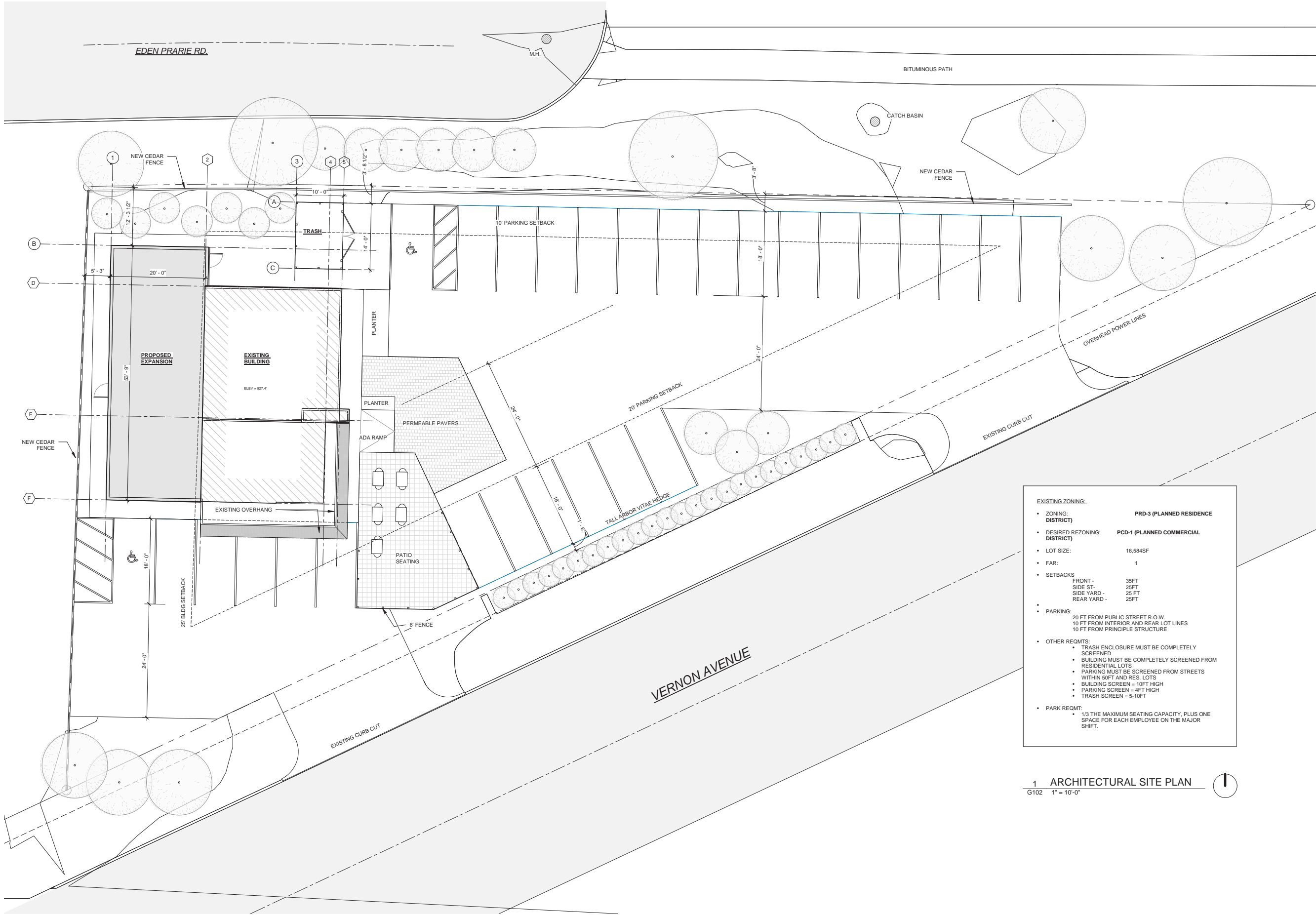
REQUESTED VARIANCES

- REZONING FROM PCD-4 TO PCD-1
- REDUCE PARKING SETBACK ON NORTH PROPERTY LINE TO 3'-8" AND SETBACK AT SOUTH PROPERTY LINE TO 0' (TO REFLECT EXISTING PAVEMENT/PARKING CONDITIONS)
- REDUCE BUILDING SETBACK ON WEST PROPERTY LINE FROM 25' TO 5'
- REDUCE BUILDING SETBACK ON NORTH PROPERTY LINE FROM 25' TO 13' (EXISTING BUILDING IS 21' FROM the North property line)

Architect
CHRISTIAN DEAN ARCHITECTURE, LLC
2909 Bryant Avenue South, Suite 304
Minneapolis, MN 55408

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

NOT FOR CONSTRUCTION
APPLICATIONS | JULY 25,2022



EXISTING ZONING:	
• ZONING: DISTRICT)	PRD-3 (PLANNED RESIDENCE
• DESIRED REZONING: DISTRICT)	PCD-1 (PLANNED COMMERCIAL
• LOT SIZE:	16,584SF
• FAR:	1
• SETBACKS	
FRONT -	35FT
SIDE ST-	25FT
SIDE YARD -	25 FT
REAR YARD -	25FT
• PARKING:	
20 FT FROM PUBLIC STREET R.O.W.	
10 FT FROM INTERIOR AND REAR LOT LINES	
10 FT FROM PRINCIPLE STRUCTURE	
• OTHER REQMTS:	
• TRASH ENCLOSURE MUST BE COMPLETELY SCREENED	
• BUILDING MUST BE COMPLETELY SCREENED FROM RESIDENTIAL LOTS	
• PARKING MUST BE SCREENED FROM STREETS WITHIN 50FT AND RES. LOTS	
• BUILDING SCREEN = 10FT HIGH	
• PARKING SCREEN = 4FT HIGH	
• TRASH SCREEN = 5-10FT	
• PARK REQMT:	
• 1/3 THE MAXIMUM SEATING CAPACITY, PLUS ONE SPACE FOR EACH EMPLOYEE ON THE MAJOR SHIFT.	

1 ARCHITECTURAL SITE PLAN
G102 1" = 10'-0"



WESTSIDE CAFE

CHRISTIAN DEAN ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

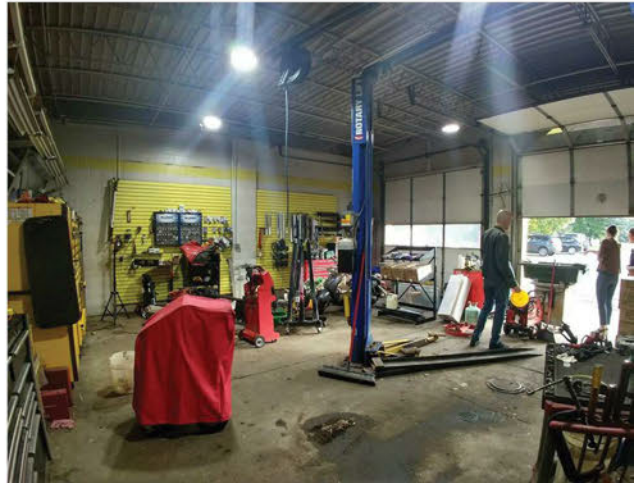
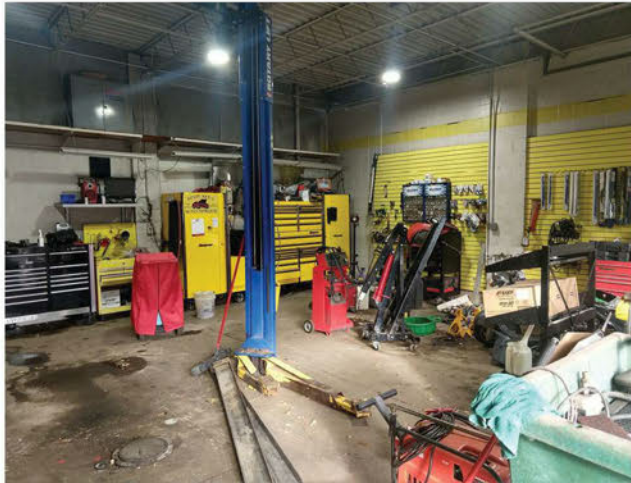
Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

ARCHITECTURAL SITE PLAN

G102

APPLICATIONS | JULY 25, 2022



WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or
report was prepared by me or under my
direct supervision and that I am a duly
Licensed Architect under the laws of the
State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

EXISTING
CONDITIONS

G103

APPLICATIONS | JULY 25, 2022

7/25/2022 9:39:54 AM \\10.1.10.15\share\Dropbox\CD Architecture\CDA-2021-17\6016 VERNON AVE\02 REV\17-2021-17_MAIN MODEL_R19.mxd



AERIAL MAP



1 : VIEW OF SITE FROM VERNON AVE, FROM WEST



2 : VIEW OF SITE FROM VERNON AVE, FROM EAST



3 : WEST NEIGHBOR, FROM VERNON AVE



4 : PARK TO EAST OF SITE, FROM VERNON AVE

WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

CONTEXT PHOTOS

G104

APPLICATIONS | JULY 25, 2022

6016 VERNON AVE
EDINA, MN
Project Number: 202117

7/25/2022 9:39:54 AM \\10.1.10.15\share\Dropbox\CD Architecture\CDA-2021-17-6016 VERNON AVE\REVIT\202117_MAIN MODEL_R19.rvt



5: LOOKING EAST ON EDEN PRARIE RD



6: WEST NEIGHBOR FROM EDEN PRARIE RD



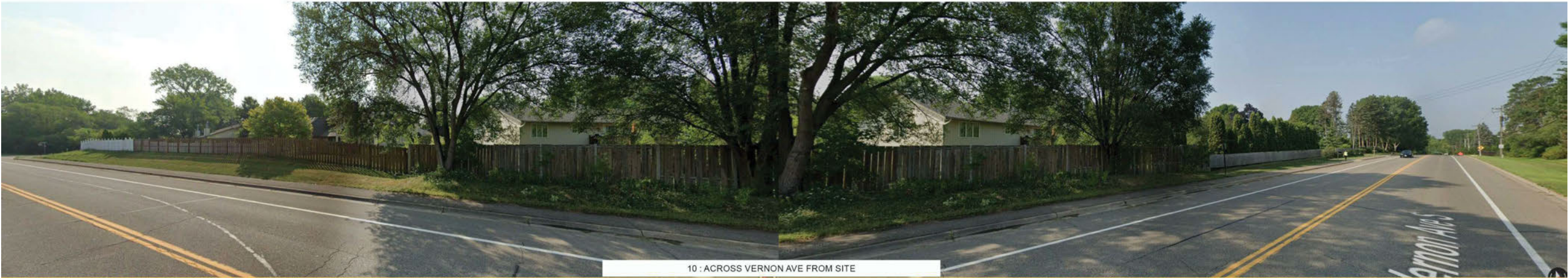
7: VIEW WEST FROM CORNER OF KAYMAR DR AND EDEN PRARIE RD



8: VIEW EAST OF PARK FROM CORNER OF KAYMAR DR AND EDEN PRARIE RD



9: VIEW OF SITE FROM KAYMAR DR, LOOKING SOUTH



10: ACROSS VERNON AVE FROM SITE

WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

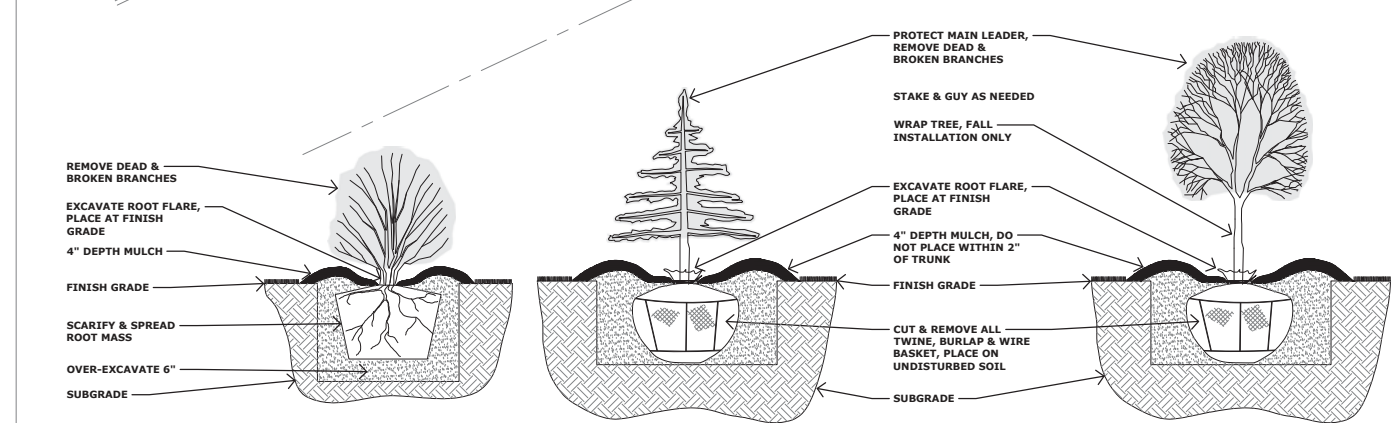
NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

