

**Agenda**  
**Planning Commission**  
**City Of Edina, Minnesota**  
**City Hall, Council Chambers**

**Wednesday, June 29, 2022**  
**7:00 PM**

**Participate in Public Hearing(s).**  
**Call 888-504-7949.**

**Enter Participant Passcode 714934.**

**Press \*1 on your telephone keypad when you would like to get in the queue to speak.**  
**An operator will introduce you when it is your turn.**

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Special Recognitions And Presentations
  - A. Member Review & Work Plan Development Presentation
- V. Community Comment

*During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.*

- VI. Public Hearings
  - A. Variance: B-22-11, A .9 foot front yard setback variance for a front porch addition at 6116 Wilryan
  - B. PUBLIC HEARING: CUP for Countryside Elementary School at 5701 Benton Ave.
  - C. PUBLIC HEARING: CUP for Concord Elementary School at 5900 Concord Ave.
- VII. Reports/Recommendations
- VIII. Chair And Member Comments

IX. Staff Comments

X. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** June 29, 2022

**Agenda Item #:** IV.A.

**To:** Planning Commission

**Item Type:**

Other

**From:** MJ Lamon, Community Engagement Manager

**Item Activity:**

**Subject:** Member Review & Work Plan Development  
Presentation

Information

---

### **ACTION REQUESTED:**

None.

### **INTRODUCTION:**

MJ Lamon, Community Engagement Manager, to give presentation.

### **ATTACHMENTS:**

Commission Annual Member Review

2023 CAP Menu Memo



# Commission Member Review 2022

MJ Lamon

Community Engagement Manager

Updated 2022.05.23

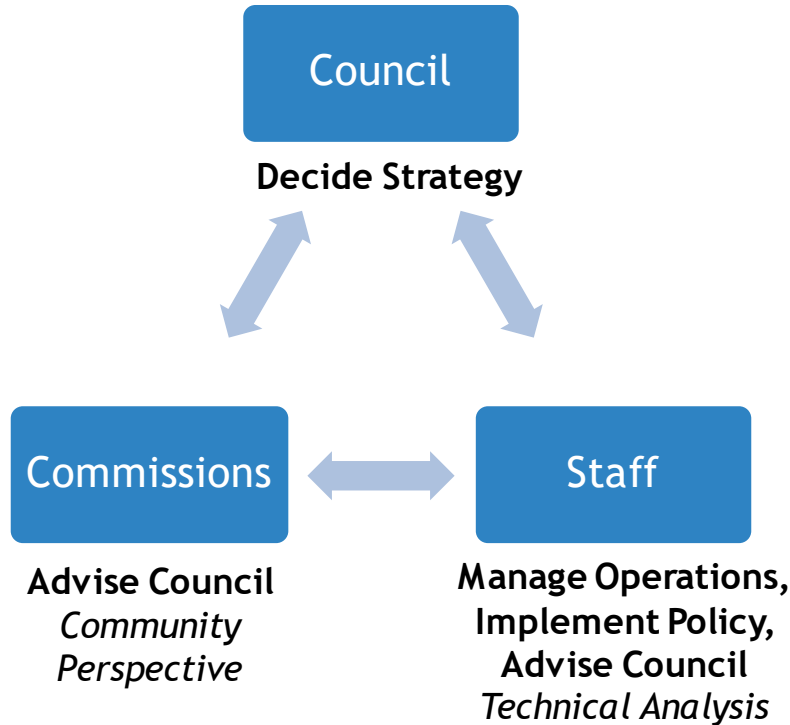
# Agenda

## ▶ Work Plan Development

- Citywide Work Plans
- Calendar
- Roles
- Sub-committee & working groups
- Template
- Field Descriptions



# Supporting Council



## Council

- Make policy-level decisions
- Hire & supervise City Manager
- Approve
  - Budget and related work plan
  - Ordinances and policy decisions
  - Development proposals
  - Variances and rezoning requests
- Appoint advisory boards and commissions

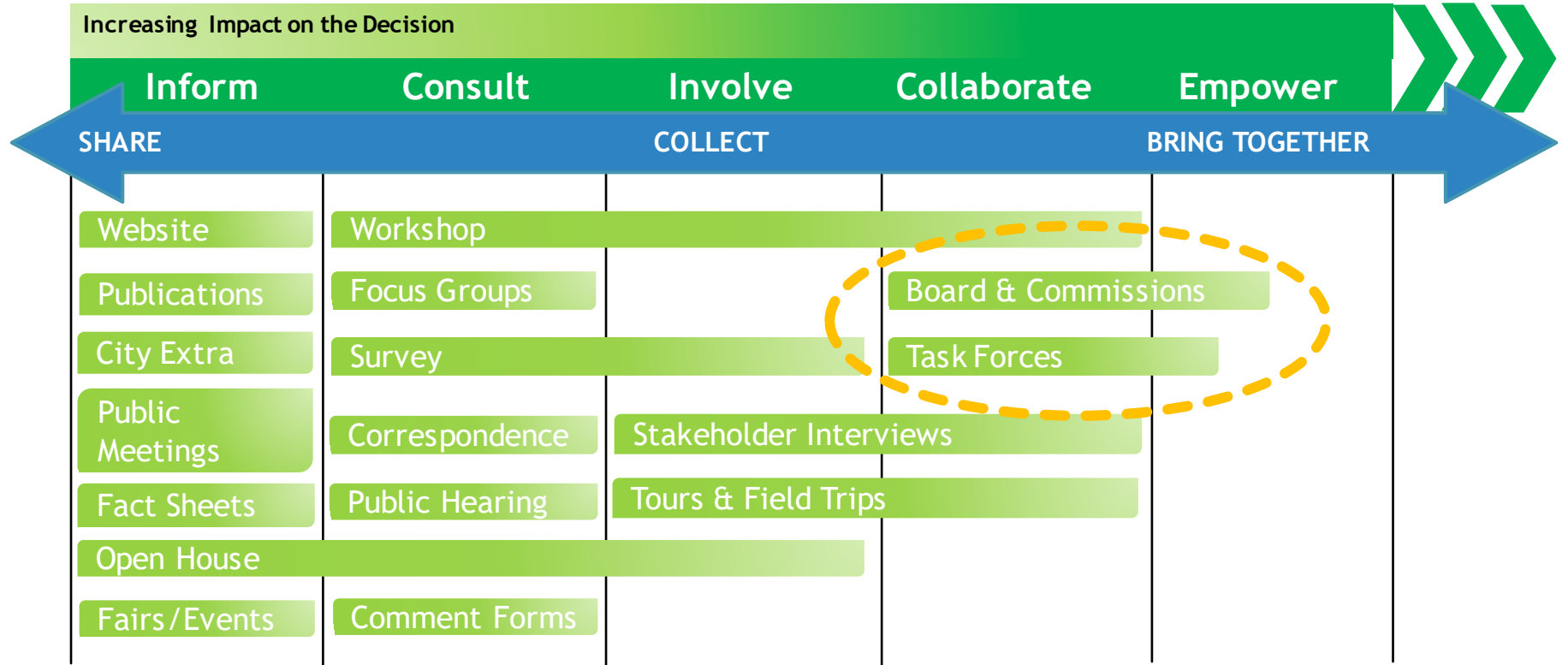
## Staff

- Provide best efforts and technical advice to Council
- Manage operations and staff
- Propose budget and policies
- Carry out Council decisions
- Deliver services
- Equitably enforce codes and policies

## Advisory Boards, Commission & Task Forces

- Provide community perspective on values and needs
- Propose work plan items
- Advise the council through work plan charges
- Hold hearings as directed by Council
- Assist as directed in work plan with engagement efforts

# Technique Examples on the Spectrum



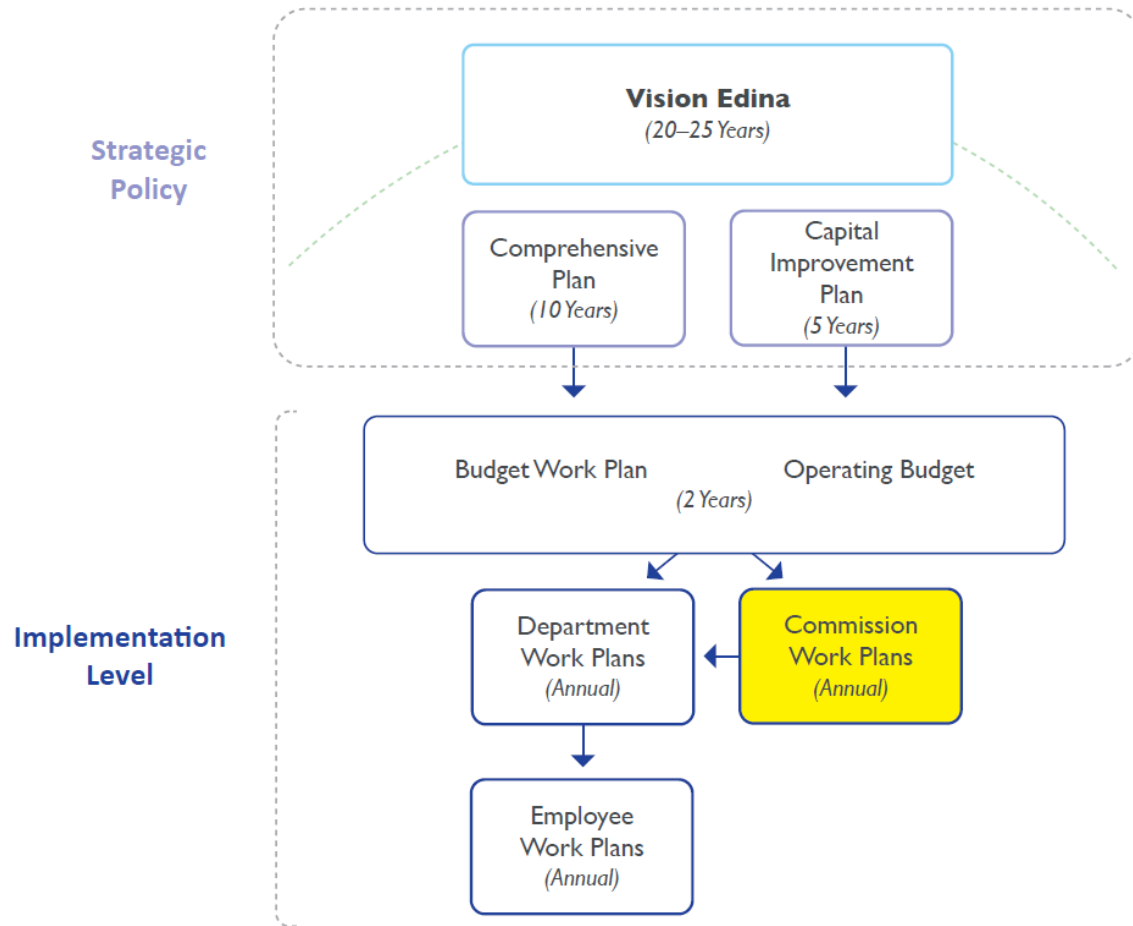
	Commission	Subcommittee	Working Group	Task Force
Tenure	Ongoing	Temporary	Temporary	Temporary
Members	Residents	Commission members only	Commission + Public members	As defined
Scope	Work Plan	Work Plan Item	Work Plan Item	Task Force Charge
OML	Required	Not required	Not required	Not required
Staff Support	Yes	No	Not typically	Yes
Reports To	Council	Commission	Commission	Council or City Manager



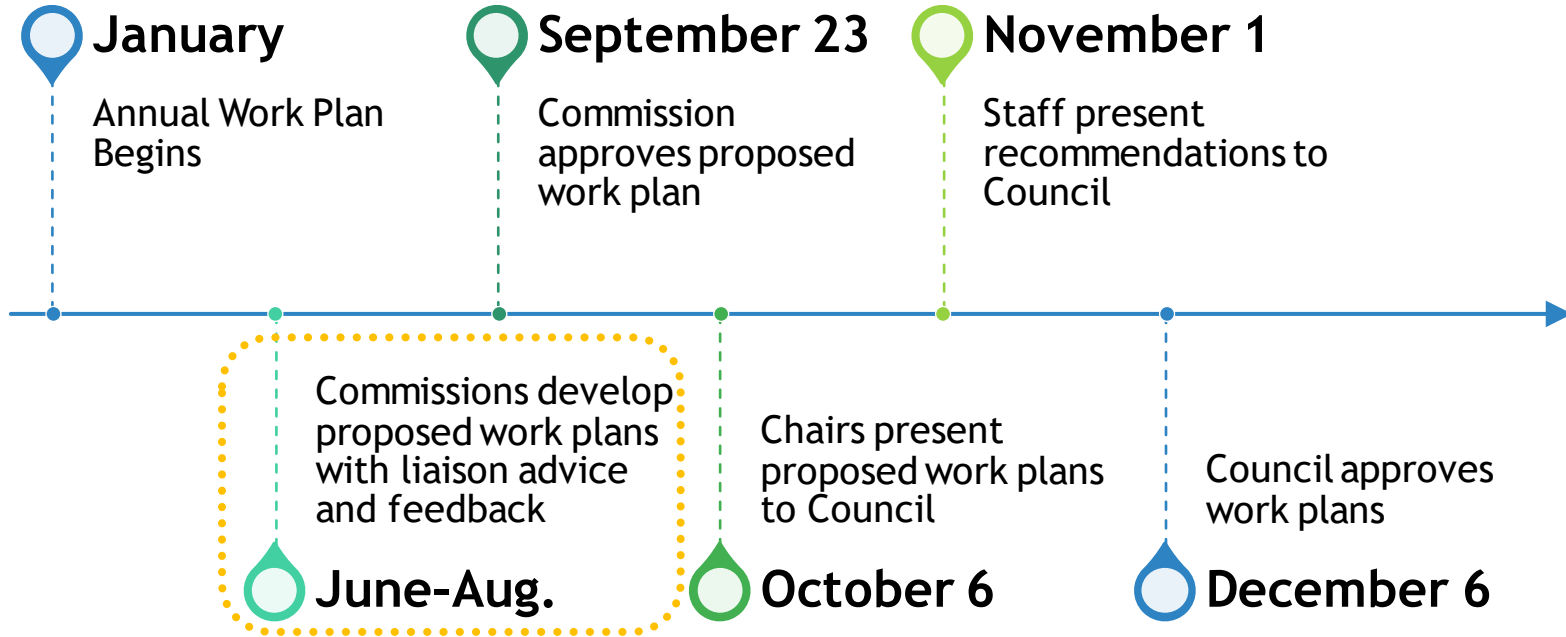
# Key Roles

CHAIR	STAFF LIAISON
<ul style="list-style-type: none"><li>• Work with liaison to prepare agenda</li><li>• Lead meetings and facilitate discussion</li><li>• Facilitate development of the annual work plan and provide progress updates</li><li>• Encourage member participation</li><li>• Manage areas of conflict</li></ul>	<ul style="list-style-type: none"><li>• Prepare agenda and meeting materials</li><li>• Provide official notice of meetings</li><li>• Record &amp; prepare minutes.</li><li>• Maintain BC official records</li><li>• Provide technical expertise and access to City staff and resources</li><li>• Relay information to council</li></ul>