CONTEXT PHOTOS

G105

APPLICATIONS | JULY 25, 2022

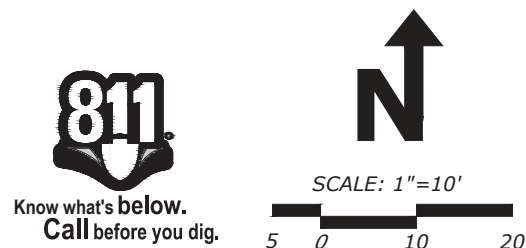
6016 VERNON AVE
EDINA, MN
Project Number: 202117



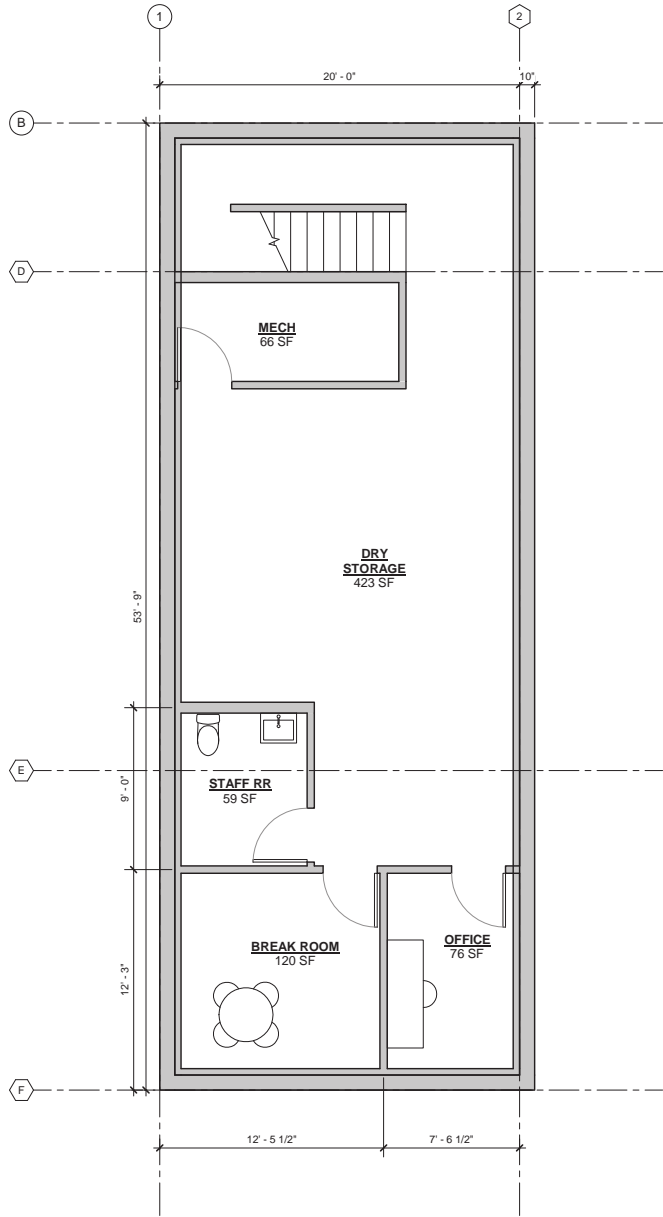
- ONE (1) TREE PER 40' OF SITE PERIMETER
- 676' = 17 TREE REQUIRED
- 16 PROVIDED + 1 EXISTING TO REMAIN

- OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W. AND VERIFY ALL UTILITIES WHICH MAY AFFECT THEIR WORK.
- COMPLETE WORK PER OWNERS CONSTRUCTION SCHEDULE AND COORDINATE WORK WITH OTHERS ON SITE.
- ALL PLANT MATERIALS TO BE GUARANTEED ONE (1) FULL YEAR FROM THE COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME
- REPLACEMENT TOPSOIL (WHEN REQUIRED) SHOULD BE CLEAN, FREE OF DEBRIS, ROCKS AND WEEDS.
- VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD TO BE A KENTUCKY BLUEGRASS SEED VARIETY. NO GUARANTEE ON SOD EXCEPT SOD THAT IS NOT ACCEPTABLE AT TIME OF COMPLETION. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING LANDSCAPE AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 6" WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- SOD ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- PROVIDE BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE HYDROMULCH OR DISCED STRAW DEPENDING ON SEED TYPE.
- INSTALL BLACK PAPER AROUND ALL PLANTING BEDS AS SHOWN ON PLAN.
- MULCH TO BE FINELY SHREDDED, UNDECOMPOSED, HARDWOOD ORGANIC MULCH INSTALLED TO 4" DEPTH.
 - NO WEED FABRIC BARRIER BENEATH ORGANIC MULCHES.
 - NO EDDING AROUND TREES OUTSIDE OF SHRUB BEDS.
- ROCK MULCH SHALL BE 1-1/2" DIAMETER WASHED RIVER ROCK INSTALLED TO 3" DEPTH WITH APPROVED WEED FABRIC BARRIER.
- INSTALL IRRIGATION SYSTEM PER IRRIGATION PLAN. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND PLANTINGS. R.O.W. TO BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. MINIMIZE OVER SPRAY.
- COORDINATE INSTALLATION OF ALL PVC SLEEVES UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER, DAILY CLEANING TO BE COMPLETED IF REQUIRED BY THE MUNICIPALITY.

LANDSCAPE PLANT LEGEND					
DECIDUOUS TREES					
TH	3	THORNLESS COCKSPUR HAWTHORN <i>Crataegus crus-galli</i> var. <i>inermis</i>	2" CAL.	B&B	15'H x 15'W
ORNAMENTAL TREES					
DB	7	DAKOTA PINNACLE BIRCH <i>Betula platyphylla</i> 'Fargo'	1.5" CAL.	B&B	30'H x 8'W
PF	3	PRAIRIE FIRE CRABAPPLE <i>Malus</i> 'Prairie Fire'	1.5" CAL.	B&B	15'H x 20'W
EVERGREEN TREES					
LL	3	AMERICAN LARCH <i>Larix laricina</i>	6' HT	B&B	40'H x 15'W
SJ	18	SPARTAN JUNIPER <i>Juniperus chinensis</i> 'Spartan'	4' HT	B&B	15'H x 4'W
SHRUBS					
AJ	8	AMBER JUBILEE NINEBARK <i>Physocarpus opulifolius</i> 'Jefam'	#2 CONT.	POT	6'H x 4'W
AF	25	ARCTIC FIRE DOGWOOD <i>Cornus stolonifera</i> 'Farrow'	#2 CONT.	POT	5'H x 4'W
ORNAMENTAL GRASSES					
NS	53	NORTHWIND SWITCH GRASS <i>Panicum virgatum</i> 'Northwind'	#1 CONT.	POT	4'H x 2.5'W
SOD - --- SY EDGING - --- LF MULCH - --- CY					
AB	5	ASSORTED BOULDERS LOCAL SOURCE	VARIES		2'-5'

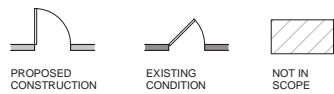


7/25/2022 9:39:49 AM \\10.1.10.15\share\Dropbox\CD Architecture\CDA-2021-17-6016 VERNON AVE\02 REV\17-202117_MAIN MODEL_R19.rvt



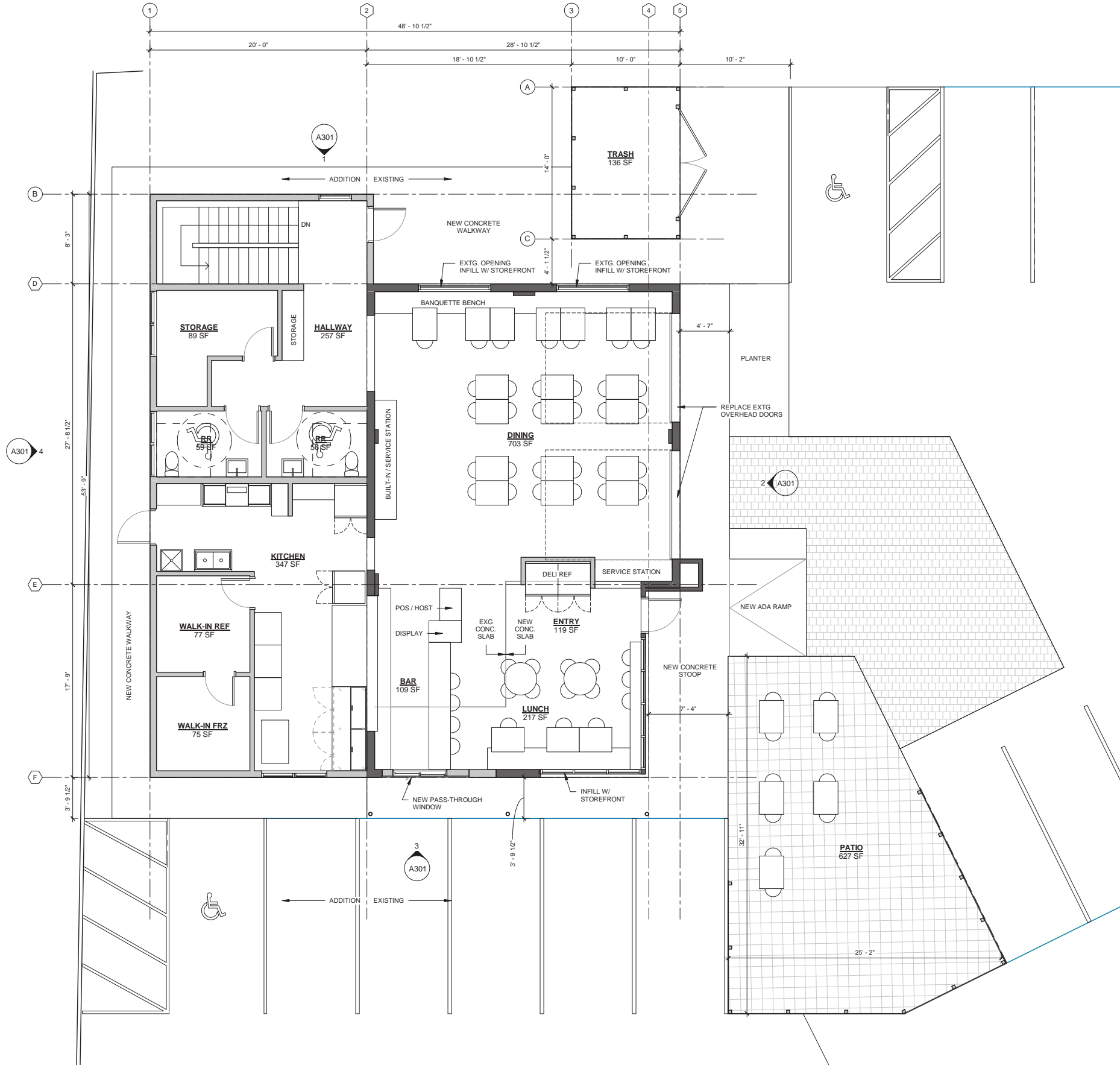
2 BASEMENT SLAB
A201 3/16" = 1'-0"

PLAN KEY



GROSS BUILDING AREA

Name	Area
EXISTING BUILDING	1,241 SF
BASEMENT	1,120 SF
ADDITION	1,096 SF
Grand total	3,457 SF