# Work Plans



# Commission Work Plan Calendar



# Roles

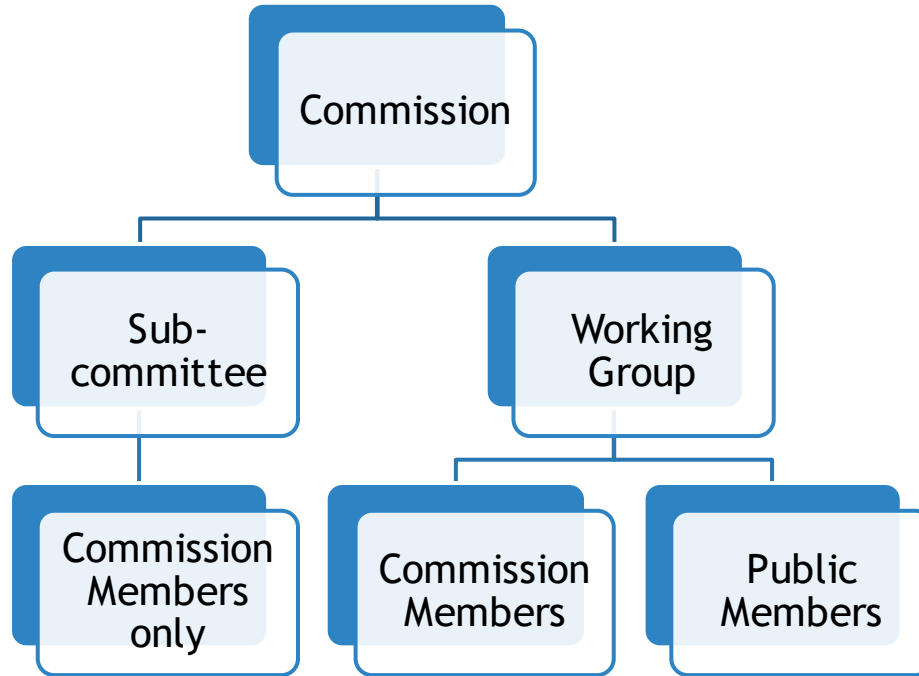
## Commission Chair

- Lead work plan development
- Make sure work plan is not overloaded
- Ensure there is a “lead(s)” to each initiative
- Present proposed work plan to City Council

## Staff Liaison

- Provide technical expertise, recommendations and advice to the commission
- Provide clear recommendations to City Management and/or Council to consider
- Ensure work plan template fields are completed

# Committees & Working Groups



## Considerations:

- Quorum
- Student members



**Commission:** Choose an item.  
**2023 Annual Work Plan Proposal**



Initiative #				Initiative Type <input type="checkbox"/> Project <input type="checkbox"/> Ongoing / Annual <input type="checkbox"/> Event			
Council Charge <input type="checkbox"/> 1 (Study & Report) <input type="checkbox"/> 2 (Review & Comment) <input type="checkbox"/> 3 (Review & Recommend) <input type="checkbox"/> 4 (Review & Decide)							
Initiative Title		Deliverable		Leads		Target Completion Date	
				Sub-Committee or Working Group			
Budget Required: (Completed by staff) Are there funds available for this project? If there are not funds available, explain the impact of Council approving this initiative.							
Staff Support Required (Completed by staff): How many hours of support by the staff liaison? Communications / marketing support?							
Liaison Comments:							
City Manager Comments:							
Progress Q1:							
Progress Q2:							
Progress Q3:							
Progress Q4:							

**Parking Lot:** (These items have been considered by the BC, but not proposed as part of this year's work plan. If the BC decides they would like to work on them in the current year, it would need to be approved by Council.)


## **Title**

Be clear and provide detail

## **Deliverable**

What exactly will be the product / result of your initiative

## **Budget**

Staff determines if funds are available, commission collectively decides to available funds

## **Liaison Comments**

Liaisons will provide you technical advice and feedback

**\*Don't leave white fields blank**

## **Leads**

Signify who is working on the item, working group?

## **Target Completion**

Be realistic, impacts to supporting departments

## **Partner Projects**

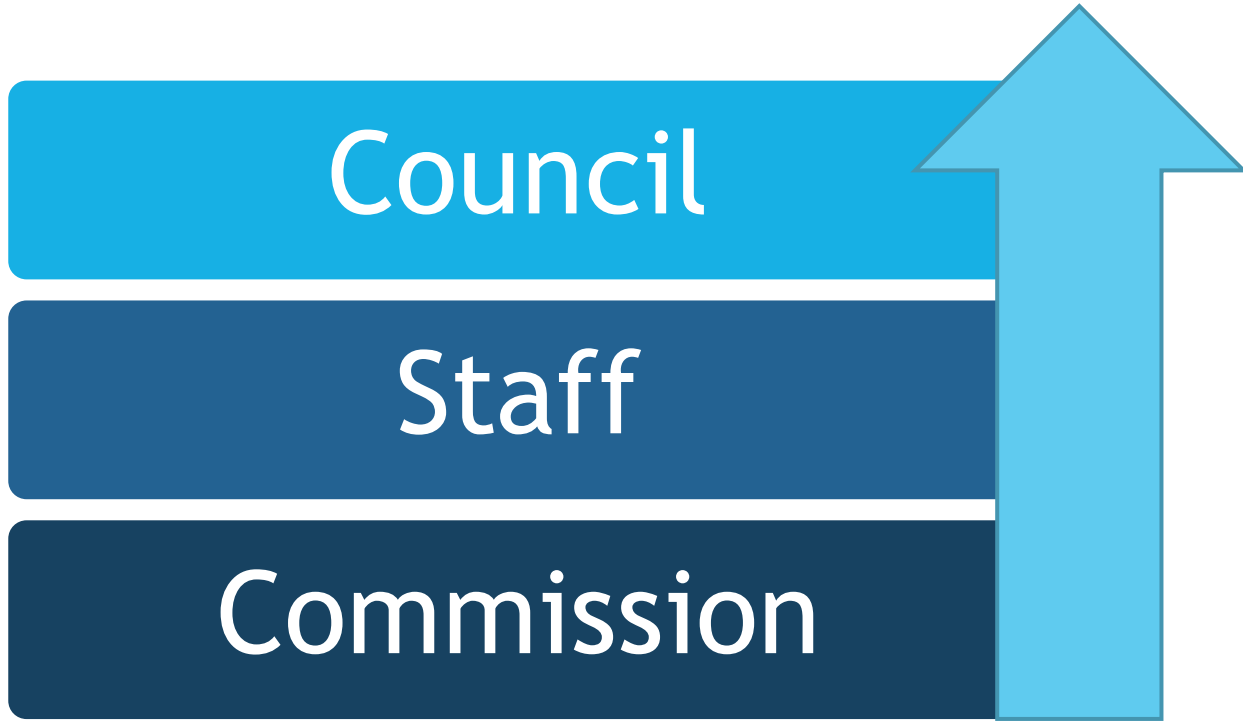
Cross commission initiatives, liaisons communicate partner requests

## **Progress Reports**

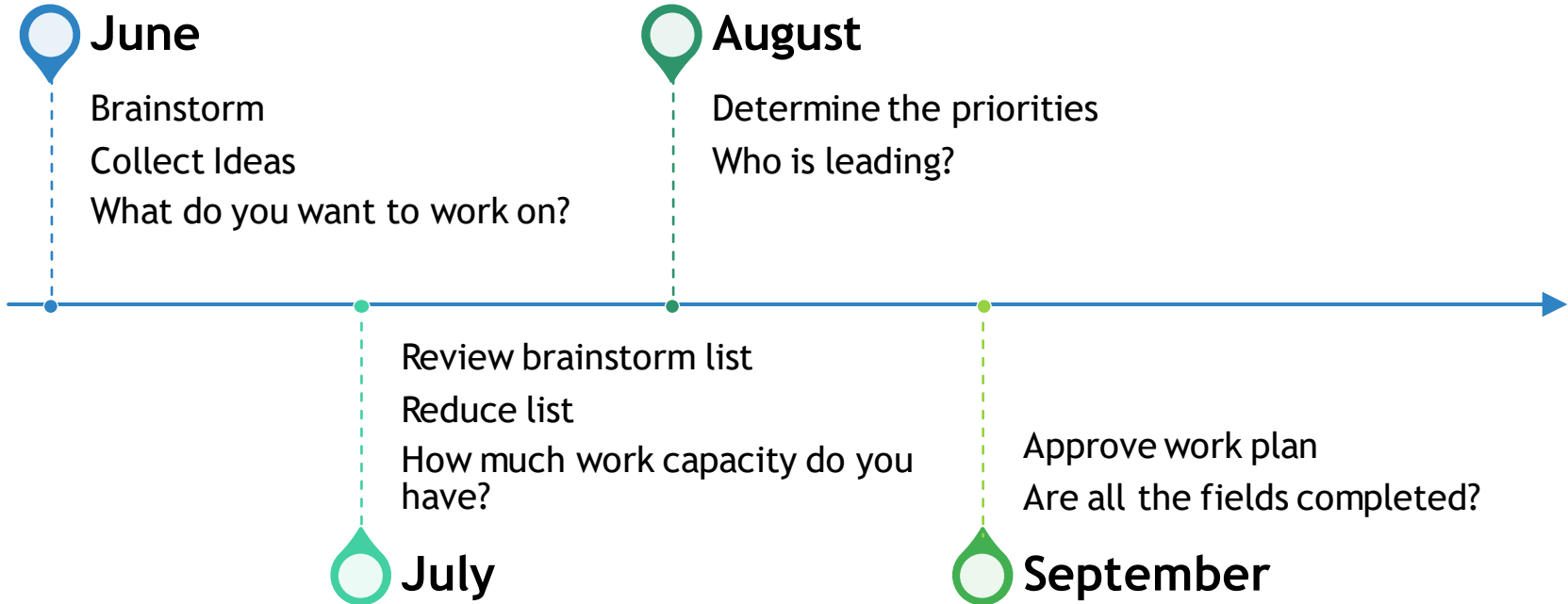
Complete quarterly & always before joint meeting



# Commission Up



# Steps to Develop your work plan!



# Climate Action Plan (2023)

- Review Climate Action Menu
- Consider including one Climate Action to 2023 work plan
- For questions, contact EEC Chair

# Questions?

**Department Name**

Phone 952-927-8861 • Fax 952-826-0390 • EdinaMN.gov



**Date:** 06/01/2022  
**To:** Edina Boards and Commissions  
**From:** Grace Hancock, Sustainability Manager  
**Subject:** Edina Commission Climate Action Menu: 2023 Work Plan options  
**Attachment:** 2023 Commission Climate Action Menu

**Background:** The City's first [Climate Action Plan](#) (CAP) was approved at the end of 2021 with 36 strategies supported by 200 actions. The CAP identifies the City's GHG emission reduction target of 45% below 2019 levels by 2030 and achieve net zero emissions by 2050. The CAP's goal is to help those who live and work in Edina imagine and achieve a future where the Earth and all who live on it thrive.

For more information, the Climate Action Plan was the subject of a 2021 Town Talk, viewable here: [https://www.bettertogetheredina.org/town-talks/forum\\_topics/sustainability-climate-action-plan](https://www.bettertogetheredina.org/town-talks/forum_topics/sustainability-climate-action-plan)

In 2022, City staff kicked off the implementation of the CAP, undertaking ~60 actions, along with a few actions led by Commissions. With feedback from the Energy and Environment Commission, the Sustainability Division has informed City Council that it will ask that each Commission consider adding a Climate Action to its 2023 work plan.

Attached is a refined list of Climate Actions that are suitable for Commission leadership. Some have been identified as especially suitable for certain Commissions, but all are available for all Commissions to consider for their 2023 work plan. These actions were chosen based on the nature of Commission work – resident volunteers who advise Council based on their Commission Charge. The intent for any Climate Action undertaken by a Commission is to study the issue and identify what's possible for Council to consider as next steps. It is not expected that Commissions accomplish the Action within one year, rather it is hoped that Commissions can lend their resident perspective and expertise to make meaningful contributions to the progress of any action they choose to undertake.

**Action Requested:** Commissions should discuss the Climate Action Menu as part of their 2023 work plan development process. Commissions should consider including one Climate Action in their 2023 work plan, and be prepared to mention how their work aligns with the Climate Action Plan when presenting to City Council. For clarifying questions related to any Climate Actions, Commission Chairs should contact the EEC Chair and/or Vice Chair.