1 LEVEL 1 FLOOR PLAN
A201 3/16" = 1'-0"

WESTSIDE CAFE

CHRISTIAN DEAN
ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

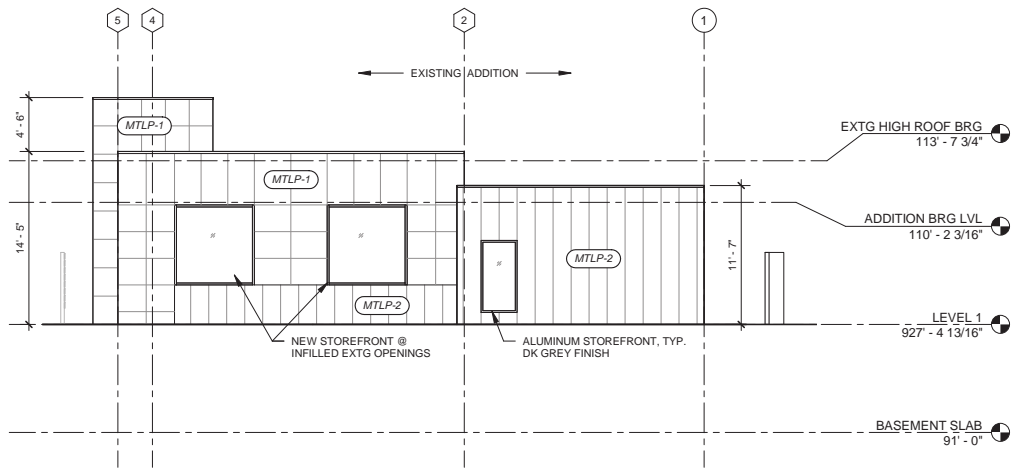
NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

BASEMENT & LEVEL 1
FLOOR PLAN

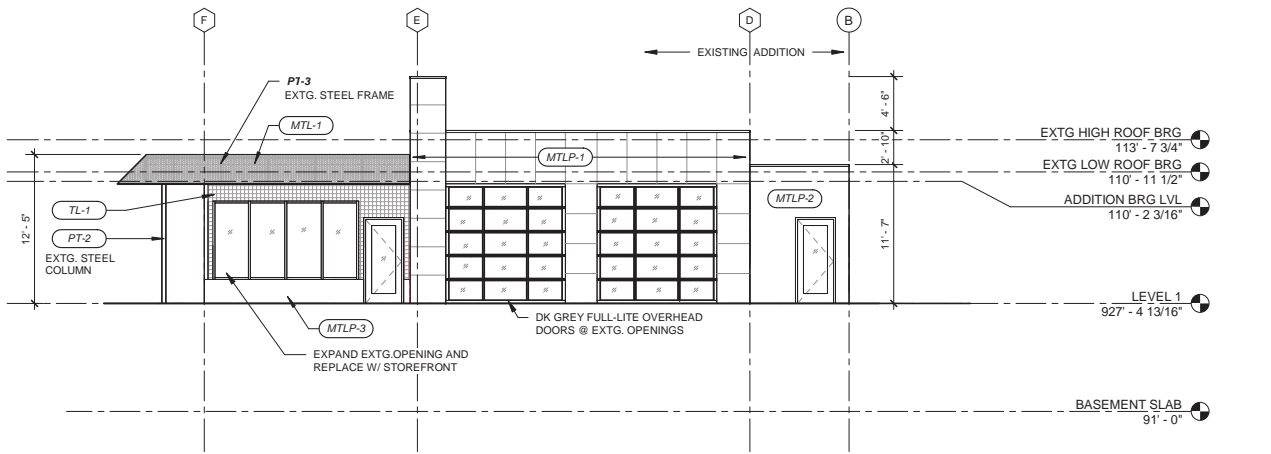
A201

APPLICATIONS | JULY 25, 2022

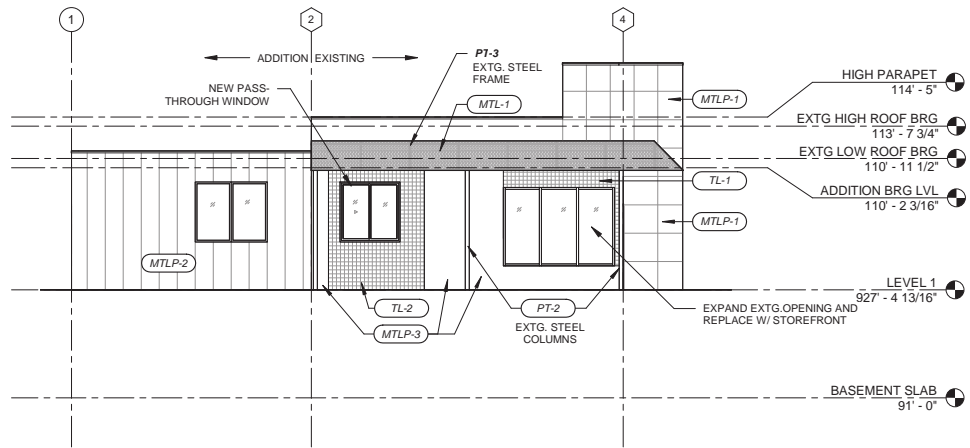
6016 VERNON AVE
EDINA, MN
Project Number: 202117



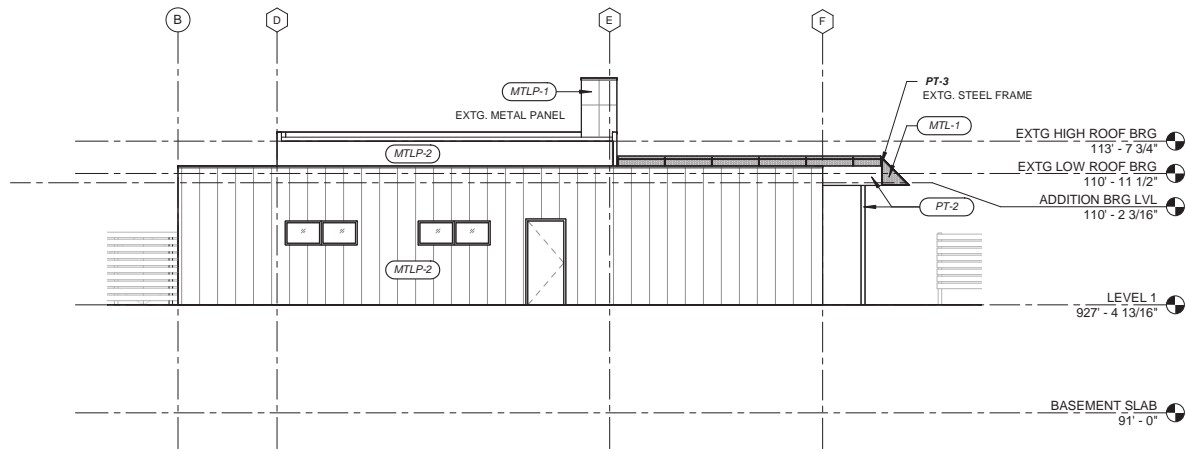
1 NORTH ELEVATION
A301 1/8" = 1'-0"



2 EAST DEMO ELEVATION
A301 1/8" = 1'-0"



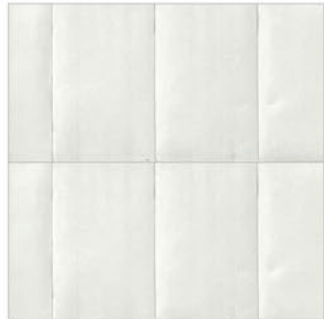
3 SOUTH ELEVATION
A301 1/8" = 1'-0"



4 WEST ELEVATION
A301 1/8" = 1'-0"

KEY - EXTERIOR MATERIALS

MTLP-1 EXTG. PAINTED METAL PANEL
RESTORE AND PAINT WHITE
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



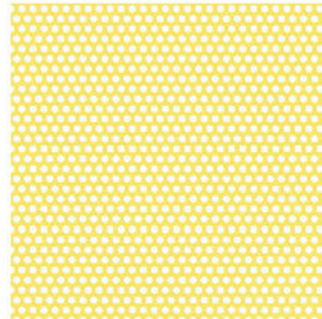
MTLP-2 REVEAL METAL PANEL
PAINT WHITE
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



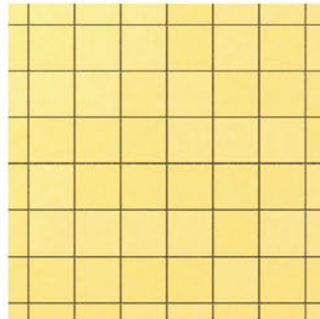
MTLP-3 METAL PANEL, DK GREY
DIVISION 7 - THERMAL AND MOISTURE PROTECTION



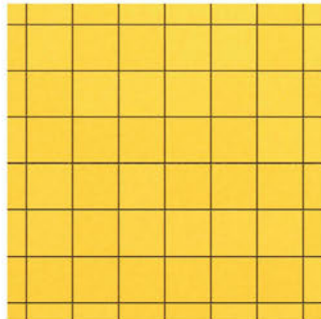
MTL-1 PERF ALUMINUM PANEL
POWDER COAT - LIGHT YELLOW
DIVISION 5 - METALS



TL-2 EXTERIOR TILE - YELLOW
YELLOW
4" SQUARE
DIVISION 9 - FINISHES



TL-1 EXTERIOR TILE - LIGHT YELLOW
LIGHT YELLOW
4" SQUARE
DIVISION 9 - FINISHES



PT-1 EXTERIOR PAINT FINISH - WHITE
DIVISION 9 - FINISHES



PT-2 EXTERIOR PAINT FINISH - GREY
DIVISION 9 - FINISHES



PT-3 EXTERIOR PAINT FINISH - YELLOW
DIVISION 9 - FINISHES



WESTSIDE CAFE

CHRISTIAN DEAN ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
612 886 2814
www.deanarch.com

Contact
Christian Dean
cdean@deanarch.com
612 886 2814

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name

Signature
License Number

Issue / Revision Schedule
NO Description Date

NOT FOR CONSTRUCTION
2019 Copyright CHRISTIAN DEAN ARCHITECTURE, LLC.

BUILDING ELEVATIONS & EXT. MATERIALS

A301

APPLICATIONS | JULY 25, 2022

PRELIMINARY PLANS

FOR
SITE, GRADING, DRAINAGE, EROSION CONTROL,
UTILITIES, AND LANDSCAPING

FOR WESTSIDE CAFE

EDINA, MINNESOTA

BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

BENJAMIN LUCAS, P.E.
DATE: 7-22-22 REG. NO. 54265

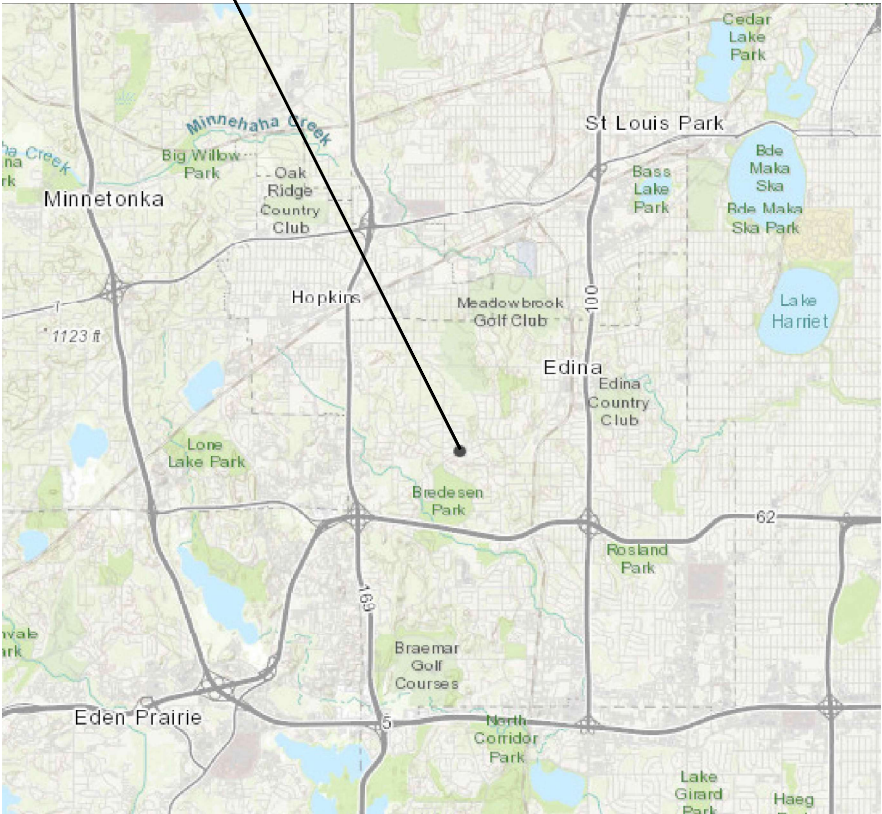
CIVIL COVER SHEET

SOLUTION BLUE PROJECT NO: 220609

C000

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

PROJECT
LOCATION



Sheet List Table			
Sheet Number	Sheet Title	Revision No.	Revision Date
C000	CIVIL COVER SHEET		
C001	GENERAL NOTES		
C100	EXISTING CONDITIONS & REMOVALS PLAN		
C200	SEDIMENT & EROSION CONTROL DETAILS		
C210	SEDIMENT & EROSION CONTROL PLAN PH I		
C211	SEDIMENT & EROSION CONTROL PLAN PH II		
C300	CIVIL SITE PLAN		
C400	GRADING & DRAINAGE PLAN		
C500	UTILITY PLAN		
C900	DETAILS		
S1	EXISTING SURVEY		
L100	LANDSCAPE PLAN		