EEC Chair: Hilda Martinez, [hildakimx99@gmail.com](mailto:hildakimx99@gmail.com)  
EEC Vice Chair: Michelle Horan, [mhoran00@gmail.com](mailto:mhoran00@gmail.com)

## Edina Commission Climate Action Menu: 2023 Work Plan options

Strategy	Action	Potential Commission Work Plan
Buildings & Energy 1-5	Partner with local organizations and businesses to educate the public and promote the adoption of energy efficiency habits like purchasing high-efficiency equipment, turning the lights off in unused spaces and at night, having efficient indoor temperature control, and promote home energy audits among their staff and students.	
BE 1-7	Create a welcome packet for new businesses and residents, which will provide information on all the energy efficiency improvement resources and opportunities.	
BE 1-13	Establish a performance ratings/labeling program for all homes listed for sale or rent so that owners, tenants and prospective buyers can make informed decisions about energy costs and carbon emissions. Rating program to require Energy Audit/Energy Efficiency Program participation.	EEC
BE 4-2	Partner with institutions and businesses within Edina to secure commitments to reduce operational greenhouse gas emissions in line with the goals of this Climate Action Plan, achieving carbon neutrality by 2050.	
BE 4-5	Create an educational program to inform residential and commercial properties about renewable energy opportunities including technologies that eliminate on-site fossil fuel use.	
Economic Development CE 1-4	Promote Edina as an environmentally friendly destination by highlighting the businesses that are taking steps to reduce resource consumption (Green Business Recognition program).	EEC
Greenspace GS 1-4	Update City's Landscape ordinance to include a minimum tree coverage per lawn area or per impervious surface coverage for all new construction or expansion projects. Explore options for decrease of turf grass/lawn coverage and increase of wildflower/prairie grass coverage requirements.	
GS 1-7	Prioritize planting and preservation of native species of plants and trees and species of plants and trees adaptive to climate change on public and private property through education, incentives and other promotional programs. <i>Ensure that landscaping requirements articulated in the zoning code include the preservation of the maximum possible number of existing trees, the use of native plantings and the preservation of natural areas whenever possible.</i>	
GS 2-2	Remove and ease lawn/grass requirements in ordinances.	
GS 2-6	Establish a policy to require the use of native plants in landscaping at City-owned properties. Continue natural vegetation conversion for passive park areas. Add 110 Acres of native plant and pollinator restoration area on City Property by 2040.	EEC
GS 2-7	Establish a policy and identify, create, and promote incentives to assist homeowners and households with low incomes by covering some of the cost of converting traditional lawns by planting pollinator friendly food gardens, permaculture, wildflowers, clover or native grasses in an effort to slow the collapse of the state's bee population.	
GS 2-8	Develop educational and informational resources providing information on benefits of and strategies for reduced and repurposed lawn space including: native plantings, "carbon gardening" strategies for ornamental gardens, and produce gardens, tree profile rebuilding, elimination of synthetic fertilizer and pesticide use, high mow deck settings, use of biochar amendments, polyculture lawn mixture and other beneficial greenspace practices included in this CAP.	
Environmental Health HS 2-2	Add climate preparedness elements to public health programs already aimed at vulnerable populations and low-income households and dedicate increased funding to accommodate demand for public health services among at-risk populations.	CHC
HS 4-3	Support, leverage create relationships with, and enhance community networks and connections for those who require special attention, such as people who are elderly, homebound, disabled, isolated, or those likely to be in need of financial assistance during or after extreme weather events (heat, cold and heavy precipitation).	CHC
Local Food LF 1-2	Support existing school and community gardens and provide opportunities to expand community growing spaces with a focus on locating garden infrastructure to serve youth, immigrant, and people with lower incomes or who are experiencing food insecurity. Community growing and garden spaces may include use of park space, unused city owned space, or public right of way/boulevard areas. Program should prioritize conversion of impervious spaces to garden space and preservation/increase of overall green space benefit. Provide on-going promotion, communication, and education of the sites and opportunities including appropriate translated and accessible content.	
LF 1-4	Incentivize and reward soil best management practice for urban lawns, gardens, landscaping, parks, open spaces, prairies, environmentally sensitive areas, and agricultural land uses.	EEC
LF 4-2	Establish an Green Business Refrigeration upgrade cost sharing incentive program providing a 25% matching grant for qualified buildings and applicants to switch to green refrigeration practices.	EEC
Transportation & Land Use TL 3-2	Eliminate parking minimums to reduce surface parking and institute new parking pricing models to maintain 85% utilization (performance-based parking, off-street parking tax, dynamic pricing, etc.)	PC/ETC
TL 3-7	Allow and encourage the construction of accessory dwelling units ("ADU") to increase rental opportunities in both established neighborhoods and new development. This will add additional housing options for the City's workforce, seniors, families with changing needs, and others for whom ADUs present an affordable housing option.	PC
TL 4-5	Develop incentive and educational programs to transition lawn care companies and homeowners from using fuel-burning lawn equipment (e.g., lawn mowers, blowers) to electric.	EEC
TL 1-5	Establish a branded communications campaign to promote increased alternative transportation use, with a particular focus on short distance trips (ie <2 miles) including school and other daily commutes.	ETC
Waste WM 1-2	Support collaborative consumption community projects, such as neighborhood compost projects, tool libraries, and repair cafes through mini-grant programs.	
WM 2-3	Conduct an organics waste collection pilot project with a sample of City businesses to test the interest, methodology, and amount of commercial food waste that would need to be accommodated by a commercial organics collection program. Explore possible incentives for food retailers, restaurants, and institutions to participate in food waste reuse and recycling programs.	
WM 3-2	Explore a requirement that all waste be recycled or salvaged at large construction sites.	
WM 4-5	Promote and partner to support a Fix It Fair at the Library and create a resource list for reuse.	
W 1-3	Facilitate reduction of water use by top customers annually through an opt-in water reduction program targeting water reduction goals of 20% or more per site. Offer free technical resources to large institutions and businesses to identify specific opportunities for employees or customers to conserve water and incorporate water efficiency into internal operations. Program can be coordinated with the City's Waste Audit and Diversion Assistance program. Goal: 30 business water use audits completed annually with customers engaged in measuring and reducing water consumption.	
W 1-6	Conduct a Water Conservation "challenge" campaign ask participants to reduce water consumption through water use behavior change strategies, irrigation system utilization, and replacement of fixtures like shower heads with WaterSense certified fixtures.	
WM 1-3	Explore options for waste hauling improvements supporting CAP goal achievement, including modifications to City's existing licensure process and requirements as well as organized waste hauling strategies.	



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** June 29, 2022

**Agenda Item #:** VI.A.

**To:** Planning Commission

**Item Type:**  
Report and Recommendation

**From:** Kris Aaker, Assistant Planner

**Item Activity:**

**Subject:** Variance: B-22-11, A .9 foot front yard setback  
variance for a front porch addition at 6116 Wilryan

Action

---

### **ACTION REQUESTED:**

Approve the variance request as submitted.

### **INTRODUCTION:**

A .9-foot variance to the 26.3 ft front yard setback requirement allowing a front porch addition at 6116 Wilryan Ave. So.

### **ATTACHMENTS:**

Staff Report

Engineering Memo

Narrative and Plans

Better Together Public Hearing Comment Report

Staff Presentation



**Date:** June 29, 2022

**To:** PLANNING COMMISSION

**From:** Kris Aaker, Assistant City Planner

**Subject:** B-22-11, a .9-foot, (10 & 3/4") front yard setback variance for front porch addition at 6116 Wilryan Ave.

## **Information / Background:**

The subject property, 6116 Wilryan, is approximately 9,645 square feet in area and is located on the west side of Wilryan Ave. The property consists of a two-story home with an attached two car garage. The proposed addition is a 96 square foot single story porch addition to the front of the home. The existing front yard setback is 29.4 feet from Wilryan Ave. The required front yard setback is determined by the average front yard setbacks of the properties located on either side of the subject lot which was established by the surveyor as 26.3 feet from Wilryan Ave. The proposed front yard setback after the porch addition would be 25.54 feet.

Except for the front yard setback, the proposed front porch addition meets all other zoning requirements.

## **Surrounding Land Uses**

Northerly: Single Unit residential homes zoned R-1 and guided low-density residential  
Easterly: Single Unit residential homes; zoned R-1 and guided low-density residential.  
Southerly: Single Unit residential homes; zoned R-1 and guided low-density residential.  
Westerly: Single Unit residential homes; zoned R-1 and guided low-density residential.

## **Existing Site Features**

There is an existing two-story home with an attached two car garage built in 1965. The existing house meets all setback requirements.

## **Planning**



Guide Plan designation: Low-Density Residential  
 Zoning: R-1, Single-Dwelling District

### Compliance Table

	City Standard	Proposed
North Side – yard	10 feet	16.8 feet (existing)
East Side – Front yard	26.3 feet	<b>25.4 feet*</b>
South – Side yard	10 feet	10.2 feet (existing)
West Side – Rear yard	25 feet	62.5 feet (existing)
Building Coverage	25%	20.79%

**\*Requires a variance**

## PRIMARY ISSUES & STAFF RECOMMENDATION

### Primary Issues

- Is the proposed variance justified?

**Minnesota Statutes and Section 36-98 of the Edina Zoning Ordinance require that the following conditions must be satisfied affirmatively. The proposed variance will:**

- 1. Relieve practical difficulties that prevent a reasonable use from complying with ordinance requirements.***

Reasonable use does not mean that the applicant must show the land cannot be put to any reasonable use without the variance. Rather, the applicant must show that there are practical difficulties in complying with the code and that the proposed use is reasonable. “Practical difficulties” may include functional and aesthetic concerns. The practical difficulty is caused by the location of the existing home.

The request is minor in scope and scale but will offer protection from the weather elements and allow functionality of the porch space and improve aesthetics of the front façade.

**2. *There are circumstances that are unique to the property, not common to every similarly zoned property, and that are not self-created?***

The requested variance is minimal in scope and scale and will help protect a front entry door from the weather and improve access of the existing home from the driveway. The applicant is trying to improve the existing structure with a future addition to the back of the home planned instead of tearing down and rebuilding.

**3. *Will the variance alter the essential character of the neighborhood?***

Granting the variance will not alter the character of the neighborhood. All other aspects of the home conform to the ordinance requirements. The porch is open and unenclosed with only a minor overlap into setback that is not perceivable from the street.

**Recommended Action:**

Approve a .9-foot front yard setback variance to the required front yard setback at 6116 Wilryan Ave.

Approval is subject to the following findings:

1. The proposed use is permitted in the R-1 zoning district.
2. The proposal meets the variance criteria. The practical difficulty is caused by the existing location of the home and the need for weather protection and comfortable accessibility to the front entry of the home.
3. The proposed addition is reasonable, as it is small in size and would not impact adjacent properties or site lines.
4. Granting the variance will not alter the character of the neighborhood.

Approval is subject to the following conditions:

1. Survey dated May 27, 2022.
2. Elevations and plans received date stamped May 27, 2022.



**DATE:** 6/8/2022  
**TO:** Cary Teague – Planning Director  
**FROM:** Zuleyka Marquez, PE – Graduate Engineer  
Mattias Oddsson, Engineering Intern  
**RE:** **6116 Wilryan Ave - Variance Review**

The Engineering Department has reviewed the subject property for street and utility concerns, grading, stormwater, erosion and sediment control and for general adherence to the relevant ordinance sections.

This review was performed at the request of the Planning Department; a more detailed review will be performed at the time of building permit application. Plans reviewed included a proposed survey, proposed street view, current street view, and design drawings stamped 5/27/2022

### *Summary of Work*

The applicant proposes a covered front porch. The request is for a variance to the front yard setback.

### *Easements*

No comment.

### *Grading and Drainage*

The area of work drains to the street in both existing and proposed conditions.

### *Stormwater Mitigation*

The proposed work (phase 1) does not trigger the City of Edina Building Policy SP-003 requirements. Phase 2 may trigger a stormwater management plan (category 2 of the policy) if fill is proposed below 919.2', more than 400 or 600 square feet of new impervious is added with a drainage path to private property or a structural flooding issue, respectively.

### *Floodplain Development*

The site is near a local 1% annual chance floodplain with an elevation of 919.2 ft. Per section 3.1.2.1 of the Comprehensive Water Resources Management Plan, new principal structures, additions, and other permanent fixtures must have a lowest opening elevation at least two feet above the applicable 1% annual chance flood. Thus, the lowest opening elevation is required at no less than 921.2 ft. Proposed at 925.2 ft; no issues.

### *Erosion and Sediment Control*

An erosion and sediment control plan was not reviewed or required per City of Edina Building Policy SP-002.

### *Street, Driveway Entrance, Public Utilities*

No comment.

### *Miscellaneous*

A Nine Mile Creek Watershed District permit may be required; applicant will need to verify with the district.

---

## ENGINEERING DEPARTMENT

7450 Metro Boulevard • Edina, Minnesota 55439  
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392



---

A well is not likely to be located onsite. Thus, coordination with Minnesota Department of Health will not be required.

---

**ENGINEERING DEPARTMENT**

7450 Metro Boulevard • Edina, Minnesota 55439  
www.EdinaMN.gov • 952-826-0371 • Fax 952-826-0392

**Answers from the Homeowner Regarding 6116 Wilryan Avenue:**

The proposed variance will relieve practical difficulties. The proposed addition will add a covering over the front entry to get out from the rain or snow when entering the house. It will also add an extra front porch area for sitting with neighbors and enjoying the neighborhood. Updating the steps to be a consistent height and a properly sloped sidewalk & grading will help to alleviate a trip hazard and the occasional water coming into the basement on this side of the house.

The proposed variance will correct circumstances unique to this property and the added items and will make the space a livable and functional space. The intent of the code which allows the setback to not be closer to the street than the neighbors on either side or the average of the side of the street would not allow for an added space to be unusable. The setback proposed will not obstruct the neighbors on either sides view as the street curves and the houses on both sides are slightly forward of the property.

The new space will include a new front door, consistent decking material for both steps and deck and remove the unsightly entrance and steps to grade. The new roof line will complement the rest of the home aesthetic. Additionally new sidewalk and landscaping will be added as part of the house update.

The added space will not alter the character of the neighborhood it will enhance the look of the house & street and transform it into a more modern home.

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT





CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

Proposed Street View

6120

6116

6112



CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

Current Street View



# Certificate of Survey

CITY OF EDINA

Prepared for:  
**Emmett Van Gorp**

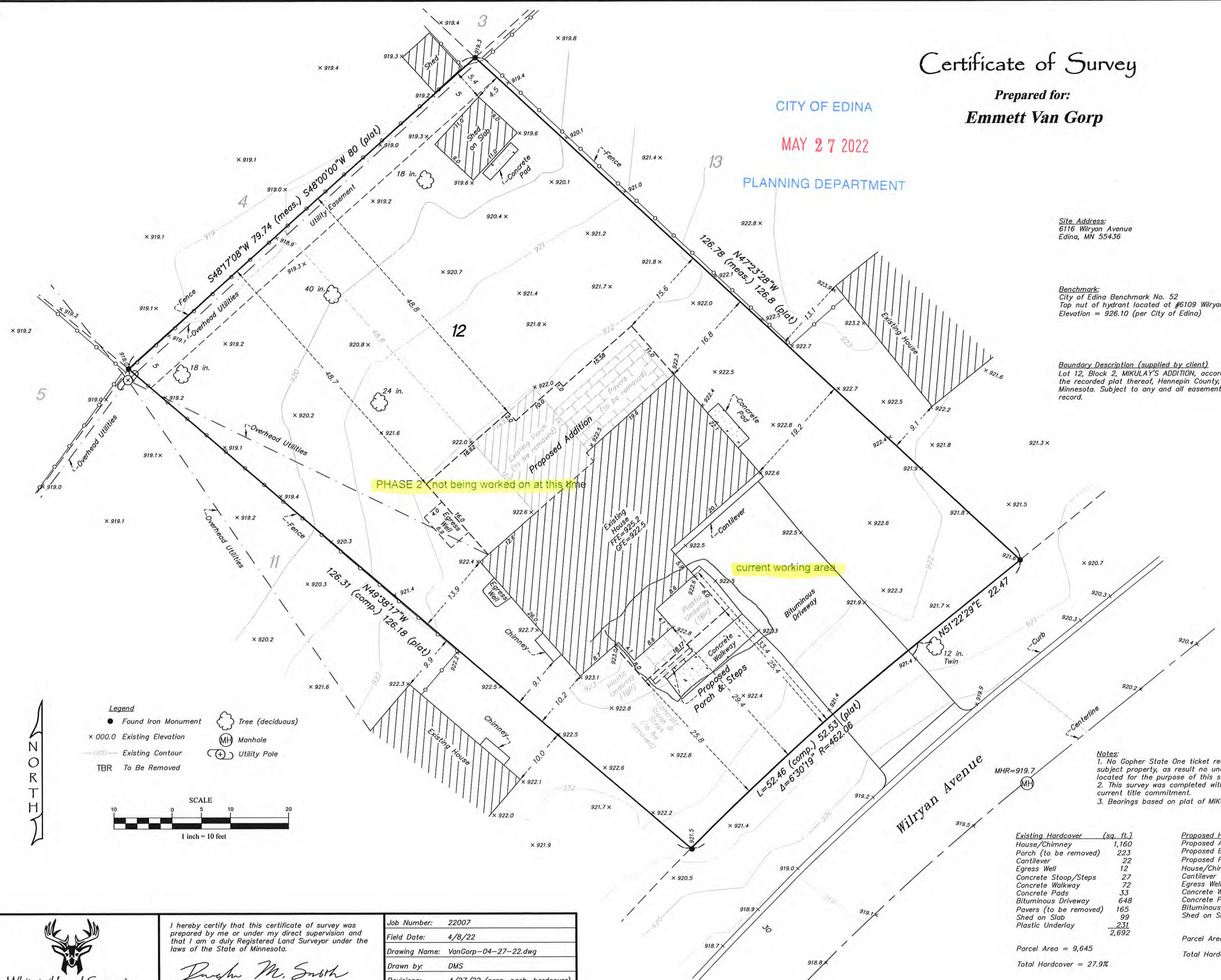
MAY 27 2022

PLANNING DEPARTMENT

Site Address:  
6116 Wilryan Avenue  
Edina, MN 55436

Benchmark:  
City of Edina Benchmark No. 52  
Top nut of hydrant located at #6109 Wilryan Ave.  
Elevation = 926.10 (per City of Edina)

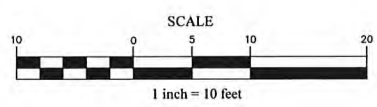
Boundary Description (supplied by client)  
Lot 12, Block 2, MIKULAY'S ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. Subject to any and all easements of record.



PHASE 2 not being worked on at this time

current working area

- Legend**
- Found Iron Monument
  - Existing Elevation
  - - - Existing Contour
  - TBR To Be Removed
  - Tree (deciduous)
  - MH Manhole
  - ⊕ Utility Pole



- Notes:**
- No Gopher State One ticket request was placed for subject property, as result no underground utilities were located for the purpose of this survey.
  - This survey was completed without the benefit of a current title commitment.
  - Bearings based on plat of MIKULAY'S ADDITION.

Existing Hardcover (sq. ft.)	Proposed Hardcover (sq. ft.)
House/Chimney	1,160
Porch (to be removed)	223
Cantilever	22
Egress Well	12
Concrete Stoop/Steps	27
Concrete Walkway	72
Concrete Pads	33
Bituminous Driveway	648
Pavers (to be removed)	165
Shed on Slab	99
Plastic Underlay	231
	<u>2,692</u>

Parcel Area = 9,645  
Total Hardcover = 27.9%

Parcel Area = 9,645  
Total Hardcover = 29.0%



**Whitetail Land Surveying**  
10722 200th Street  
Silver Lake, MN 55381  
320-535-5194  
WhitetailSurveying.com

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Douglas M. Smith*  
Douglas M. Smith  
Date: April 27, 2022 Registration No. 59130

Job Number:	22007
Field Date:	4/8/22
Drawing Name:	VanGorp-04-27-22.dwg
Drawn by:	DMS
Revisions:	4/27/22 (prop. poch, hardcover)



# Certificate of Survey

Prepared for:

**Emmett Van Gorp**

CITY OF EDINA

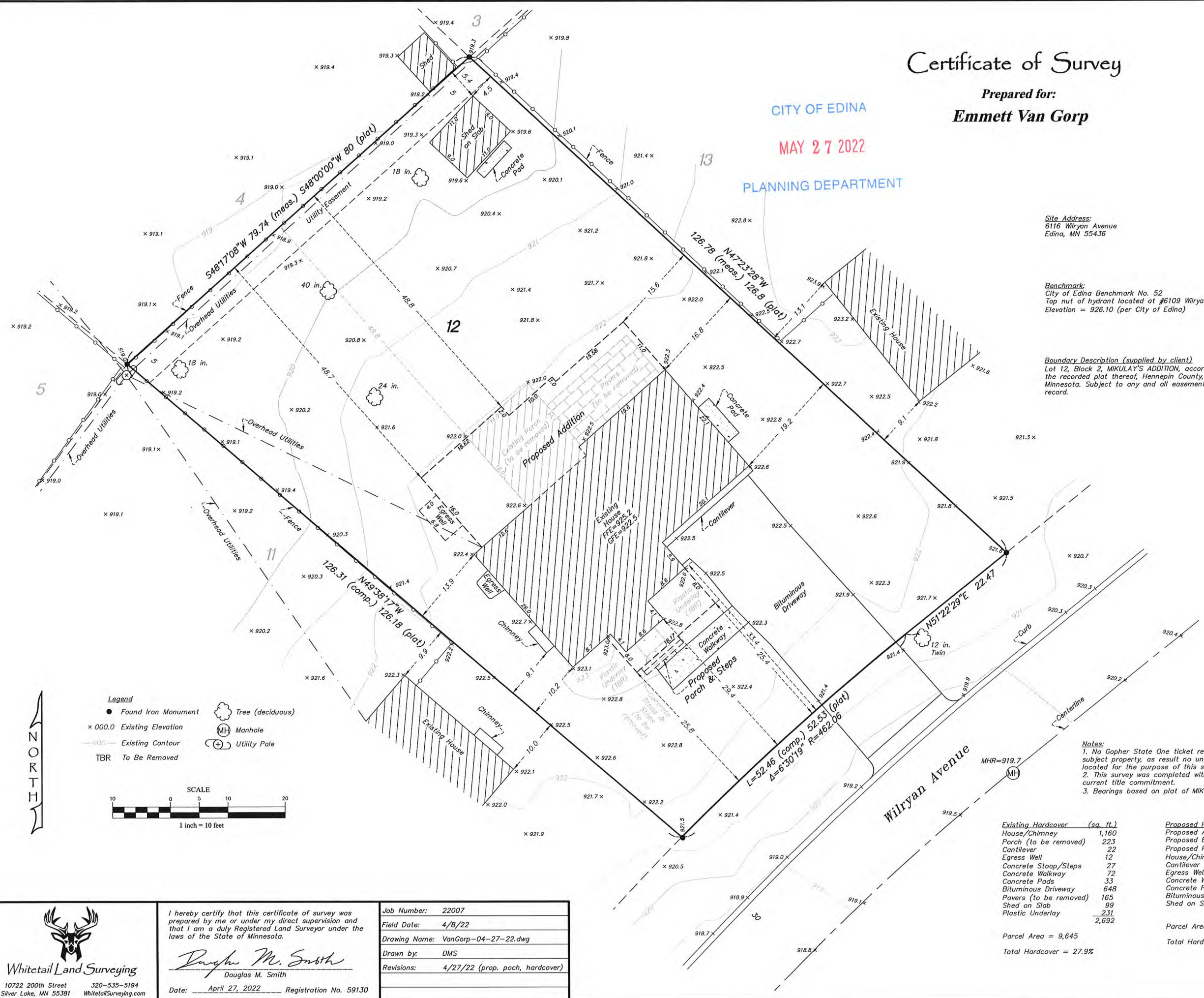
MAY 27 2022

PLANNING DEPARTMENT

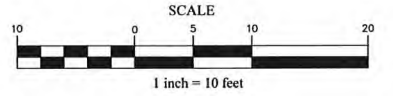
Site Address:  
6116 Wilryan Avenue  
Edina, MN 55436

Benchmark:  
City of Edina Benchmark No. 52  
Top nut of hydrant located at #6109 Wilryan Ave.  
Elevation = 926.10 (per City of Edina)

Boundary Description (supplied by client)  
Lot 12, Block 2, MIKULAY'S ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. Subject to any and all easements of record.



- Legend**
- Found Iron Monument
  - Existing Elevation
  - Existing Contour
  - TBR To Be Removed
  - ☁ Tree (deciduous)
  - MH Manhole
  - ⊕ Utility Pole



- Notes:**
- No Gopher State One ticket request was placed for subject property, as result no underground utilities were located for the purpose of this survey.
  - This survey was completed without the benefit of a current title commitment.
  - Bearings based on plat of MIKULAY'S ADDITION.

Existing Hardcover (sq. ft.)	Proposed Hardcover (sq. ft.)
House/Chimney 1,160	Proposed Addition 602
Porch (to be removed) 223	Proposed Egress Well 28
Cantilever 22	Proposed Porch/Steps 123
Egress Well 12	House/Chimney 1,160
Concrete Stoop/Steps 27	Cantilever 22
Concrete Walkway 72	Egress Well 12
Concrete Pads 33	Concrete Walkway 72
Bituminous Driveway 648	Concrete Pads 33
Pavers (to be removed) 165	Bituminous Driveway 648
Shed on Slab 99	Shed on Slab 99
Plastic Underlay 231	Plastic Underlay 2,799
<b>2,692</b>	

Parcel Area = 9,645  
Total Hardcover = 27.9%

Parcel Area = 9,645  
Total Hardcover = 29.0%



**Whitetail Land Surveying**  
10722 200th Street  
Silver Lake, MN 55381  
320-535-5194  
WhitetailSurveying.com

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

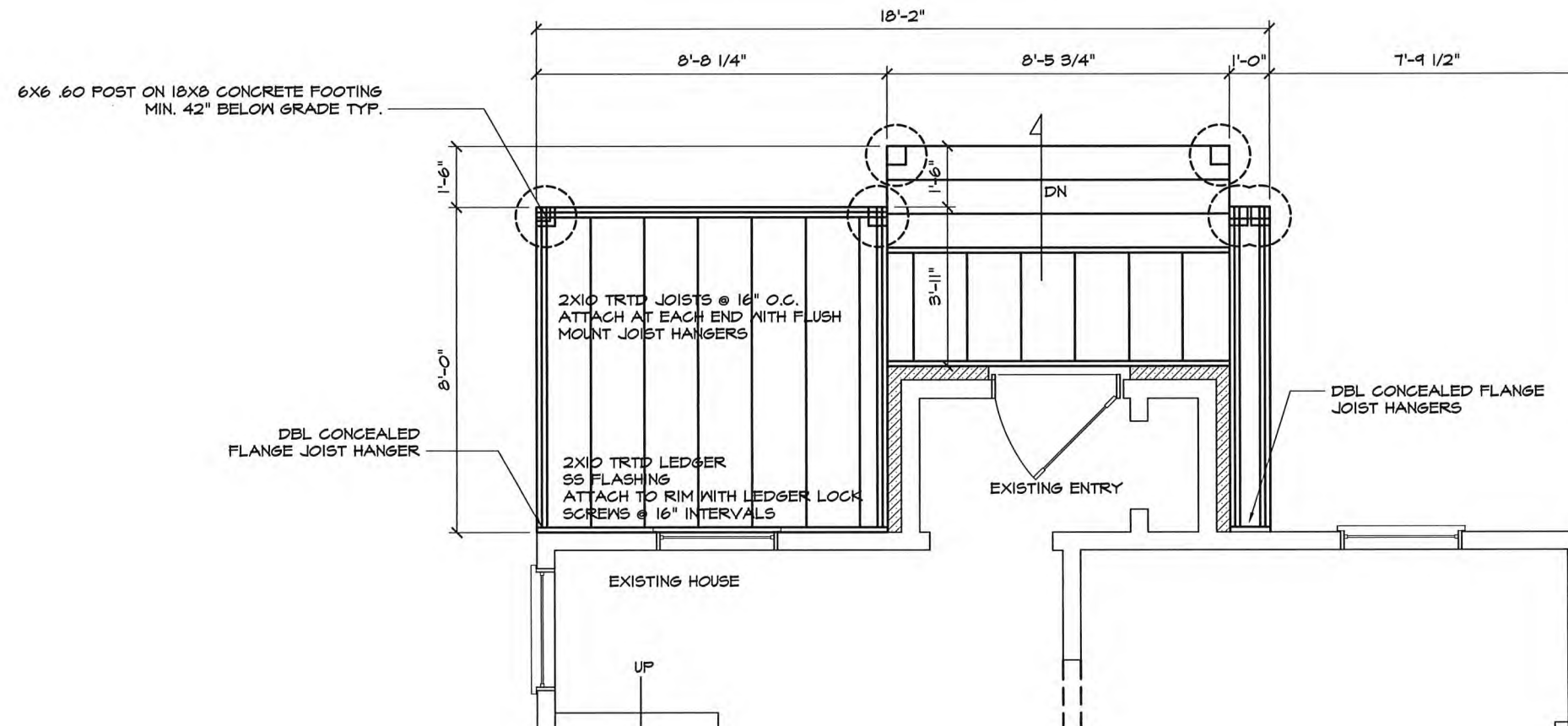
*Douglas M. Smith*  
Douglas M. Smith  
Date: April 27, 2022 Registration No. 59130

Job Number:	22007
Field Date:	4/8/22
Drawing Name:	VanGorp-04-27-22.dwg
Drawn by:	DMS
Revisions:	4/27/22 (prop. poch, hardcover)

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT



⊕ PORCH DECK FRAMING  
SCALE 1/4"=1'-0"