SUBSURFACE UTILITY INFORMATION

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THE DRAWINGS CONCERNING TYPE AND LOCATION OF UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL "C". THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02. ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

PROJECT CONTACTS

ARCHITECT
CHRISTIAN DEAN
CHRISTIAN DEAN ARCHITECTURE
2909 BRYANT AVE #304
MINNEAPOLIS, MN 55408
TEL: 612-886-2814

CIVIL ENGINEER
BENJAMIN LUCAS, PE
SOLUTION BLUE, INC.
6110 BLUE CIRCLE DRIVE
SUITE 230
MINNETONKA, MN 55343
TEL: 651-294-0038

SURVEYOR
ADVANCE SURVEYING & ENGINEERING CO.
17917 HIGWAY NO. 7
MINNETONKA, MN 55345
TEL: 952-474-7964

LANDSCAPE ARCHITECT
JOSEPH SCHEFFLER
PLAN-TYPE SITE PLANNING & LANDSCAPE ARCHITECTURE
MINNEAPOLIS, MN 55408
TEL: 737-900-1464

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN LUCAS\DRAWING\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECTURE - CADD\DWG\PLAN SHEETS\C000 - COVER.DWG PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:35 PM

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\CAS\DRGBOX\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN\WORKING FILES\CADD\DWG\PLAN SHEETS\C001 - NOTES.DWG PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:35 PM

GENERAL NOTES

- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS BASED UPON THE FIELD SURVEY COMPLETED BY ADVANCE SURVEYING & ENGINEERING CO. ON 9/9/2021. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- ALL STOCKPILES SHALL BE LOCATED WITHIN THE CONSTRUCTION LIMITS OR DESIGNATED STAGING AREAS.
- ALL CONTROL OF WATER AND EROSION AND SEDIMENT CONTROL MEASURES SHALL BE SEQUENCED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- ALL PUBLIC ROADWAYS AND PRIVATE DRIVEWAYS INSIDE THE CONSTRUCTION LIMITS SHALL REMAIN OPEN FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL MINIMIZE DISTURBANCE OF TREES/SHRUBS NOT MARKED FOR REMOVAL, INCLUDING MINIMIZING DISTURBANCE OF SOILS WITHIN THE TREES' DRIPLINE ZONES. CONTRACTOR SHALL NOT STOCKPILE MATERIAL INSIDE THE TREE DRIPLINES.
- NO CONCRETE OR RUBBLE SHALL BE BACKFILLED ONSITE. BURNING OF DEBRIS ON SITE SHALL NOT BE ALLOWED.

GENERAL SITE DEMOLITION AND CLEARING NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SITE FEATURES (STRUCTURES, CURBS, WALKS, PAVEMENTS, UTILITIES, SIGNAGE, FENCES, ETC.) WHICH ARE TO REMAIN. REPAIR OR REPLACE, TO OWNER'S SATISFACTION, ANY DAMAGE TO EXISTING PROPERTY OR SITE FEATURES WHICH ARE TO REMAIN, AT NO ADDITIONAL COST.
- COORDINATE DISRUPTION OF UTILITY SERVICES WITH THE OWNER'S PROJECT REPRESENTATIVE AND UTILITY OWNER, PUBLIC OR PRIVATE. CONTRACTOR TO PROVIDE TEMPORARY UTILITIES AS NECESSARY TO MAINTAIN BUILDING SERVICES.
- CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES.
- PRIOR TO START OF ANY WORK, ALL EROSION AND SEDIMENT CONTROL PROTECTION MEASURES SHALL BE IN PLACE. SEE EROSION CONTROL PLAN OR SWPPP FOR DETAILS.
- CONTRACTOR SHALL PRESERVE ALL VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
- CLEARLY IDENTIFY AND LABEL EACH TREE THAT IS TO REMAIN PRIOR TO STARTING SITE CLEARING. CONTACT OWNER'S PROJECT REPRESENTATIVE FOR SITE INSPECTION AFTER ALL "TO REMAIN" TREES HAVE BEEN IDENTIFIED. TREES THAT ARE TO BE PROTECTED SHALL HAVE TEMPORARY FENCING PLACED AT THE DRIP LINE AROUND EACH TREE.
- STOCKPILE TOPSOIL FOR REUSE ON SITE. VERIFY THE STRIPPED TOPSOIL MEETS SPECIFICATIONS FOR THE PROPOSED USE. VERIFY THE AMOUNT OF TOPSOIL NEEDED AND REMOVE EXCESS FROM SITE.
- ALL MATERIAL REMOVED SHALL BE DISPOSED OF OFF-SITE AND IN A LEGAL MANNER.
- MATERIAL TO BE SALVAGED FOR REUSE BY OWNER SHALL BE REMOVED UNDAMAGED IN USABLE CONDITION. TEMPORARY PROTECTED STORAGE ON-SITE MAY BE REQUIRED.
- ON-SITE BROKERAGE OF MATERIALS SALVAGED BY CONTRACTOR FROM MATERIALS TO BE REMOVED IS NOT PERMITTED WITHOUT PRIOR OWNER APPROVAL.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS. IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES, CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

GENERAL GEOMETRIC AND PAVING NOTES

- SITE DIMENSIONS SHOWN ON THIS PLAN SHALL BE USED FOR ALL LAYOUT WORK. CHECK ALL PLAN AND DETAIL DIMENSIONS. PAVING SHALL BE LAID OUT ON SITE BY A REGISTERED LAND SURVEYOR.
- ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE. THE FACE OF CURB IS ASSUMED TO BE 8 INCHES FROM THE BACK OF CURB.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL SIDEWALKS SHALL HAVE POSITIVE SLOPE AWAY FROM THE BUILDING. THE MAXIMUM CROSS SLOPE SHALL BE 2.0% AND THE MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0% UNLESS OTHERWISE SHOWN ON THE DRAWINGS, SEE DETAIL SHEET C900.
- FOR ALL PEDESTRIAN CURB RAMPS, SEE MNDOT STANDARD PLANS FOR CONSTRUCTION DETAILS. SEE GRADING PLAN SHEET C400 FOR CURB TAPERS.
- ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- NO SLOPE IN ANY DIRECTION SHALL EXCEED 2% IN ACCESSIBLE PARKING AND LOADING AREAS.
- MATCH NEW AND EXISTING PAVEMENT SURFACES, SIDEWALKS AND CURBS AT SAWCUT LINES, ALLOWING NO PONDING OF WATER AT JOINTS. PROVIDE SMOOTH GRADE TRANSITION ACROSS NEW AND EXISTING JOINTS.
- ALLOW MINIMUM OF SEVEN DAYS CURE FOR CURB AND GUTTER PRIOR TO PAVING.
- ALLOW MINIMUM OF 24 HOUR COOLING PRIOR TO ALLOWING TRAFFIC ON BITUMINOUS PAVING.
- SEE DETAIL SHEET C900 FOR BITUMINOUS & CONCRETE PAVEMENT SECTION DEPTHS AND SPECIFICATIONS.
- PATTERNED CONCRETE PAVING AND PATIO AREAS AS DEFINED BY HATCHING SHALL MEET TEXTURE, COLOR AND PATTERN REQUIREMENTS AS SHOWN ON ARCHITECTURAL PLANS.
- SEE ELECTRICAL PLANS BY OTHERS FOR SITE LIGHTING.
- SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR SIGNAGE AND FENCING INFORMATION.

SIGNAGE AND MARKING NOTES

- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE MN MUTCD, CURRENT VERSION.
- SEE REGULATORY SIGN DETAIL FOR SIGN AND POST DETAILS AND SIGN DESIGNATION AND SIZE INFORMATION.
- ACCESSIBLE PARKING SIGNS SHALL BE PER MINNESOTA MUTCD SIGN R7-8M, SEE ACCESSIBLE SIGN AND POST DETAIL ON SHEET C900.
- PROVIDE 4" WIDE SOLID WHITE STRIPING IN PARKING AREAS, UNLESS NOTED OTHERWISE.
- PROVIDE PAVEMENT MARKINGS AND PAINT SYMBOLS AT ACCESSIBLE PARKING SPACES PER MN MUTCD, ADA AND LOCAL CODE.
- PAVEMENT MARKINGS THAT EXIST PRIOR TO THE START OF THE PROJECT MUST BE REPLACED IN-KIND. IF IT IS LATEX OR EPOXY PAINT, ALL COSTS ASSOCIATED WITH PAVEMENT MARKING REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR.

GENERAL ACCESSIBILITY NOTES

- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED SURFACE GRADE.
- CONTRACTOR IS TO ENSURE ADA ROUTE IS COMPLIANT WITH ADA AND MINNESOTA STATE ACCESSIBILITY CODE REGULATIONS AND IS TO NOTIFY ENGINEER IF FIELD CONDITIONS PROHIBIT COMPLIANCE.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE UP TO 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTE(S) PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
- ALL TURNING LOCATIONS SHOWN SHOULD PROVIDE AT MAXIMUM SLOPE OF 2.08% (1:48) IN ALL DIRECTIONS IN A MINIMUM 4'X4' AREA.

GENERAL GRADING NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE BEFORE BEGINNING SITE GRADING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY WHEN CONSTRUCTION ACTIVITY FOR THE PROJECT DISTURBS GREATER THAN 1 ACRE. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIAL TO BE HANDLED, AND FOR THE AMOUNT OF GRADING TO BE DONE. ALL COSTS ASSOCIATED WITH IMPORTING SUITABLE MATERIAL AND EXPORTING UNSUITABLE/EXCESS/WASTE MATERIAL SHALL BE INCLUDED IN THE BID PRICE.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL STRIP, STOCKPILE AND RE-SPREAD EXISTING ONSITE TOPSOIL, IF MATERIAL IS APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. PROVIDE A UNIFORM THICKNESS OF 6" MINIMUM IN ALL DISTURBED AREAS TO BE LANDSCAPED.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL UNLESS OTHERWISE DIRECTED.
- REFER TO LANDSCAPE PLAN FOR PERMANENT TURF RESTORATION AND PLANTING INFORMATION.
- MAINTAIN TEMPORARY PROTECTION MEASURES DURING CONSTRUCTION ACTIVITIES. SEE SITE REMOVALS PLAN FOR ADDITIONAL INFORMATION. PROVIDE ADDITIONAL PROTECTION AS NECESSARY AS WORK PROGRESSES.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED SURFACE GRADE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
- NO GRADED SLOPES SHALL EXCEED 3:1 (HORIZONTAL TO VERTICAL) UNLESS OTHERWISE NOTED.
- UNIFORMLY GRADED AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE AND CONDUCT GRADING OPERATIONS IN A MANNER TO MINIMIZE THE POTENTIAL FOR EROSION.
- SEE DETAIL SHEET C900 FOR BMP CONSTRUCTION DETAILS AND NOTES.

GEOTECHNICAL ENGINEERING SOILS REPORT

CONTRACTOR SHALL COMPLETE THE SITE GRADING AND UTILITY CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.

A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:

COMPANY: _____
ADDRESS: _____
PHONE: _____
DATE: _____

CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT.

GENERAL UTILITY NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE IMPROVEMENTS, INCLUDING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES. ALL PERMITS, APPLICATIONS, FEES AND CHARGES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS OF THE LOCAL GOVERNING AUTHORITIES FOR CONNECTION TO PUBLIC WATER, SANITARY SEWER AND STORM SEWER UTILITIES AND WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING PROVIDING AN APPROVED TRAFFIC CONTROL PLAN AS NECESSARY.
- SHALL OBTAIN ALL NECESSARY PERMITS FOR UTILITY CONNECTIONS AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED CATCH BASINS AND MANHOLES TO BE FLUSH WITH FINAL GRADE.
- THE CONTRACTOR SHALL CLEAN ALL SURFACE FLOW CHANNELS, PIPES AND STRUCTURES AFTER FINAL SURFACES ARE ESTABLISHED AND PRIOR TO PROJECT CLOSEOUT.
- SANITARY SEWER PIPE SHALL BE PVC SDR 35, UNLESS OTHERWISE NOTED.
 - SANITARY SERVICE CONNECTIONS TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - SANITARY SEWER CLEANOUTS SHALL BE PVC SCH 40, UNLESS OTHERWISE NOTED.
- WATERMAIN PIPE SHALL BE DUCTILE IRON - CLASS 52, UNLESS OTHERWISE NOTED.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN MINIMUM.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - A MINIMUM VERTICAL SEPARATION OF 18-INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS.
 - ROOF DRAIN LEADERS SHALL BE PVC, SCHEDULE 40.
- ALL SEWER CONSTRUCTION TO COMPLY WITH CITY ENGINEERING DESIGN STANDARDS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES. SILT FENCE SHALL FOLLOW EXISTING CONTOURS AS CLOSELY AS FEASIBLE.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN 48 HOURS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS DETERMINED BY THE CONTRACTOR. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN INTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES TO PREVENT EROSION.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

Solution

Blue

water matters®

6110 Blue Circle Dr, Suite 230
Minnetonka, MN 55343

651-294-0038
www.SolutionBlue.com

CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN


WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY	
DESIGNED: BJL	DRAWN: BJL
REVIEWED: BJL	
PHASE: PRELIM	INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.


BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

GENERAL NOTES

SOLUTION BLUE PROJECT NO: 220609

C001

EDEN PRAIRIE RD.

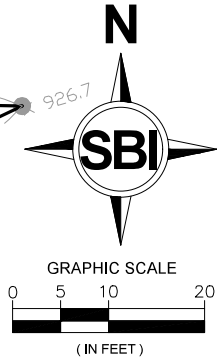
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)

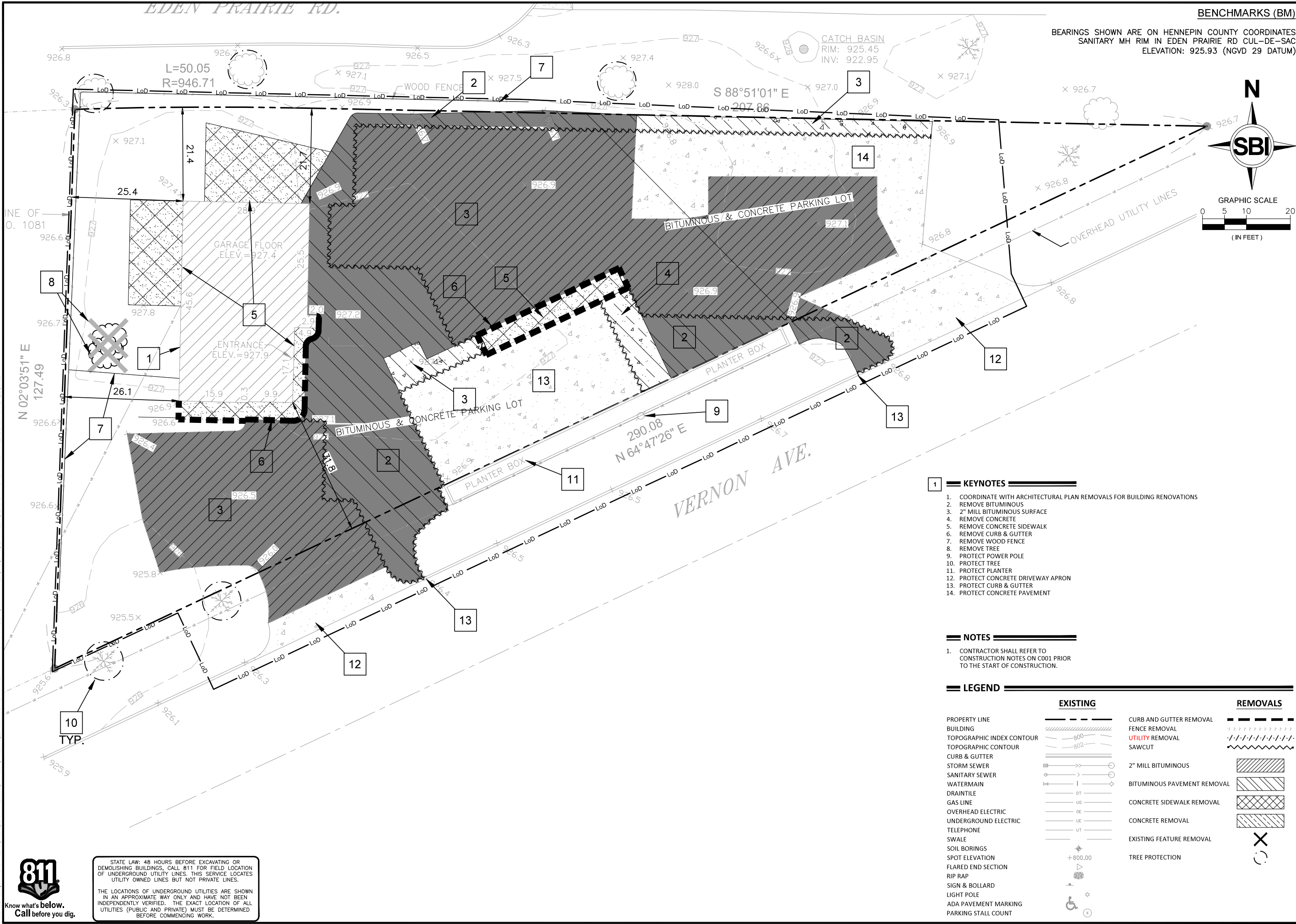


CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



CADD USER: Benjamin Lucas, File: C:\Users\BENJAMIN.LUCAS\Documents\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECT - EC & REM.DWG, Plot Scale: 1:1, Plot Date: 7/26/2022 3:36 PM



- 1 KEYNOTES**
- COORDINATE WITH ARCHITECTURAL PLAN REMOVALS FOR BUILDING RENOVATIONS
 - REMOVE BITUMINOUS
 - 2" MILL BITUMINOUS SURFACE
 - REMOVE CONCRETE
 - REMOVE CONCRETE SIDEWALK
 - REMOVE CURB & GUTTER
 - REMOVE WOOD FENCE
 - REMOVE TREE
 - PROTECT POWER POLE
 - PROTECT TREE
 - PROTECT PLANTER
 - PROTECT CONCRETE DRIVEWAY APRON
 - PROTECT CURB & GUTTER
 - PROTECT CONCRETE PAVEMENT

- NOTES**
- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

LEGEND	
EXISTING	REMOVALS
PROPERTY LINE	CURB AND GUTTER REMOVAL
BUILDING	FENCE REMOVAL
TOPOGRAPHIC INDEX CONTOUR	UTILITY REMOVAL
TOPOGRAPHIC CONTOUR	SAWCUT
CURB & GUTTER	2" MILL BITUMINOUS
STORM SEWER	BITUMINOUS PAVEMENT REMOVAL
SANITARY SEWER	CONCRETE SIDEWALK REMOVAL
WATERMAIN	CONCRETE REMOVAL
DRAINTILE	EXISTING FEATURE REMOVAL
GAS LINE	TREE PROTECTION
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
TELEPHONE	
SWALE	
SOIL BORINGS	
SPOT ELEVATION	
FLARED END SECTION	
RIP RAP	
SIGN & BOLLARD	
LIGHT POLE	
ADA PAVEMENT MARKING	
PARKING STALL COUNT	

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

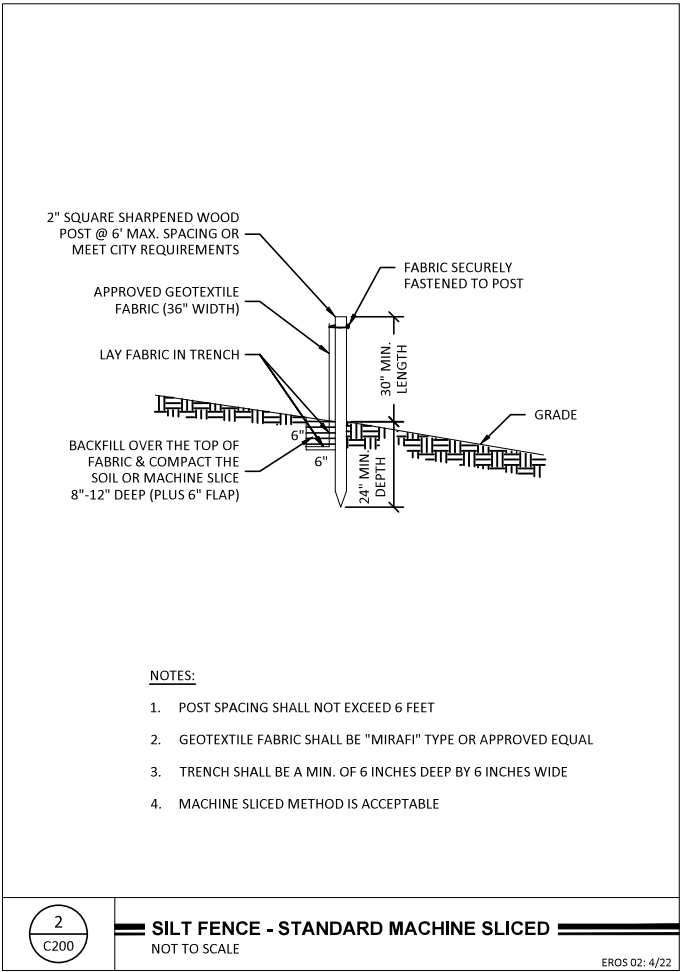
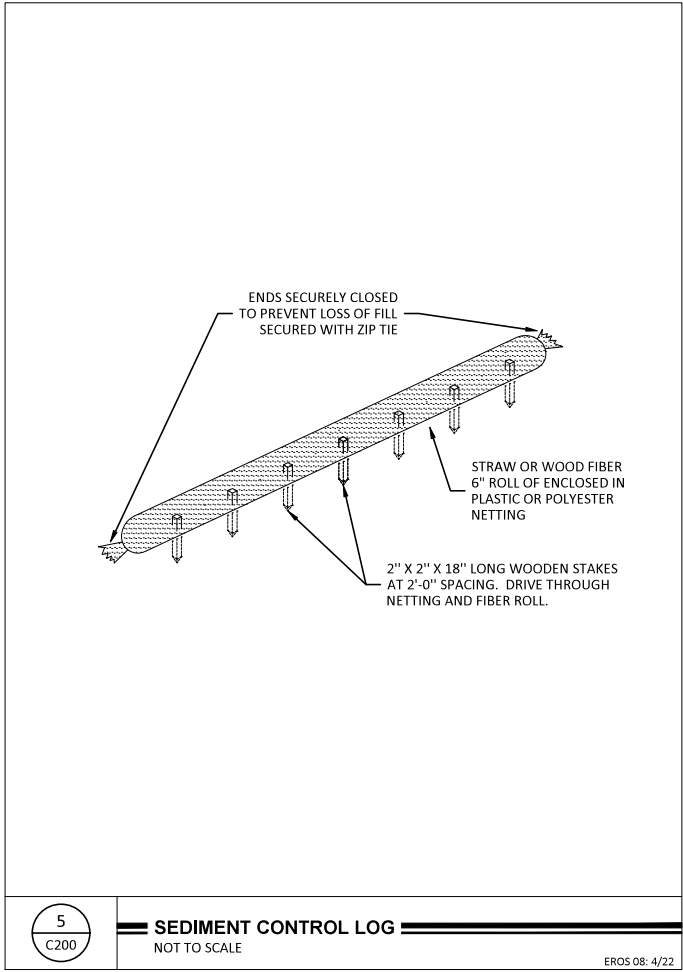
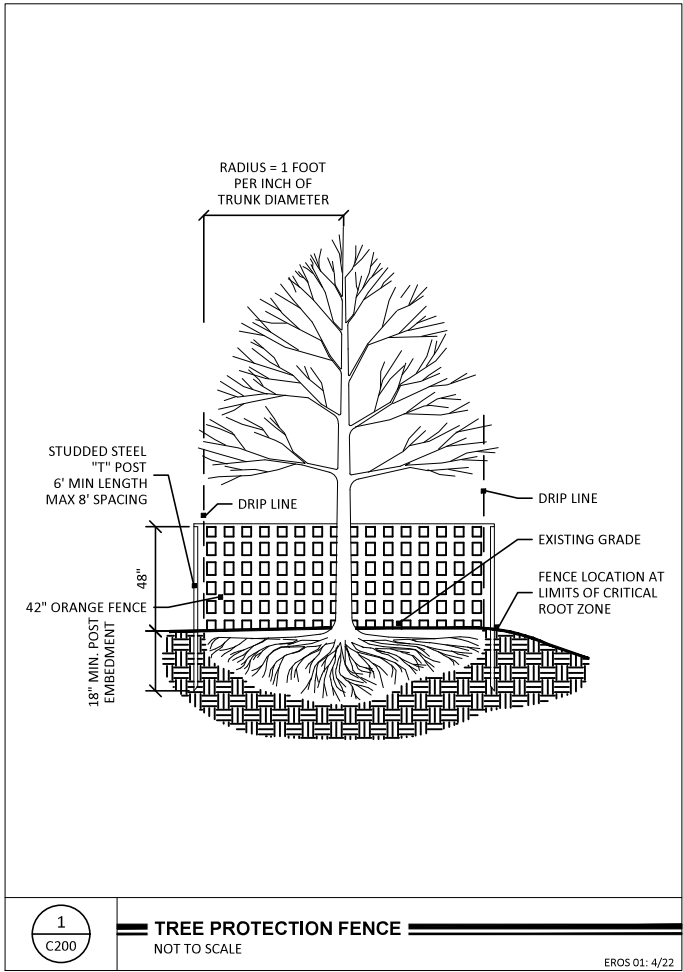
EXISTING CONDITIONS &
REMOVALS PLAN