EMMETT AND KATE VAN GORP  
6116 WILRYAN AVE  
EDINA MN

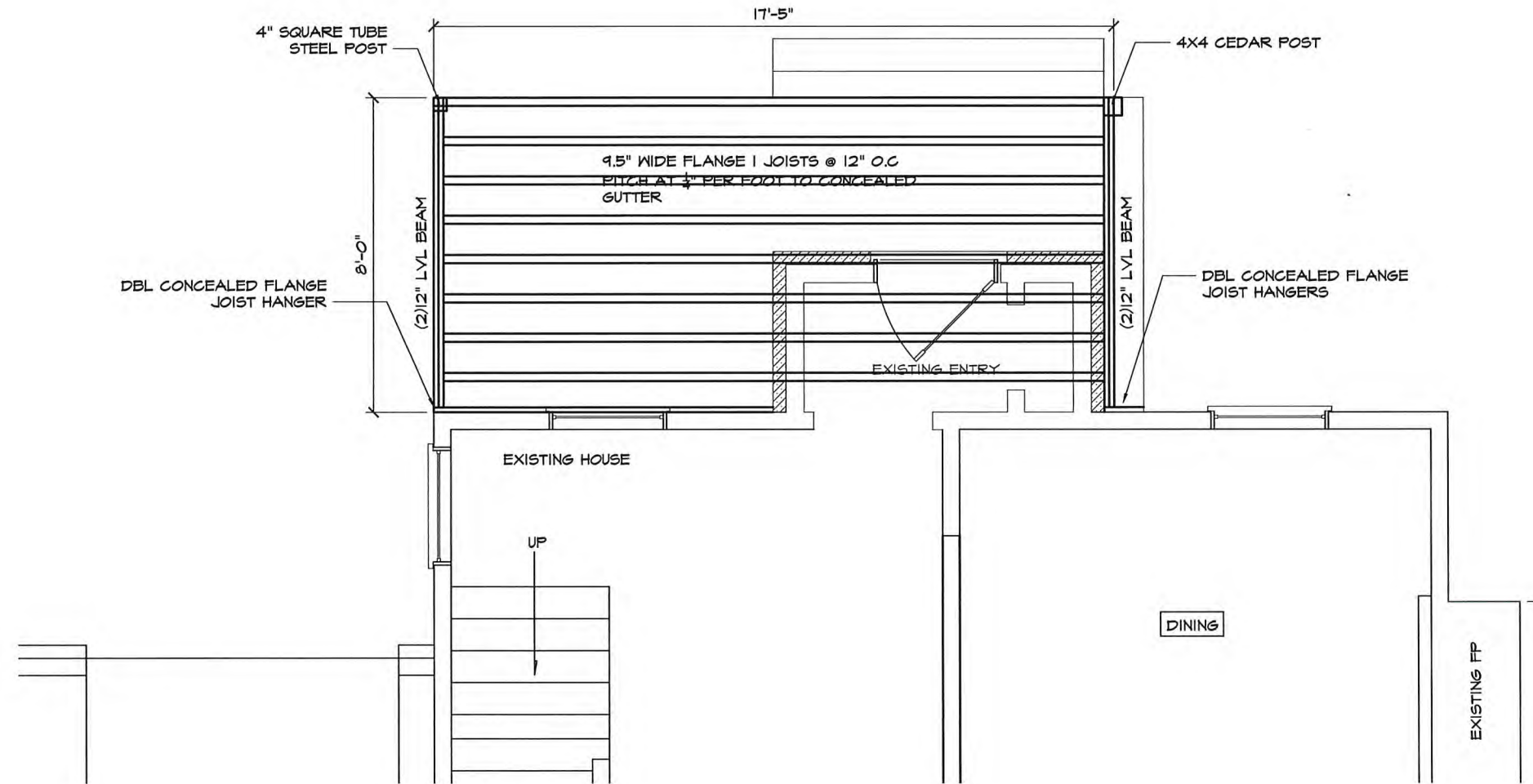
FRONT PORCH ADDITION

4/25/2022

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT



1 PORCH ROOF FRAMING  
2 SCALE 1/4"=1'-0"

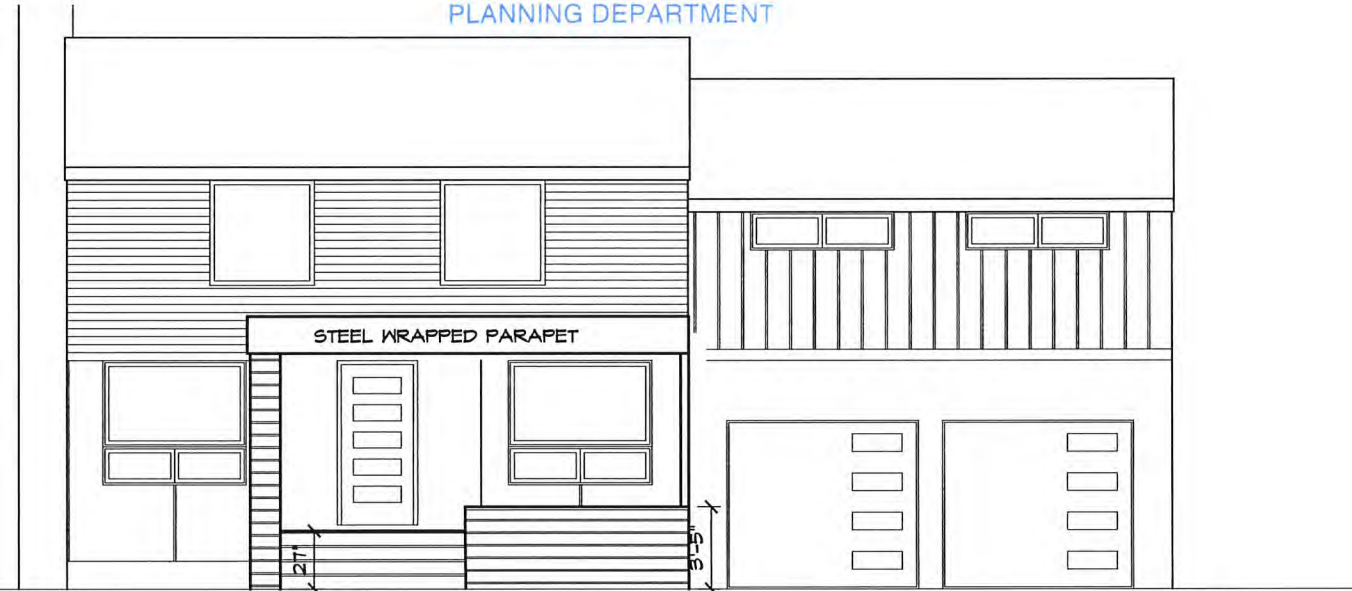
EMMETT AND KATE VAN GORP  
6116 WILRYAN AVE  
EDINA MN

FRONT PORCH ADDITION

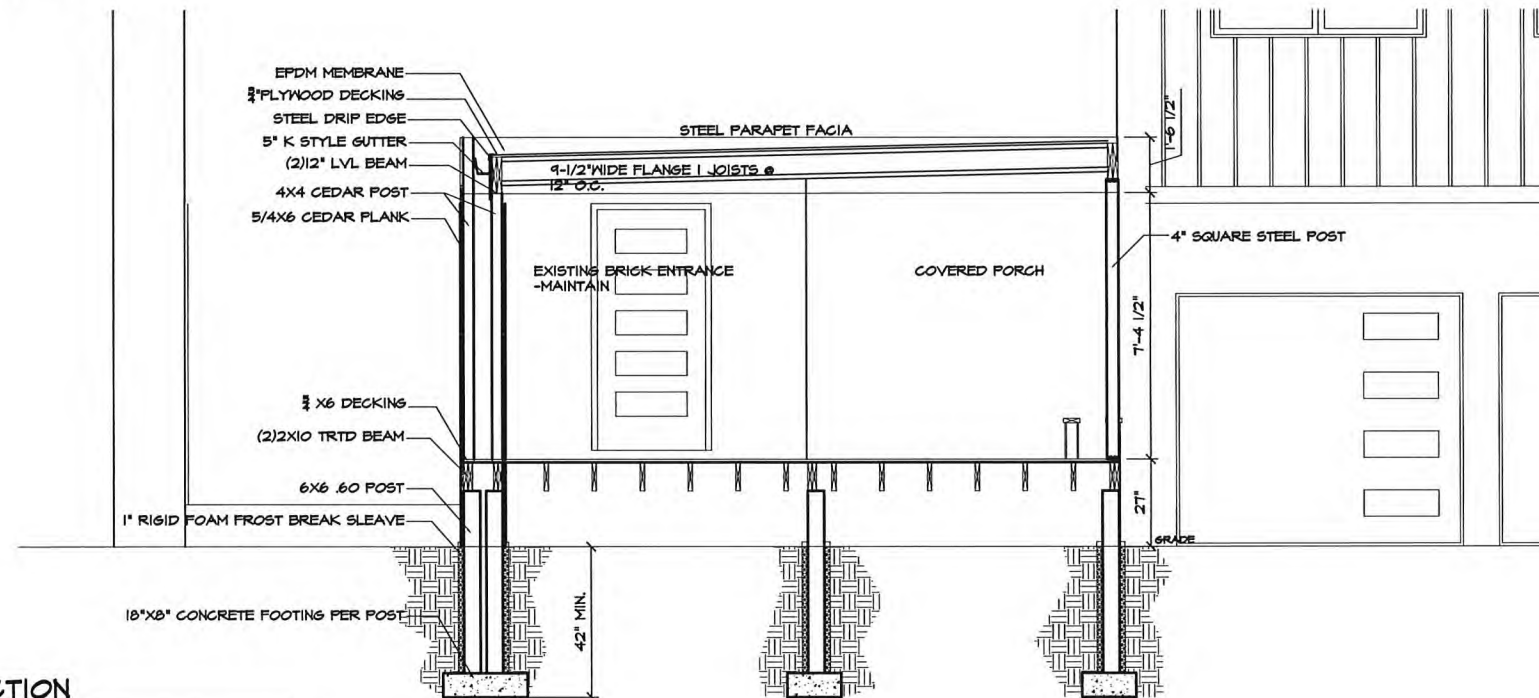
4/25/2022

MAY 27 2022

PLANNING DEPARTMENT



1 PORCH ELEVATION  
3 SCALE 1/8"=1'-0"



2 PORCH SECTION  
3 SCALE 3/16"=1'-0"

EMMETT AND KATE VAN GORP  
6116 WILRYAN AVE  
EDINA MN

FRONT PORCH ADDITION

4/25/2022

# Survey Responses

30 January 2019 - 23 June 2022

## Public Hearing Comments-6117 Wilryan

# Better Together Edina

Project: Public Hearing: Variance 6116 Wilryan Avenue



VISITORS					
CONTRIBUTORS			RESPONSES		
1			1		
0	0	1	0	0	1
Registered	Unverified	Anonymous	Registered	Unverified	Anonymous



**Respondent No:** 1

**Login:** Anonymous

**Email:** n/a

**Responded At:** Jun 22, 2022 09:47:28 am

**Last Seen:** Jun 22, 2022 09:47:28 am

**IP Address:** n/a

Q1. **First and Last Name**

Lisa Buck

---

Q2. **Address**

6104 Wilryan Ave

---

Q3. **Comment**

I support my neighbors' request for a .9 ft variance to the 26.3 front yard setback requirement. Everything that Emmett Van Gorp(and Kate) are doing to improve their home without tearing it down and building another unnecessary monstrosity is good news for the neighborhood. It is beautiful and tasteful and I hope you will allow them to build their front porch addition. And they are great neighbors as well! Thank You!

---





The CITY of  
**EDINA**

A .9-foot, (10 & 3/4") front yard setback variance for front porch addition

6116 Wilryan Ave.





The CITY of  
**EDINA**





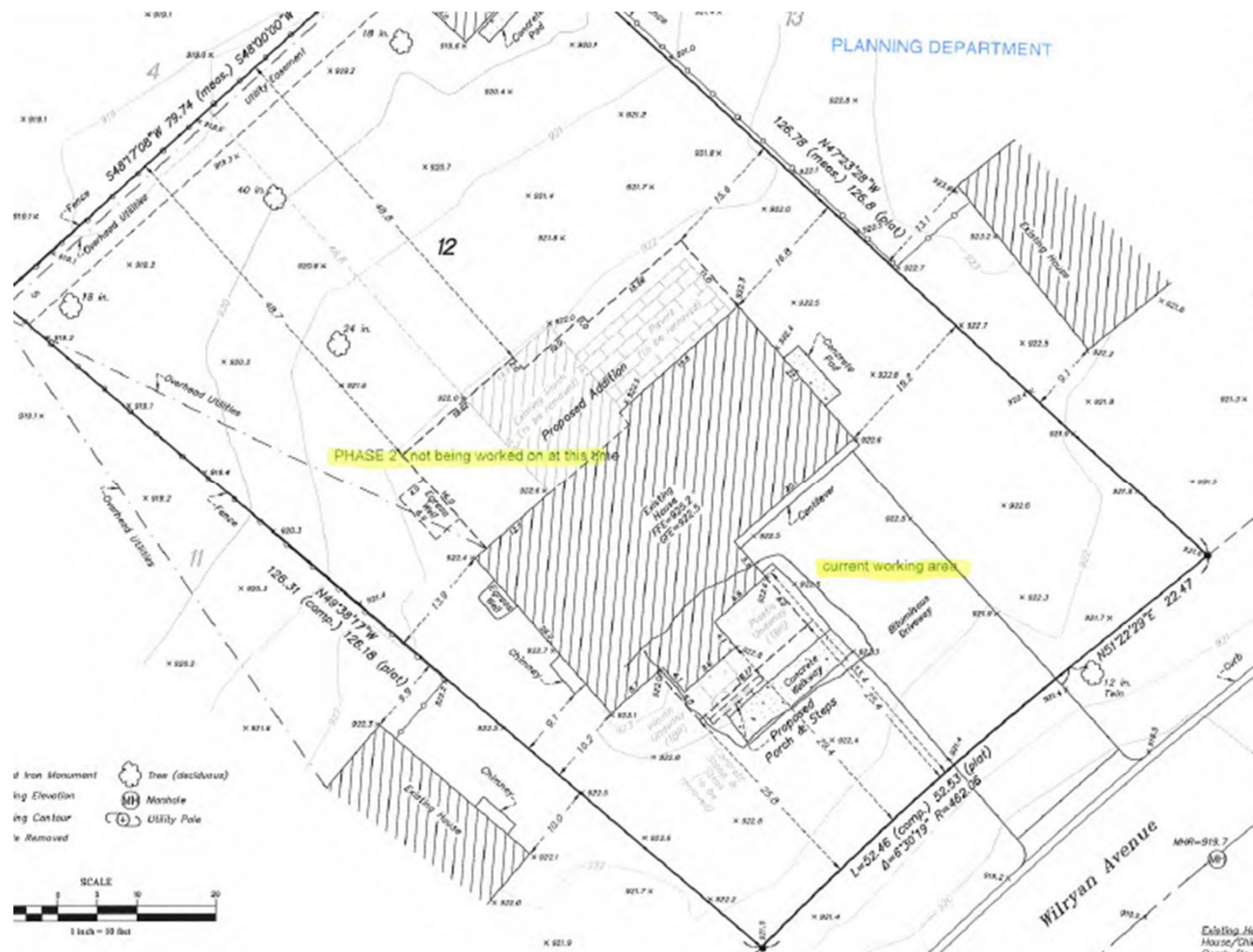
# The CITY of EDINA





The CITY of  
**EDINA**

PLANNING DEPARTMENT



Iron Monument Tree (deciduous)   
ing Elevation Manhole   
ing Contour Utility Pole   
w. Removed