SOLUTION BLUE PROJECT NO: 220609

C100

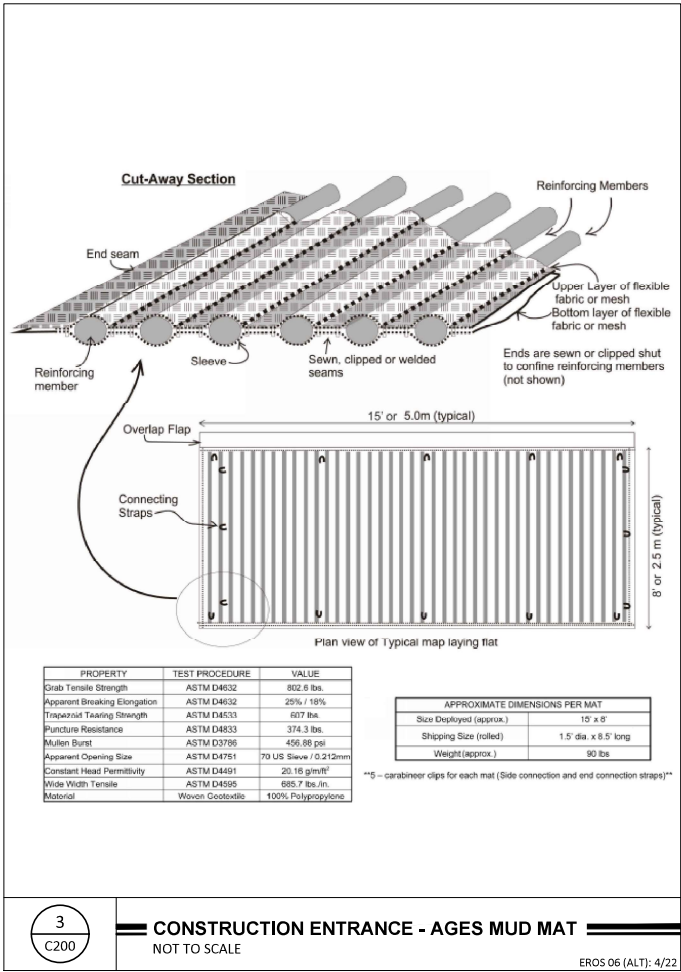
COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN WORKING FILES\CADD\DWG\PLAN SHEETS\C200 - EROS.DWG PLAN SHEET: C200 - EROS.DWG PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM



NOTES:

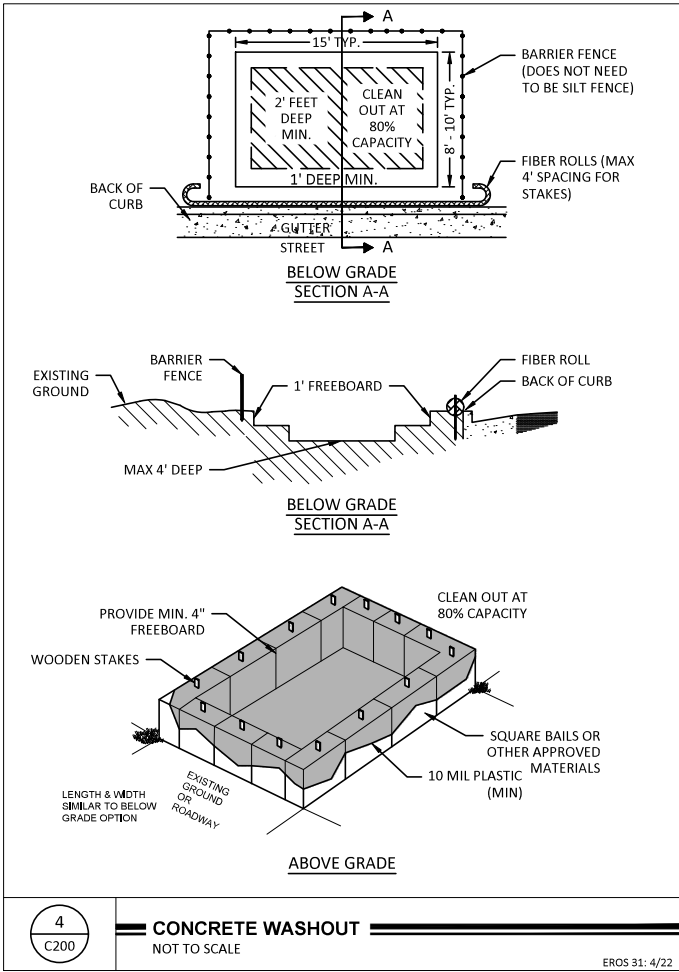
1. POST SPACING SHALL NOT EXCEED 6 FEET
2. GEOTEXTILE FABRIC SHALL BE "MIRAFI" TYPE OR APPROVED EQUAL
3. TRENCH SHALL BE A MIN. OF 6 INCHES DEEP BY 6 INCHES WIDE
4. MACHINE SLICED METHOD IS ACCEPTABLE



PROPERTY	TEST PROCEDURE	VALUE
Grab Tensile Strength	ASTM D4632	802.6 lbs.
Apparent Breaking Elongation	ASTM D4632	25% / 18%
Triaxial Tensile Strength	ASTM D4633	607 lbs.
Puncture Resistance	ASTM D4633	374.3 lbs.
Mullen Burst	ASTM D3786	456.88 psi
Apparent Opening Size	ASTM D4751	70 US Sieve / 0.212mm
Constant Head Permeability	ASTM D4491	20.15 g/m ² /s
Wide Width Tensile	ASTM D4595	685.7 lbs./in.
Material	Woven Geotextile	100% Polypropylene

APPROXIMATE DIMENSIONS PER MAT	
Size Deployed (approx.)	15' x 8'
Shipping Size (rolled)	1.5' dia. x 6.5' long
Weight (approx.)	90 lbs

5 - carabineer clips for each mat (Side connection and end connection straps)



SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BENJAMIN LUCAS, P.E.
DATE: 7-22-22 REG. NO. 54265

EDEN PRAIRIE RD.

BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)

SolutionBlue

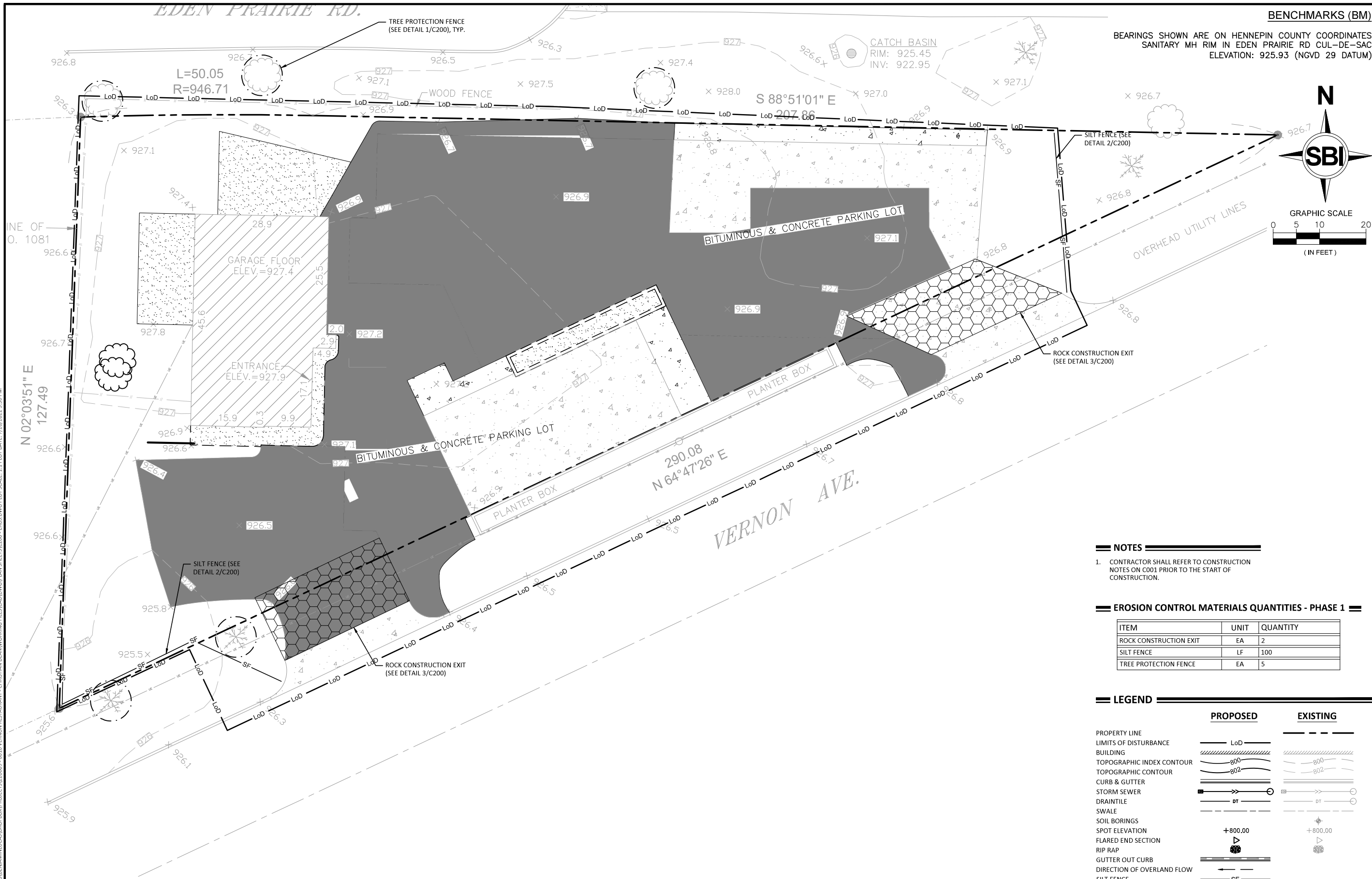
water matters

6110 Blue Circle Dr, Suite 230
Minnetonka, MN 55343

651-294-0038
www.SolutionBlue.com

CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

EROSION CONTROL MATERIALS QUANTITIES - PHASE 1

ITEM	UNIT	QUANTITY
ROCK CONSTRUCTION EXIT	EA	2
SILT FENCE	LF	100
TREE PROTECTION FENCE	EA	5

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	▨	▨
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	—	—
STORM SEWER	DT	DT
DRAINTILE	DT	DT
SWALE	—	—
SOIL BORINGS	+800.00	+800.00
SPOT ELEVATION	▲	▲
FLARED END SECTION	▲	▲
RIP RAP	▨	▨
GUTTER OUT CURB	—	—
DIRECTION OF OVERLAND FLOW	—	—
SILT FENCE	SF	SF
FILTER LOG	—	—
ROCK CONSTRUCTION EXIT	▨	▨
EROSION CONTROL BLANKET	▨	▨
INLET PROTECTION	○	○
TREE PROTECTION FENCE	○	○

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.

811

Know what's below.
Call before you dig.

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

SEDIMENT & EROSION
CONTROL PLAN PH I

SOLUTION BLUE PROJECT NO: 220609

C210

EDEN PRAIRIE RD.

BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

AREA SUMMARY

PAVEMENT AREA	10,771 SF
BUILDING AREA	2,350 SF
SEEDING AREA	2,380 SF
PRE-CONSTRUCTION IMPERVIOUS	13,941 SF
POST-CONSTRUCTION IMPERVIOUS	15,181 SF

EROSION CONTROL MATERIALS QUANTITIES - PHASE 2

ITEM	UNIT	QUANTITY
ROCK CONSTRUCTION EXIT	EA	NO ADDITIONAL
SILT FENCE	LF	210 ADDITIONAL
TREE PROTECTION FENCE	EA	NO ADDITIONAL

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	Diagonal hatching	Diagonal hatching
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	Double line	Double line
STORM SEWER	Circle with cross	Circle with cross
DRAIN TILE	DT	DT
SWALE	DT	DT
SOIL BORINGS	+800.00	+800.00
SPOT ELEVATION	+800.00	+800.00
FLARED END SECTION	Flared end symbol	Flared end symbol
RIP RAP	Rip rap symbol	Rip rap symbol
GUTTER OUT CURB	Gutter out curb symbol	Gutter out curb symbol
DIRECTION OF OVERLAND FLOW	Arrow	Arrow
SILT FENCE	SF	SF
FILTER LOG	Filter log symbol	Filter log symbol
ROCK CONSTRUCTION EXIT	Rock construction exit symbol	Rock construction exit symbol
EROSION CONTROL BLANKET	Erosion control blanket symbol	Erosion control blanket symbol
RAIN GARDEN BMP	Rain garden BMP symbol	Rain garden BMP symbol
INLET PROTECTION	Inlet protection symbol	Inlet protection symbol
TREE PROTECTION FENCE	Tree protection fence symbol	Tree protection fence symbol

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



CADD USER: Benjamin Lucas, File: C:\Users\BENJAMIN.LUCAS\Documents\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTAIN DEAN ARCHITECT - EROS DWS PLOT SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM

EDEN PRAIRIE RD.

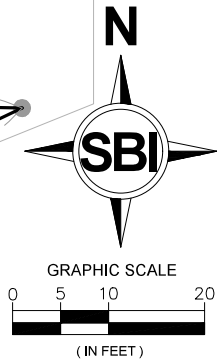
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



L=50.05
R=946.71

SIGN POST
A

WOOD FENCE

S 88°51'01" E

207.86

LINE OF
O. 1081

N 02°03'51" E
127.49

GARAGE FLOOR
ELEV.=927.4

ENTRANCE
ELEV.=927.9

WALL MOUNT
A

PLANTER BOX

290.08
N 64°47'26" E

VERNON AVE.

OVERHEAD UTILITY LINES

- 1 KEYNOTES**
1. BITUMINOUS PAVEMENT - NORMAL DUTY (SEE DETAIL 1/C900)
 2. BITUMINOUS PAVEMENT - 2" MILL/OVERLAY (SEE DETAIL 4/C900)
 3. CONCRETE SIDEWALK (SEE DETAIL 2/C900)
 4. INTEGRAL CONCRETE SIDEWALK (SEE DETAIL 3/C900)
 5. CONCRETE PATIO (SEE ARCHITECTURAL PLANS)
 6. CONCRETE PAVERS (SEE ARCHITECTURAL PLANS)
 7. INTEGRAL CURB (SEE DETAIL 3/C900)
 8. FLUSH CONCRETE CURB (SEE GRADING PLAN)
 9. TRANSITION FROM FLUSH CONCRETE CURB TO 6" CURB (SEE GRADING PLAN)
 10. ACCESSIBLE STALL STRIPING (SEE DETAIL 7/C900)
 11. ACCESSIBLE RAMP (SEE GRADING PLAN)
 12. 4" HIGH VISIBILITY SOLID WHITE PAINT
 13. X' TALL, CEDAR FENCE (SEE ARCHITECTURAL PLANS)
 14. LANDSCAPE AREA (SEE LANDSCAPE PLANS)
 15. RAIN GARDEN (SEE GRADING PLAN)
 16. TRASH ENCLOSURE WITH DUMPSTER (SEE ARCHITECTURAL PLANS)

SITE DATA

ZONING:

LOT AREA: 16,584 sf

EXISTING IMPERVIOUS AREA: 13,941 sf
PROPOSED NEW IMPERVIOUS AREA: 15,181 sf
NET IMPERVIOUS CREATED: 1,240 sf (9% INCREASE)

BUILDING FOOTPRINT AREA: 2,350 SF
BUILDING HEIGHT PROPOSED: SEE ARCH. PLANS

DISTURBED AREA: 7,120 SF
EXISTING IMPERVIOUS DISTURBED: 3,893 SF (28% DISTURBED)

PROPOSED PARKING SPACES:
9' X 18.5' ADA
PROVIDED: 26 SPACES
2 SPACES
28 SPACES

BUILDING SETBACK REQUIREMENTS:
FRONT YARD SETBACK (SOUTH) 20 FEET
SIDE YARD SETBACK (EAST & WEST) 20 FEET
REAR YARD SETBACK (NORTH) 20 FEET

PARKING SETBACK REQUIREMENTS:
FRONT YARD SETBACK (SOUTH) 20 FEET
SIDE YARD SETBACK (EAST & WEST) 10 FEET
REAR YARD SETBACK (NORTH) 10 FEET

- A SIGN SCHEDULE (PER MN MUTCD)**
- A. HANDICAP PARKING SIGN R7-8M (12" X 18")

NOTES

1. CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	LoD	---
CURB & GUTTER	LoD	---
SOIL BORINGS	LoD	---
FENCE	X	X
SIGN	X	X
LIGHT POLE	X	X
PARKING STALL COUNT	X	X
ADA PAVEMENT MARKING	LoD	---
2" BITUMINOUS MILL/OVERLAY	LoD	---
STANDARD DUTY BITUMINOUS	LoD	---
CONCRETE SIDEWALK	LoD	---
CONCRETE PAVING	LoD	---
CONCRETE PATIO	LoD	---
CONCRETE PAVERS	LoD	---

STATE LAW: 48 HOURS BEFORE EXCAVATING OR
DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION
OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES
UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN
IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL
UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED
BEFORE COMMENCING WORK.



Know what's below.
Call before you dig.

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

CIVIL SITE PLAN

SOLUTION BLUE PROJECT NO: 220609

C300

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

EDEN PRAIRIE RD.

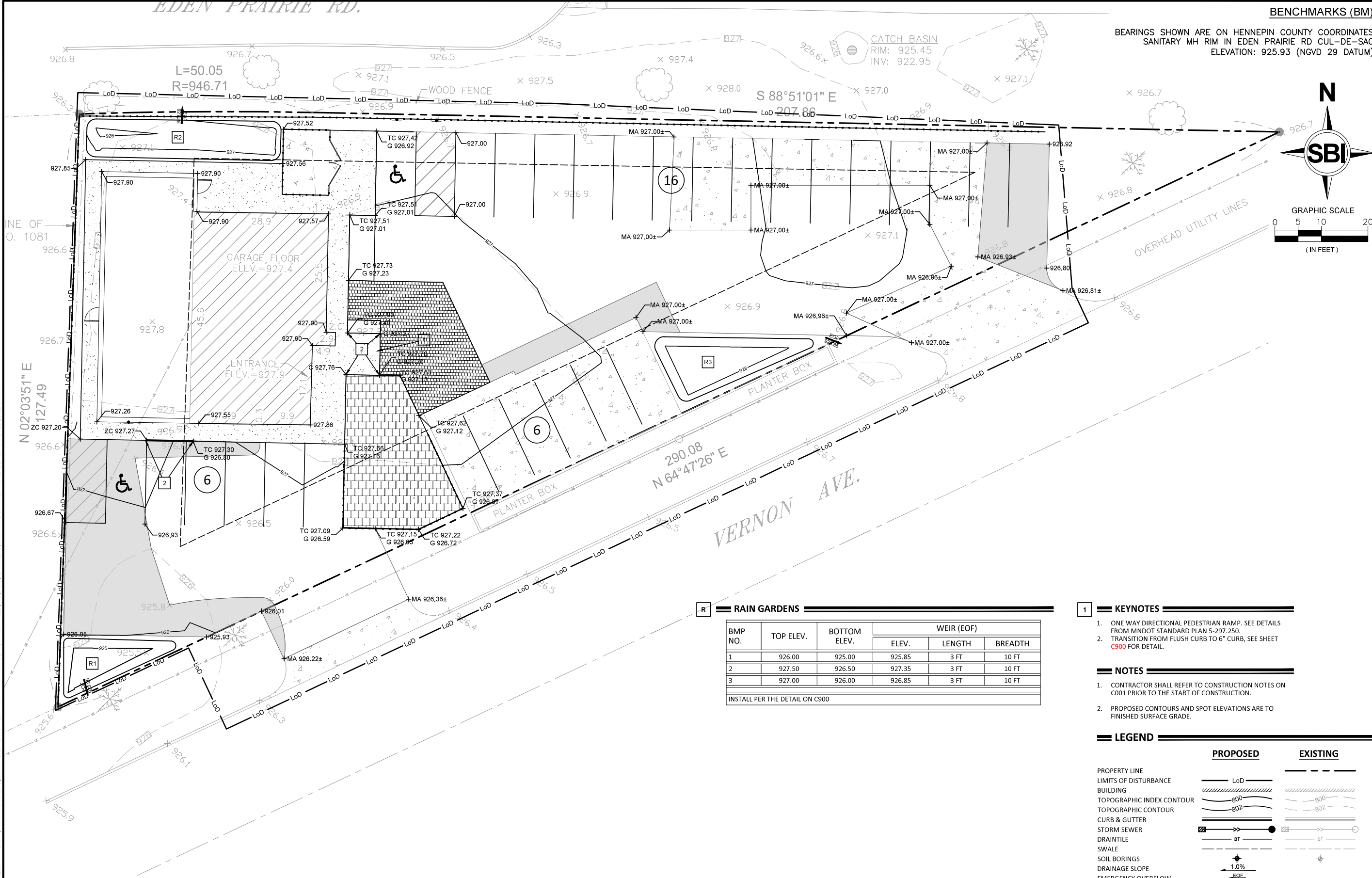
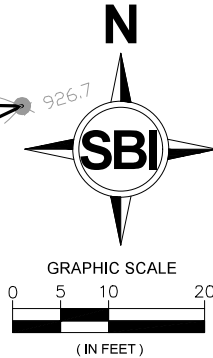
BENCHMARKS (BM)

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)



CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN



RAIN GARDENS

BMP NO.	TOP ELEV.	BOTTOM ELEV.	WEIR (EOF)		
			ELEV.	LENGTH	BREADTH
1	926.00	925.00	925.85	3 FT	10 FT
2	927.50	926.50	927.35	3 FT	10 FT
3	927.00	926.00	926.85	3 FT	10 FT

INSTALL PER THE DETAIL ON C900

KEYNOTES

- ONE WAY DIRECTIONAL PEDESTRIAN RAMP. SEE DETAILS FROM MNDOT STANDARD PLAN 5-297.250.
- TRANSITION FROM FLUSH CURB TO 6" CURB, SEE SHEET C900 FOR DETAIL.

NOTES

- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE TO FINISHED SURFACE GRADE.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	LoD	---
BUILDING	LoD	---
TOPOGRAPHIC INDEX CONTOUR	800	800
TOPOGRAPHIC CONTOUR	802	802
CURB & GUTTER	LoD	---
STORM SEWER	LoD	---
DRAINTILE	LoD	---
SWALE	LoD	---
SOIL BORINGS	LoD	---
DRAINAGE SLOPE	LoD	---
EMERGENCY OVERFLOW	LoD	---
FLARED END SECTION	LoD	---
RIP RAP	LoD	---
GUTTER OUT CURB	LoD	---
SPOT ELEVATION	LoD	---
TOP OF CURB	LoD	---
GUTTER	LoD	---
ZERO CURB	LoD	---
MATCH EXISTING	LoD	---
CONCRETE	LoD	---

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



Know what's below.
Call before you dig.

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

GRADING & DRAINAGE PLAN

SOLUTION BLUE PROJECT NO: 220609

C400

EDEN PRAIRIE RD.

BENCHMARKS (BM)

CATCH BASIN
RIM: 925.45
INV: 922.95

BEARINGS SHOWN ARE ON HENNEPIN COUNTY COORDINATES
SANITARY MH RIM IN EDEN PRAIRIE RD CUL-DE-SAC
ELEVATION: 925.93 (NGVD 29 DATUM)

SolutionBlue

water matters

6110 Blue Circle Dr, Suite 230
Minnetonka, MN 55343

651-294-0038
www.SolutionBlue.com

CHRISTAIN DEAN
ARCHITECTURE
MINNEAPOLIS, MN

WESTSIDE CAFE
6016 VERNON AVE EDINA, MN

SUMMARY
DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY		
#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.


BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

UTILITY PLAN
SOLUTION BLUE PROJECT NO: 220609

C500

COPYRIGHT © 2022 BY SOLUTION BLUE INC. ALL RIGHTS RESERVED

LINE OF
O. 1081

N 02°03'51" E
127.49

RAIN GARDEN, SEE SHEET C400

L=50.05
R=946.71

WOOD FENCE

S 88°51'01" E

207.86

RAIN GARDEN, SEE SHEET C400

GARAGE FLOOR
ELEV.=927.4

ENTRANCE
ELEV.=927.9

290.08
N 64°47'26" E

VERNON AVE.