SCALE  
1 inch = 20 feet



# The CITY of EDINA





The CITY of  
**EDINA**

6120

6116

6112



CITY OF EDINA

MAY 27 2022

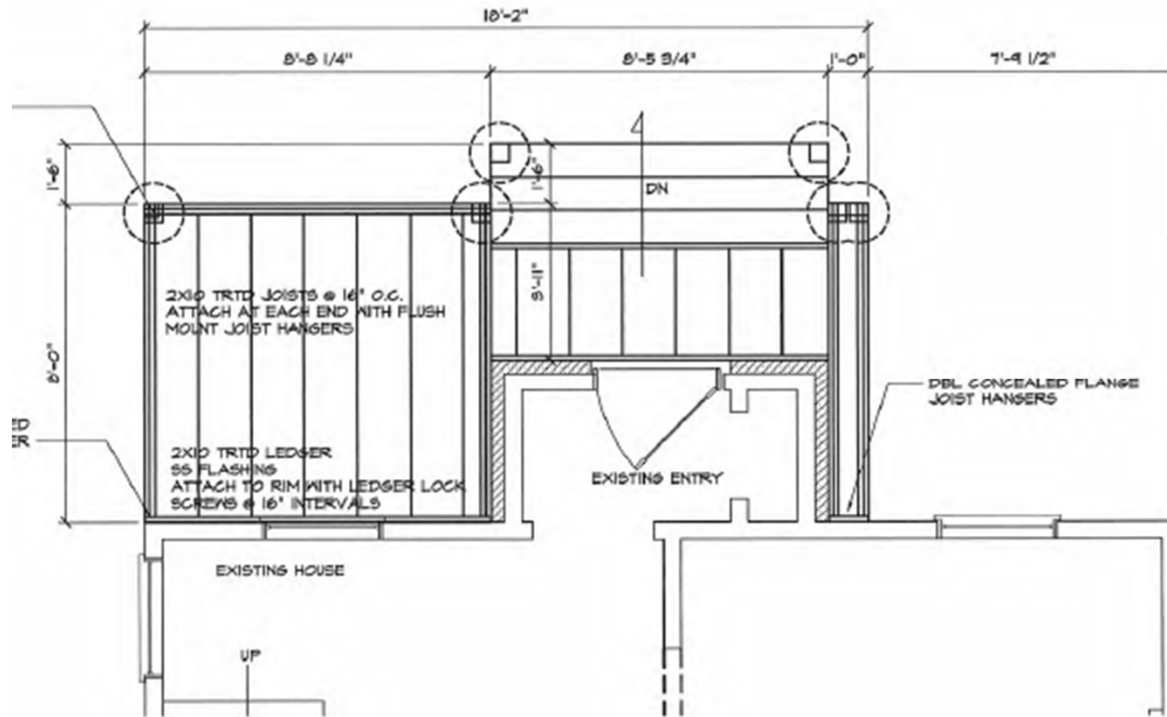
PLANNING DEPARTMENT

Current Street View





# The CITY of EDINA

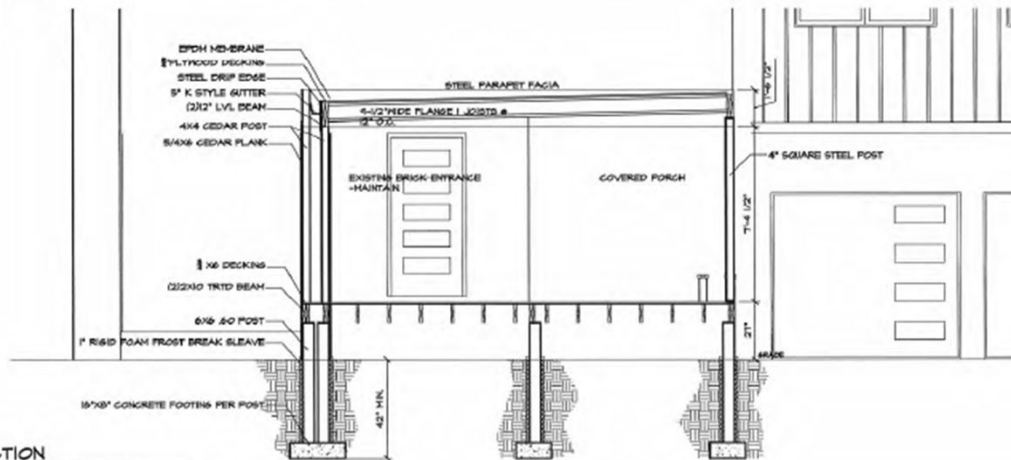




The CITY of  
**EDINA**



1 PORCH ELEVATION  
3 SCALE 1/8"=1'-0"



2 PORCH SECTION  
3 SCALE 3/16"=1'-0"

EMMETT AND KATE VAN GORP  
6116 WILRYAN AVE  
EDINA MN

FRONT PORCH ADDITION

4/25/2022



The CITY of  
**EDINA**





The CITY of  
**EDINA**



The CITY of  
**EDINA**



The CITY of  
**EDINA**



The CITY of  
**EDINA**



The CITY of  
**EDINA**



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** June 29, 2022

**Agenda Item #:** VI.B.

**To:** Planning Commission

**Item Type:**  
Report and Recommendation

**From:** Cary Teague, Community Development Director

**Item Activity:**

**Subject:** PUBLIC HEARING: CUP for Countryside  
Elementary School at 5701 Benton Ave.

Action

---

### ACTION REQUESTED:

### INTRODUCTION:

Edina Public Schools are requesting a Conditional Use Permit for building additions and an expanded parking lot at Countryside School located at 5701 Benton Avenue. The goal of the expanded parking lot is to make the site safer by separating parent and bussing drop off areas.

### ATTACHMENTS:

Staff Report

Engineering Review Memo

Applicant Narrative

Better Together Public Hearing Comment Report

Site Location and Zoning

Proposed Plan Renderings

Proposed Plans

Traffic Impact Study

Minor Site Plan & building elevation revisions



**Date:** June 29, 2022

**To:** Planning Commission

**From:** Cary Teague, Community Development Director

**Subject:** Conditional Use Permit – 5701 Benton Avenue (Countryside School)

## Information / Background:

The Edina Public Schools are proposing classroom building additions, expanding their parking lot and reconfigure the bus pick-up and drop-off area at Countryside School located at 5701 Benton Avenue. The purpose of the request is to add nine teaching spaces, an additional multipurpose room and parking lot expansion to separate bus and student drop off traffic for improved on-site safety.

The building additions at Countryside include the addition of six (6) classrooms, two (2) kindergarten rooms, one (1) Special Services room, a reconstruction of the middle link/ramp to meet ADA requirements, and a multipurpose room; all of which will allow the building to house the new Spanish immersion program starting offsite in the fall of 2022 and moving to Countryside Elementary once construction is completed. The building expansions and reconfigured parking areas conform to the conditional use permit requirements within the R-1 zoning district.

The number of parking spaces would increase from 94 parking stalls and 12 bus stalls, (106 stalls total), to 110 parking stalls and 16 bus stalls, (126 total), by expanding and restriping the lot on the east side of the building. The bus pick-up and drop-off area would be reconfigured on the east side of the building and a new access to the site would be added off Tracy Avenue. (See attached plans.) Buses would now enter and exit the site off Tracy Avenue rather than Benton Avenue. The parent drop off would now occur in the north parking lot. The new Tracy driveway would only be for buses and staff.

The request requires a conditional use permit for building expansion and the expansion of parking spaces on the east side of the building.

## SUPPORTING INFORMATION

### Surrounding Land Uses

Northerly: Single-family homes; zoned and guided low-density residential.  
Easterly: Single-family homes; zoned and guided low-density residential.  
Southerly: Single-family homes; zoned and guided low-density residential.  
Westerly: Single-family homes; zoned and guided low-density residential.

### Existing Site Features

The existing 14.6-acre site contains the school, parking areas, play fields a wetland and a scattering of mature trees.

### Planning

Guide Plan designation: Public/semi-public  
Zoning: R-1, Single Dwelling Unit District

### Conditional Use Permit

Per Section 36-305, the City Council shall not grant a Conditional Use Permit unless it finds that the establishment, maintenance, and operation of the use:

***1. Does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.***

The project would not have an adverse impact on the above. Both police and fire would be able to access the site off Benton as they do today, and now off Tracy with the new access point. There would be no change to utilities by the project. The existing utilities are adequate to serve the proposed use.

***2. Will generate traffic within the capacity of the streets serving the property.***

According to the independent traffic study done by Bolton and Menk, the project would not have a significant impact on surrounding neighborhood traffic. The study confirmed a recommended access drive from Tracy Ave. with a stop sign existing the new drive lane onto Tracy Ave. The new driveway from Tracy would only be for buses and staff. Parent drop-offs would continue off Benton Avenue. The south exit onto Tracy Avenue will be a two-way exit. Staff and buses will be able to enter and exit from Tracy Ave. The application would not require larger infrastructure improvements related to the streets around the school. Engineering staff has reviewed the turn movements on Tracy Avenue and feel there would be adequate sight lines. Staff believes the timing of student crossings compared to staff entering and exiting the site will be different and thus not create additional issues for crossing of Tracy. Staff feels there



is adequate sight lines of the crosswalk today. The project would not change those sightlines. The school may also consider crossing guards to assist with crossings.

**3. Does not have an undue adverse impact on the public health, safety, or welfare.**

Staff does not believe the project would have an adverse impact on public health, safety, or welfare. The separation of buses and parent drop off should improve on-site safety. Engineering staff does not believe any roadway improvements would be necessary.

**4. Will not impede the normal and orderly development and improvement of other property in the vicinity.**

The proposed improvements would not impede development in the area.

**5. Conforms to the applicable restrictions and special conditions of the district in which it is located as imposed by this Section.**

The proposed project meets all city code provisions. Schools and expansion parking lots are conditionally permitted uses within the R-I Zoning District.

**6. Is consistent with the Comprehensive Plan.**

As mentioned previously, building and parking lot expansions are a conditionally permitted use within the R-I zoning district. The proposed use is consistent with the Comprehensive Plan.

## **Landscaping**

New landscaping is proposed along Tracy Avenue to help screen the expanded parking area. (See attached landscape plan) Additionally, there is an accessory building that would be relocated as part of the parking expansion. Holmstrup Arborvitae would be planted around the building similar to those planted currently. Staff would recommend additional evergreen plantings along Benton and Tracy to fill in the gaps to provide better screening of the parking lots for residents across the street from the school.

The city forester has reviewed the proposed landscape plan. A landscape plan would need to be submitted as part of the grading permit, subject to approval of the city forester.

## **Grading/Drainage/Utilities**

The city engineer has reviewed the proposed plans and found them to be acceptable. Any approvals of this project would be subject to review and approval of the Minnehaha Creek Watershed Districts, as they are the City's review authority over the grading of the site.

## **Lighting**

The parking lots would be required to meet all minimum standards for lighting as follows:

“All exterior lighting and illuminating devices shall be provided with lenses, reflectors or shades so as to concentrate illumination on the property of the owner or operator of the lighting or illuminating devices. Rays of light or illumination shall not pass beyond the property lines of the premises utilizing the lights or illumination at an intensity greater than 0.5 footcandle measured at property lines abutting property zoned residential and one footcandle measured at property lines abutting streets or property zoned nonresidential. No light source, lamp or luminaire shall be directed beyond the boundaries of the lighted or illuminated premises.”

A lighting plan has been submitted and demonstrates the foot candle power generated from the lights, would meet city code requirement.

### Compliance Table

	City Standard	Proposed
Front/parking – Benton Avenue	20 feet	20 feet (existing)
Side Street/parking – Tracy Ave.	20 feet	38 feet
Side Street/parking – Stuart Ave.	20 feet	20 feet (existing)
Side – South/building	50 feet	100+ feet (existing)
Side – West/building	50 feet	100+ feet (existing)
Front – North/building	50 feet	57 feet (existing)
Front – East/building	50 feet	140 feet
Parking Stalls	78	126

## PRIMARY ISSUES/STAFF RECOMMENDATION

### Primary Issue

- **Is the Conditional Use Permit (CUP) criteria met?**

Yes, staff believes the criteria is met.

- I. The proposal meets the Conditional Use Permit findings. As demonstrated on pages 2-3 of this report, the findings for a conditional use permit would be met.

2. The proposal meets all minimum Zoning Ordinance standards. All setback requirements and lighting standards would be met.
3. The proposal would improve traffic and circulation on the site. The number of parking stalls remains in compliance the Zoning Ordinance. The new driveway would only be for buses and staff. Parent drop-offs would continue off Benton Avenue. Staff and buses will be able to enter and exit from both Tracy Ave and Countryside Rd. Engineering staff has reviewed the left-hand turn movements on Tracy Avenue and feel there would be adequate sight lines. Staff believes the timing of student crossings compared to staff entering and exiting the site will be different and thus not create additional issues for crossing of Tracy. If the project is implemented, city staff can monitor the number of crossings of Tracy at the crosswalk to determine if pedestrian flashers are warranted to add extra notification of crossings. Staff believes there is adequate sight lines of the crosswalk today. The project would not change those sightlines. The school may also consider crossing guards to assist with crossings.
4. The plan includes landscaping and trees planted along Tracy Avenue and around the re-located maintenance building to provide partial screening. Staff does recommend additional plantings along Tracy and Benton to provide additional screening of the parking lot.