RAIN GARDEN, SEE SHEET C400

PLANTER BOX

PLANTER BOX

OVERHEAD UTILITY LINES

GRAPHIC SCALE
0 5 10 20
(IN FEET)

NOTES

- EXISTING SERVICES WILL REMAIN IN PLACE EXTERIOR TO BUILDING. REFER TO ARCHITECTURAL & MECHANICAL PLANS FOR INTERIOR IMPROVEMENTS TO SANITARY AND WATER SERVICES.
- CONTRACTOR SHALL REFER TO CONSTRUCTION NOTES ON C001 PRIOR TO THE START OF CONSTRUCTION.

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	LoD	---
LIMITS OF DISTURBANCE	=====	=====
BUILDING	=====	=====
CURB & GUTTER	=====	=====
STORM SEWER	=====	=====
SANITARY SEWER	=====	=====
WATERMAIN	=====	=====
DRAINTILE	=====	=====
GAS LINE	=====	=====
OVERHEAD ELECTRICAL	=====	=====
UNDERGROUND ELECTRICAL	=====	=====
TELEPHONE	=====	=====
SWALE	=====	=====
SOIL BORINGS	=====	=====
LIGHT POLE	=====	=====

STATE LAW: 48 HOURS BEFORE EXCAVATING OR DEMOLISHING BUILDINGS, CALL 811 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES. THIS SERVICE LOCATES UTILITY OWNED LINES BUT NOT PRIVATE LINES.

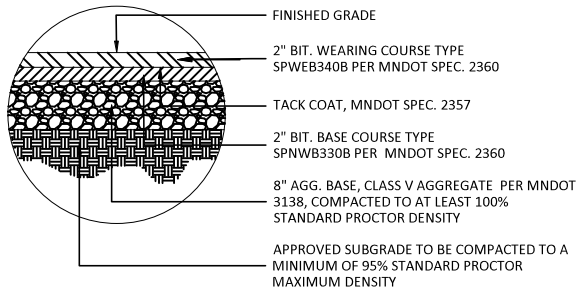
THE LOCATIONS OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE EXACT LOCATION OF ALL UTILITIES (PUBLIC AND PRIVATE) MUST BE DETERMINED BEFORE COMMENCING WORK.



Know what's below.
Call before you dig.

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECTURE - CADD\DWG\PLAN SHEETS\C500 - UTILITY PLAN SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM

CADD USER: Benjamin Lucas FILE: C:\USERS\BENJAMIN LUCAS\PROJECTS\220609 - 6016 VERNON RESTAURANT - CHRISTIAN DEAN ARCHITECT - DETAILING PLAN SHEETS\C900 - DETAILING PLAN SCALE: 1:1 PLOT DATE: 7/26/2022 3:36 PM



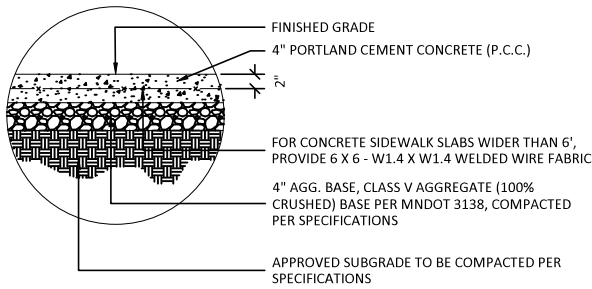
NORMAL DUTY

1
C900

TYPICAL BITUMINOUS PAVEMENT SECTIONS

NOT TO SCALE

SITE 01: 4/22



NOTES:

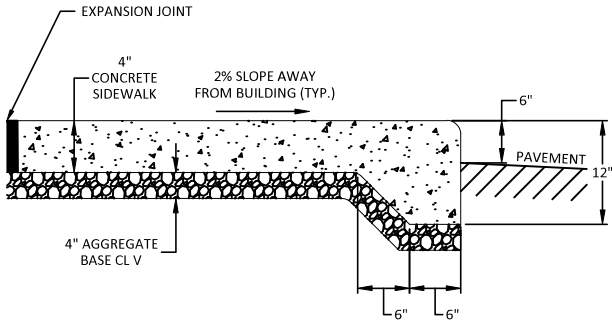
1. REFER TO MnDOT SPECIFICATION 2521 FOR SIDEWALK CONSTRUCTION.
2. SIDEWALKS TO HAVE 2% MAXIMUM CROSS SLOPE UNLESS INDICATED OTHERWISE.
3. CONTRACTION JOINTS AT 5' SPACING, EXPANSION JOINTS EVERY 60' OR LESS.

2
C900

TYPICAL CONCRETE SIDEWALK SECTION

NOT TO SCALE

SITE 06: 4/22

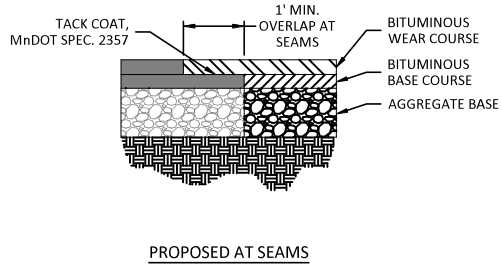
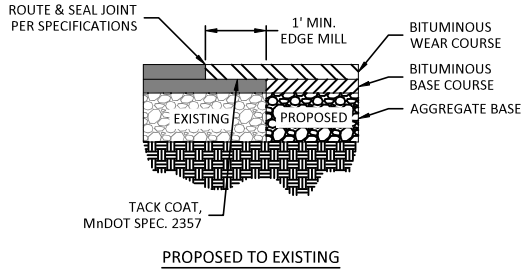


3
C900

SIDEWALK SECTION WITH INTEGRAL CURB

NOT TO SCALE

SITE 10: 4/22

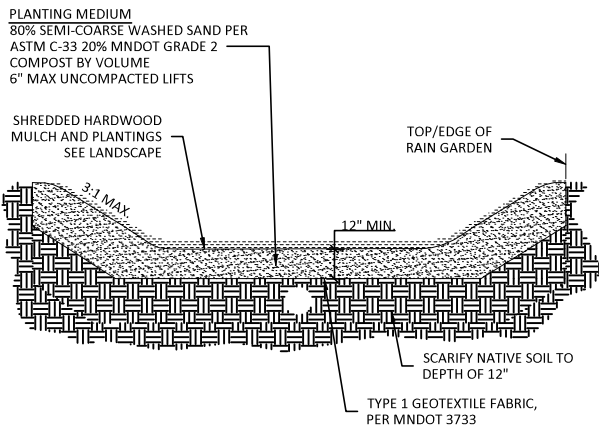


4
C900

BITUMINOUS PAVING TRANSITION

NOT TO SCALE

SITE 43: 4/22



CROSS SECTION

NOTES:

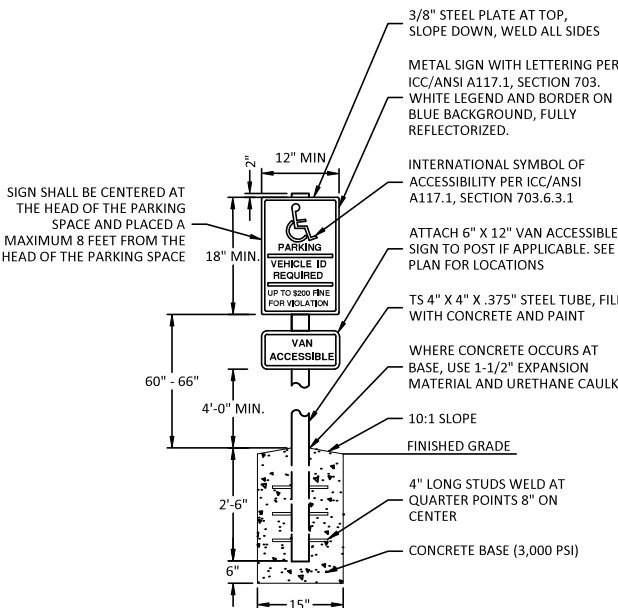
1. DO NOT ALLOW CONSTRUCTION TRAFFIC OR COMPACT SOIL WITHIN BASINS
2. RAIN GARDEN AREA MAY ONLY BE EXCAVATED TO ITS BASE AFTER THE CONTRIBUTING WATERSHED IS STABLE
3. THE FINAL GRADING OF THE RAIN GARDEN SHOULD FOLLOW THIS DETAIL WITH UNDULATIONS IN THE BOTTOM OF THE BMP. IT SHOULD NOT BE GRADED FLAT. THIS WILL INCREASE THE CHANCES OF ADEQUATE VEGETATION TAKING HOLD IN WET CONDITIONS.
4. PROVIDE 12" NATIVE SOIL LOOSENING AS DIRECTED BY ENGINEER

5
C900

RAIN GARDEN CROSS SECTION

NOT TO SCALE

GRAD 10: 4/22



NOTES:

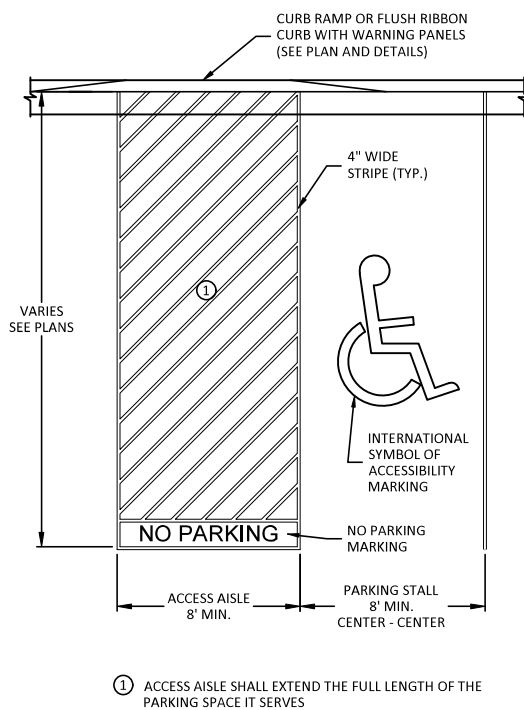
1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH ALL CURRENT STATE AND LOCAL CODES AND REGULATIONS

6
C900

ACCESSIBLE SIGN AND STEEL POST

NOT TO SCALE

ADA 05: 4/22

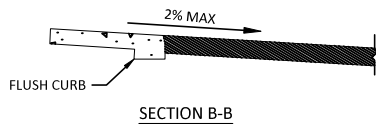
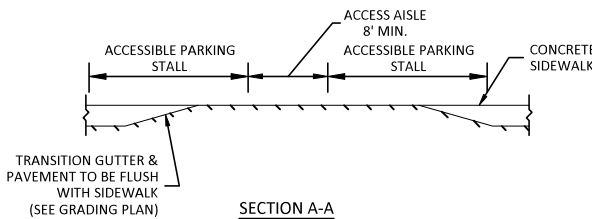
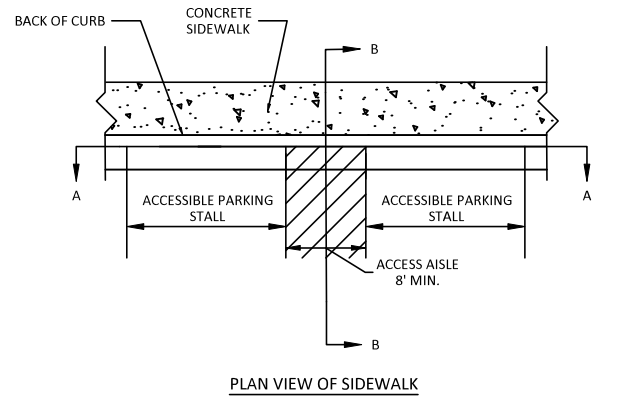


7
C900

ACCESSIBILITY PARKING PAVEMENT MARKINGS

NOT TO SCALE

ADA 11: 4/22



8
C900

SIDEWALK WITH ZERO CURB

NOT TO SCALE

ADA 13A: 4/22

SUMMARY

DESIGNED: BJL DRAWN: BJL
REVIEWED: BJL
PHASE: PRELIM INITIAL ISSUE: 7-22-22

REVISION HISTORY

#	DATE	DESCRIPTION
01	07/22/22	PRELIMINARY SUBMITTAL - NFC

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Benjamin Lucas
BENJAMIN LUCAS, P.E.

DATE: 7-22-22 REG. NO. 54265

DETAILS

SOLUTION BLUE PROJECT NO: 220609

C900





PERSPECTIVE FROM PARKING LOT (EAST)

6016 VERNON AVE