### **Staff Recommendation**

Recommend that the City Council approve the Conditional Use Permit to expand the parking area for Countryside School at 5701 Benton Avenue.

Approval is based on the following findings:

1. The proposal meets the Conditional Use Permit conditions per Chapter 36 Sec. 36-305 of the Edina Zoning Ordinance.
2. The proposal meets all applicable Zoning Ordinance requirements.
3. The proposed project meets all city code provisions and is consistent with the Comprehensive Plan. Public schools and associated parking lots are a conditionally permitted use within the R-I Zoning District.

Approval is subject to the following conditions:

- I. The site must be developed and maintained in conformance with the following plans:
  - Site plan date stamped May 22, 2022.
  - Plan modifications dated May 27, 2022.
  - Lighting photometric May 22, 2022.
  - Grading and drainage plan date stamped May 22, 2022.
  - Landscaping plan date stamped May 22, 2022

- Geometric plan date stamped May 22, 2022
  - Utility and erosion control plan date stamped May 22, 2022.
2. A building and grading permit is required for the improvements.
  3. A lighting plan, landscape plan and grading plan must be submitted, and meet all minimum zoning ordinance requirements.
  4. Submit a copy of the Nine Mile Creek Watershed District permit. The city may require revisions to the approved plans to meet the district's requirements.
  5. Additional evergreens along Benton and Tracy must be planted to fill in the gaps of existing and proposed landscaping to provide better screening of the parking lots for residents across the street from the school. Final Landscape Plan and additional screening is subject to review and approval of the city forester prior to issuance of a building permit.

**Deadline for a city decision: July 30, 2022**



**DATE:** 6/13/2022

**TO:** 5701 Benton Ave, Countryside Elementary, Development Team  
**CC:** Cary Teague – Community Development Director

**FROM:** Mattias Oddsson, Engineering Intern  
Zuleyka Marquez, PE, Graduate Engineer

**RE:** 5701 Benton Ave – Conditional Use Permit Review

The Engineering Department has reviewed the subject property for pedestrian facilities, utility connections, grading, flood risk, and storm water. Plans reviewed included civil, landscape, and survey drawings stamped 5/27/2022.

<b>Review Comment</b>		<b>Required For</b>
<b>General</b>		
1.	Deliver as-built records of public and private utility infrastructure post construction.	Certificate of Occupancy
2.	Maintenance of sidewalks to be responsibility of property owner.	General Comment
<b>Survey</b>		
3.	An existing and proposed site condition survey is required.	Grading/Building Permit
3.1	Show all existing and proposed public and private easements.	Grading/Building Permit
<b>Living Streets</b>		
4.	Design sidewalks to meet ADA requirements.	Grading/Building Permit
5.	Pedestrian crosswalk required at new driveway apron at Tracy Ave and Countryside Rd. If damaged during construction, applicant required to install new thermoplastic crosswalk blocks per Cit standard.	
<b>Traffic and Street</b>		
6.	Review fire access requirements with fire department. Fire truck turning template attached.	Grading/Building Permit
7.	A new driveway entrance is proposed along Tracy Ave, near Countryside Rd. Apply for a Public Works commercial curb cut permit.	Grading/Building Permit
8.	Tracy Avenue was reconstructed in 2016, and Benton Avenue was reconstructed in 2015. Avoid any damage. Damage to be repaired per standard plates 540 and 542.	Certificate of Occupancy

**ENGINEERING DEPARTMENT**



9.	Coordinate with Engineering Department if changes to on-street parking restrictions along Tracy Avenue are anticipated.	Certificate of Occupancy
<b>Sanitary and Water Utilities</b>		
10.	Verify fire demand and hydrant locations.	Grading/Building Permit
11.	Domestic water shall be sized by the developer's engineer.	Grading/Building Permit
12.	Domestic sanitary shall be sized by the developer's engineer.	Grading/Building Permit
13.	Apply for a sewer & water connection permit with Public Works.	Prior to Starting Utility Work
13.1	Meter required for building service line and combined lines. No meter required for fire only service line.	Grading/Building Permit
13.2	Public Works to determine acceptable installation methods.	Grading/Building Permit
14.	Disconnected sanitary and water services to be capped at main.	
15.	A SAC determination will be required by the Metropolitan Council. The SAC determination will be used by the City to calculate sewer and water connection charges.	Grading/Building Permit
16.	Single connection from main for fire and domestic, split after main connection.	Grading/Building Permit
17.	Wells not likely onsite. Notify City and MDH if well is located onsite during the course of the work.	Certificate of Occupancy
<b>Storm Water Utility</b>		
18.	Provide final geotechnical report with soil borings.	Grading/Building Permit
19.	Local 1% annual chance floodplain with an elevation of 911.8' located in north parking. Avoid fill. Provide net cut/fill calculations below 911.8'.	Grading/Building Permit
20.	Provide the proposed lowest opening elevations for the new structures. Required at no less than 913.8'.	Grading/Building Permit
21.	Add rip rap at outlet for new dry basin or extend to pond to avoid erosion.	
22.	Provide hydraulic and hydrologic report meeting watershed and state construction site permit requirements.	Grading/Building Permit
23.	Submit watershed district permit and copies of private maintenance agreement in favor of watershed.	Grading/Building Permit
<b>Grading Erosion and Sediment Control</b>		
24.	A SWPPP consistent with the State General Construction Site Stormwater Permit is required.	Grading/Building Permit

**ENGINEERING DEPARTMENT**



<b>Constructability and Safety</b>		
25.	Construction staging, traffic control, and pedestrian access plans will be required.	Grading/Building Permit
<b>Other Agency Coordination</b>		
26.	MDH, MPCA and MCES permits required as needed.	Grading/Building Permit
27.	Coordinate relocation of utility pole and fiber as needed for playground and curb cut construction.	
28.	Minnehaha Creek Watershed District permit is required.	Grading/Building Permit
<b>Sustainability</b>		
29.	Consider installation of electric vehicle chargers for a minimum of 5% of additional proposed parking and wiring an additional 10% for EV conversion in the future.	General Comment
30.	See Sustainable Design Questionnaire for additional considerations, including: <ul style="list-style-type: none"> <li>Utilize Xcel Energy's <a href="#">Energy Design Assistance or Energy Efficient Buildings</a>, and/or CenterPoint Energy's <a href="#">Builder and Developer programs</a> for this development to optimize building performance.</li> <li>Install appliances and equipment that are Energy Star or EPA WaterSense certified.</li> <li>Consider rooftop solar. Use <a href="#">UMN's Solar Suitability map</a> to assess solar opportunity, and the <a href="#">National Renewable Energy Lab's calculator</a> to assess solar production.</li> </ul>	General Comment

**ENGINEERING DEPARTMENT**



May 27, 2022

Cary Teague  
Community Development Director  
City of Edina Planning Division  
4801 W. 50th Street  
Edina, Minnesota 55424

Re: Edina Public Schools – ISD #273  
Countryside Elementary 2022 Additions  
**Written Description for Conditional Use Permit Submittal**  
Commission No. 222005

Dear Cary:

Independent School District #273, Edina Public Schools, passed a successful referendum in May of 2021 to reconfigure parking and site traffic at Countryside Elementary, and address the existing storm water management system accordingly with the site modifications. In the Fall of 2021, ISD #273's board approved allocation of lease levy funding for the addition of a Spanish immersion program at Countryside Elementary, and with that, the expansion of the school's facilities to appropriately accommodate the additional students. The goal of this project's site work is to provide a safe division between the bus and parent/student drop off to meet district safety standards, and the goal of the school's addition is to accommodate the additional section of students added to the building.

The site currently has one combined entry for bus and parent traffic, creating traffic management challenges and safety issues for students who need to cross the parent drop off lane and route to get to school. The major change in this site reconfiguration is to create a new, separate and dedicated entrance from Tracy Avenue for staff parking and buses only. The existing site entry off of Benton Avenue will be dedicated to student drop-off and pick-up, allowing students to be safely dropped off at the school's main entry directly onto the sidewalk, and avoid crossing any traffic lanes or parking areas. The parent drop off lane on site will be moved onto the site (rather than students being dropped off on Benton Ave), and will be extended to increase the length as much as possible on the school's site, and the lane will have two (2) lanes flowing in a one-way direction on site. This design allows parents to pull over adjacent to the sidewalk for safe, passenger-side drop-off and pick-up, and provides a passing lane on the left to allow traffic to flow while other cars are still in the drop-off lane. This model of separating parent and bus traffic is a well-vetted best practice for school site flow, and has been implemented at various other sites in ISD #273 greatly improve student safety and reduce traffic congestion as much as possible in surrounding neighborhoods. Staff and buses are not arriving at the same time of day, so combining these two (2) types of traffic does not create a challenge for congestion on site. This improvement to site safety also expands the school's parking count, increasing it by 16 car parking stalls to accommodate the school's staff and visitor parking needs. There are currently challenges with the quantity of parking spots on site for staff and events, and this will help address this need. The existing count offers 94 parking stalls and 12 bus stalls, and the new expanded parking areas will have room for 110 parking stalls and 16 buses.

CITY OF EDINA

MAY 27 2022

PLANNERS

AND

**Wold Architects and Engineers**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

**PLANNERS  
ARCHITECTS  
ENGINEERS**





The building additions at Countryside includes the addition of six (6) classrooms, two (2) kindergarten rooms, one (1) Special Services room, a reconstruction of the middle link/ramp to meet ADA requirements, and a multipurpose room, all of which will allow the building to house the new Spanish immersion program starting offsite in the fall of 2022, and moving to Countryside Elementary once construction is completed. From there, the immersion program will gradually increase by grade level each year. Locations of these additions were studied in their relation to building entries, as well as other interior classroom spaces and site constraints. The design language of these additions is intended to match and complement the existing exterior design, using matching brick blends, glazing materials, cast stone details and sills, and stucco. These materials can be referenced on the material board and illustrated in elevation drawings included in this submittal. The total added square footage of this addition is approximately 20,000 square feet. The two-story classroom portion will comply with Storm Shelter construction per 2020 MN Building Code. The existing building was constructed in 1965, with renovations and additions completed in 2016.

Wold Architects and Engineers is a client and public environment focused firm that has worked in the community for over 50 years. Our firm has a robust portfolio of projects that address school site safety and traffic flow, and have worked on project of a similar scope to modify existing sites. We have implemented this approach at other ISD #273 school facilities, and are currently working on projects to complete the remaining sites, including Countryside Elementary. Wold also has extensive experience in school planning, programming, and additions. We've worked with Edina Public School District on a multitude of projects for over 10 years, completing the previous additions at Countryside Elementary in 2016.

Please feel free to call or email with any questions. We appreciate your time.

Sincerely,

Wold Architects and Engineers

A handwritten signature in black ink that reads "Maria Kennedy".

Maria Kennedy | AIA  
Associate

cc: Eric Hamilton, ISD #273  
Dave Rey, Bolton & Menk  
Laura Detzler, Bolton & Menk  
Makayla Lakeman, Wold  
Vaughn Dierks, Wold

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

# Survey Responses

30 January 2019 - 23 June 2022

## Public Hearing Comments-Countryside

# Better Together Edina

Project: Public Hearing: 5701 Benton Ave., Countryside Elementary



VISITORS					
6					
CONTRIBUTORS			RESPONSES		
3			3		
1	0	2	1	0	2
Registered	Unverified	Anonymous	Registered	Unverified	Anonymous



**Respondent No:** 1

**Login:** Anonymous

**Email:** n/a

**Responded At:** Jun 22, 2022 15:02:51 pm

**Last Seen:** Jun 22, 2022 15:02:51 pm

**IP Address:** n/a

Q1. **First and Last Name**

Jerry Groven

Q2. **Address**

5716 Benton Ave

Q3. **Comment**

I have a couple of comments/questions and concerns: 1.) The map above is missing two crosswalks that are currently installed and important to the pedestrians in the neighborhood. First one crossing Stuart Ave at the intersection of Benton Ave. The second one crossing Benton at Stuart Ave. 2.) I believe that Benton ave. on the North side of the road from Stuart avenue to Tracy avenue should have a sidewalk to bring the pedestrians on North side of Benton to the intersection of Benton and Stuart ave to access Countryside Elementary. 3.) Questions about flow of dotted blue line on map above. I think it will work as shown, I just would like clarification on the flow. If you follow the dotted blue line for drop off/pickup it shows coming down Stuart going South, going in front of the school, then leaving East on Benton. That sounds good. Is that to mean parents will not be going West down Benton to turn left on Stuart to access the line? Would the parking lot be 'blocked' so parents can't bypass the traffic flow and turn left into the parking lot then exit on Stuart?



**Respondent No:** 2  
**Login:** Liz Olson  
**Email:** lkolson@EdinaMN.gov

**Responded At:** Jun 23, 2022 08:40:41 am  
**Last Seen:** Jun 24, 2022 19:34:31 pm  
**IP Address:** 156.142.13.110

---

Q1. **First and Last Name** City of Edina Planning Staff

---

Q2. **Address** 4801 50th St. W., Edina, MN

---

Q3. **Comment**

Mr. Jerry Groven, Responses to your questions are below: 1. The two crosswalks at Stuart and Benton will remain. They were not shown because they were not in the project limits. 2. A sidewalk along the north side of Benton Ave between Stuart and Tracy is outside the project limits. Sidewalk discussions along roadways should be discussed with City's Engineering Department. FYI - that location is not on the Bike and Pedestrian Master Plan. 3. Parents will be able to go west down Benton or south on Stuart to access the parking lot from the west. How the school will control traffic on the east end of the parking lot is a question for the school district. We believe they will not allow entering on the east end of the parking lot. If you have additional questions, please use the Questions tab (located to the right side of the public hearing comment tab in Better Together Edina). Please call the Planning Division at 952-826-0369 for help.

---



**Respondent No:** 3

**Login:** Anonymous

**Email:** n/a

**Responded At:** Jun 23, 2022 08:52:33 am

**Last Seen:** Jun 23, 2022 08:52:33 am

**IP Address:** n/a

**Q1. First and Last Name**

Leffert Tigelaar and Barbara Kyle

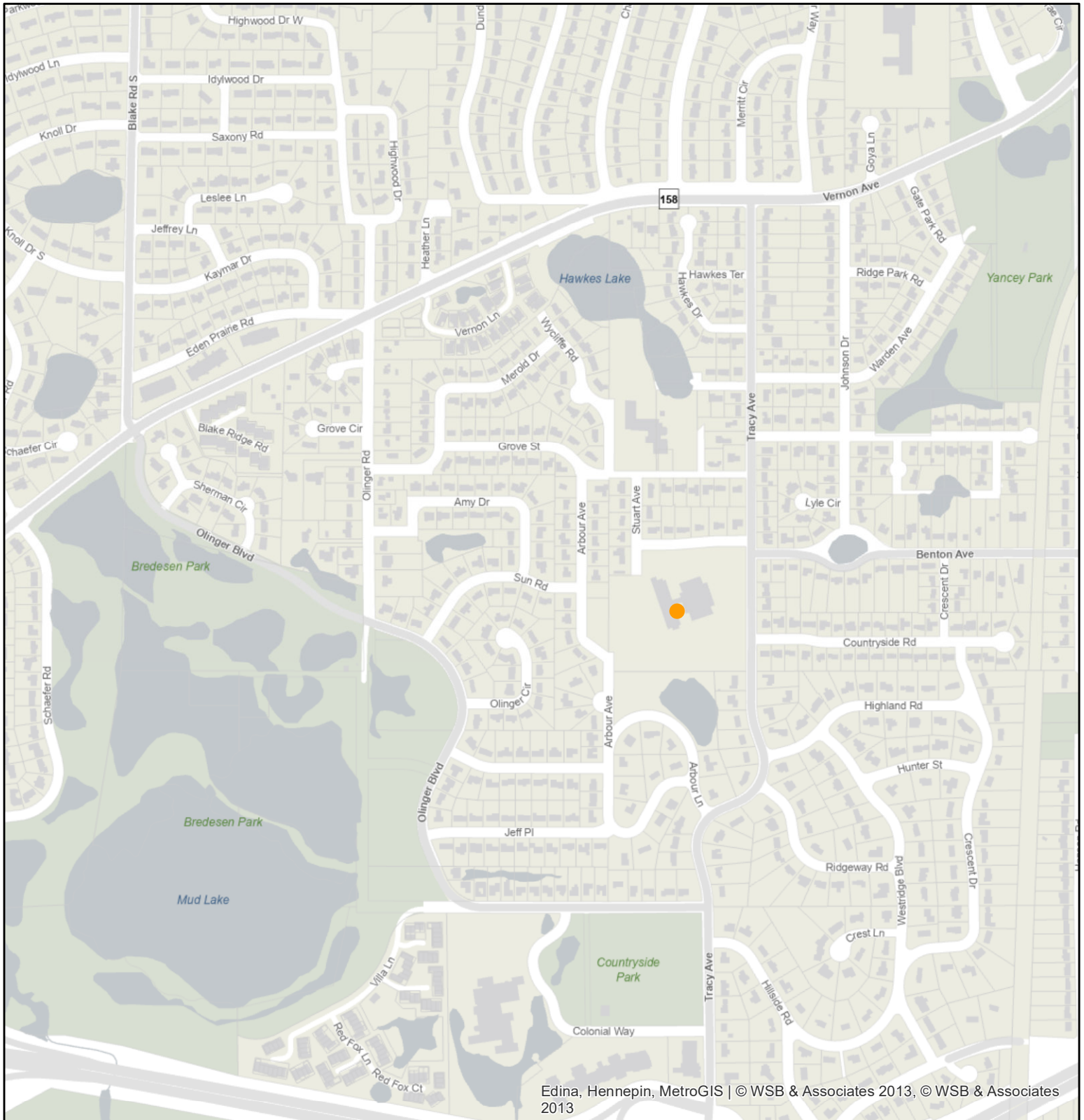
**Q2. Address**

5816 Stuart Avenue, Edina MN 55436

**Q3. Comment**

We have lived at 5816 Stuart Avenue (at cul-de-sac just west of Countryside Elementary parking lot) since 1995. We have made many improvements to our property throughout our time here and have seen many changes at Countryside during that time too. A month, or so, ago we were made aware that the school is planning to redefine their curriculum and that infrastructure changes were being planned to accommodate the additional student load associated with that and to improve student safety. We initially scanned the documents that were submitted and were able to discuss these plans with the architects, civil engineer, principal, and the facilities manager for Edina Public Schools and we expressed a few concerns. It appears that most of our concerns have been considered, but not all have been fully addressed. The proposed curriculum changes and proposed expansion of the facilities, student body will increase associated traffic around the school and on feeder roads to the immediate area. It is very difficult to understand why Countryside Elementary is thought to be the best school to expand given how highly reliant it is on a few residential streets (Benton and Stuart and Grove) and feeder streets deep into the neighborhood to provide access to the school. Residents on Benton, Stuart and Grove are pretty much stuck on their properties during drop-off and pick up times. Separating bus and automobile traffic in this proposal is a sound idea that will improve student safety around the school and we are in support of that goal, though below we outline a few concerns about the proposed plans for implementation: 1) Lighting levels on the west side of the Stuart Ave right-of-way, all other neighboring right-of-way the levels read as 0.0, just in front of our home the highest reading is .9 in the public right-of-way. There are also above "zero" readings on Benton Avenue, just east of the Benton Stuart Avenue. Just east of the higher reading on Stuart Avenue, the highest light levels on the entire school property can be found. A 2.6 reading being the highest number. There currently is significant glare which, in addition to school signage "one way" in the public right-of-way (just south of our driveway) gives the impression that the public right-of-way is school district property. We want to make sure that the school district and their consultants working on the planning of changes understand that the cul-de-sac in front of our home is public-right-of-way and we expect that the planning and building department will enforce zoning/building code adherence for this. 2) It is not clear from the documentation how the school district would meet screening requirements of parking lots from residential properties. a. We would like to see a serious good faith effort by the school district to plan, install and properly maintain code required screening of parking lots (as a minimum) . b. Up to this date, the burden of light pollution has been extreme for the residential properties facing the parking lot on Benton and Stuart Avenue. With the expansion of the school parking infrastructure, we insist that there is a good faith effort made to screen this proposed enlarged visual, light polluting, nuisance and that the city enforces codes related to that. 3) It appears that the "Not for Construction" Site Plan by Wold has addressed our concern about the contiguous width of the two driveways to the parking lot and drop of from the Stuart Avenue "cul-de-sac", by pulling the berm between the driveways forward toward the curb creating two curb cuts that meet code. Unfortunately, this change is not represented on the Site Diagrams included in the "Countryside Plans and renderings" package, which we suspect is a document coordination oversight.

# Countryside School - 5701 Benton



1 in = 752 ft



The CITY of  
**EDINA**



June 23, 2022

# Countryside School - 5701 Benton



1 in = 376 ft



The CITY of  
**EDINA**



June 23, 2022

# Countryside School - 5701 Benton



1 in = 188 ft



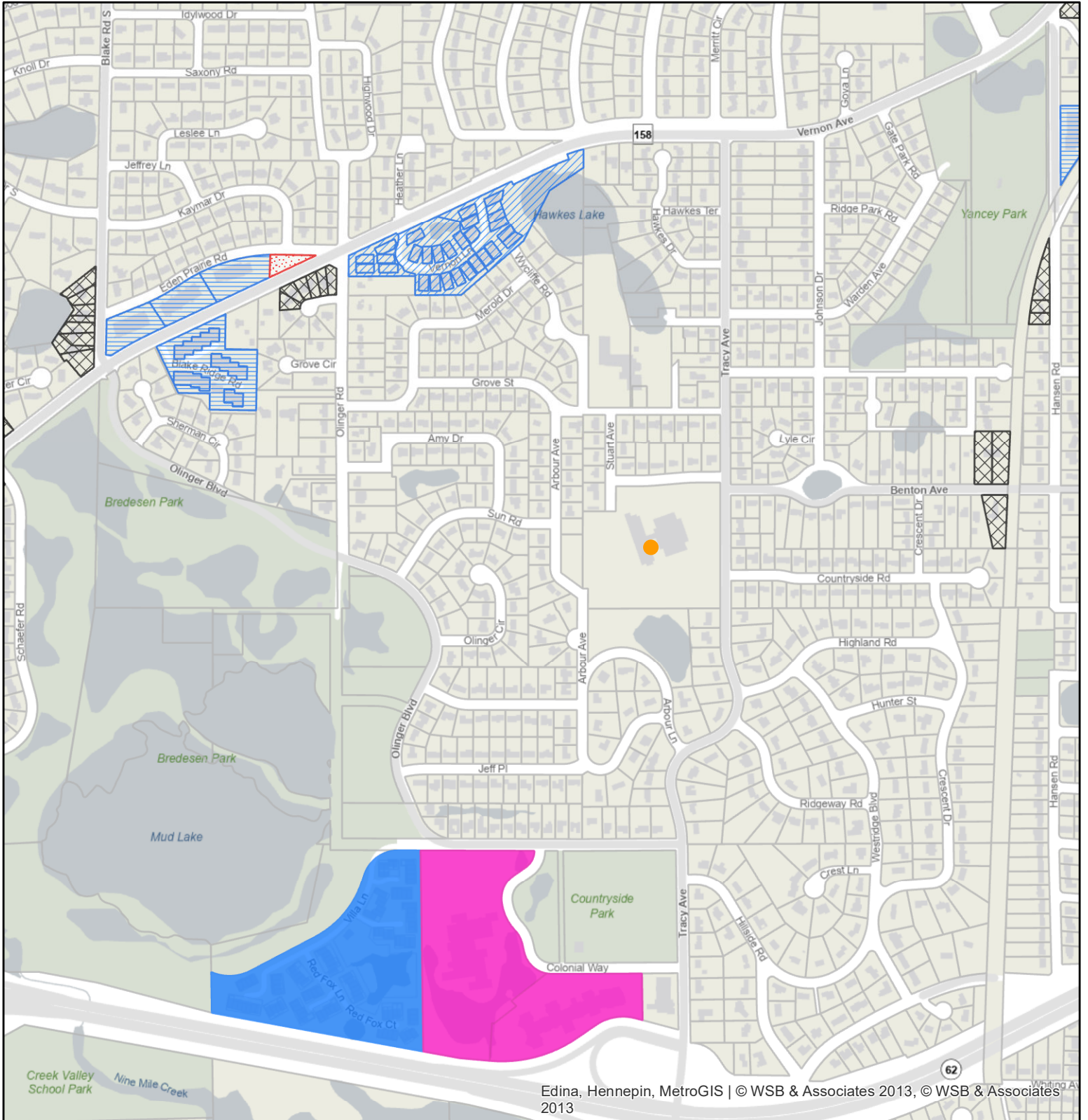
The CITY of  
**EDINA**



June 23, 2022



# Zoning Map



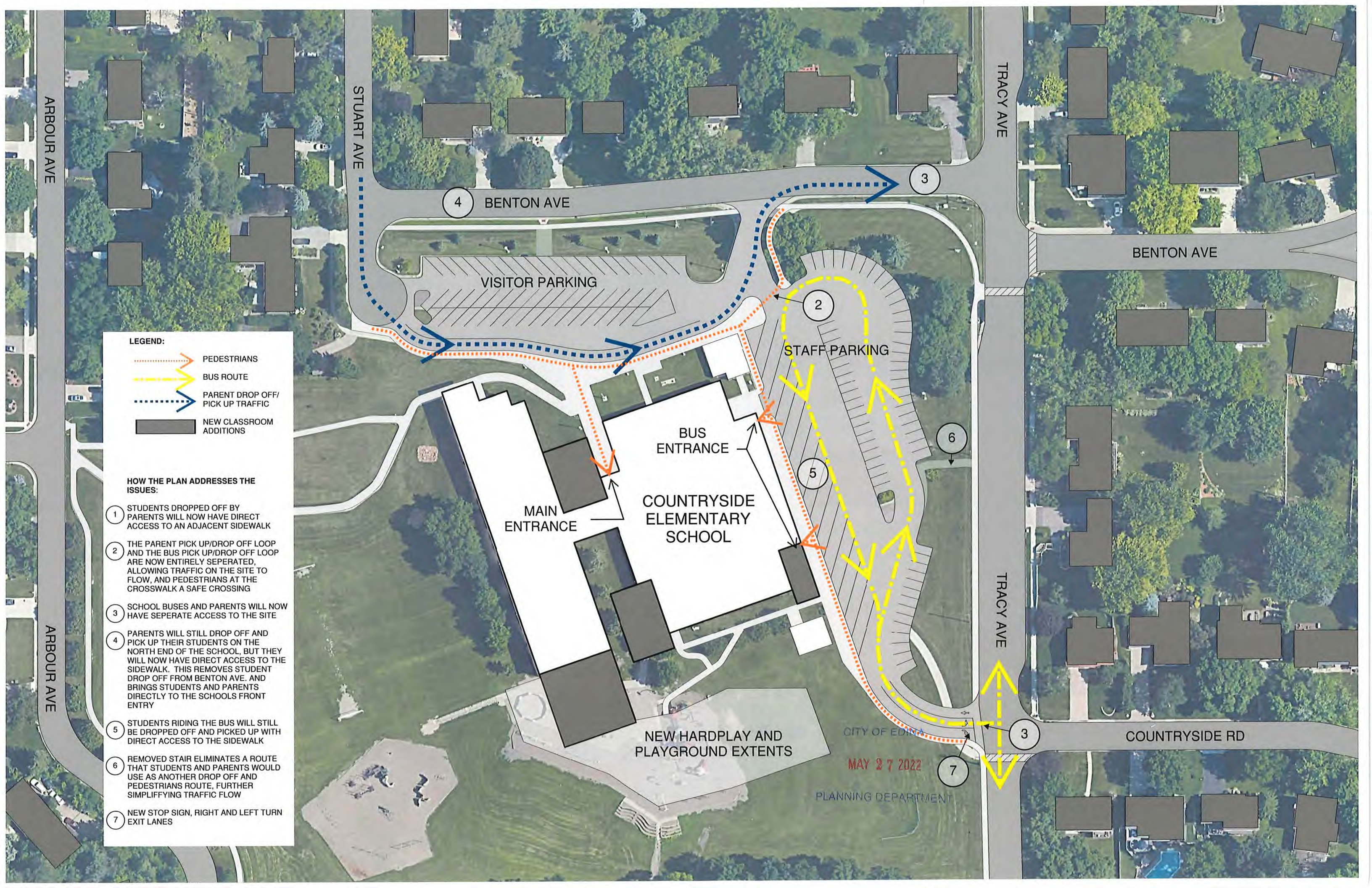
1 in = 752 ft







The City of  
**EDINA**



June 23, 2022



**LEGEND:**

-  PEDESTRIANS
-  BUS ROUTE
-  PARENT DROP OFF/ PICK UP TRAFFIC
-  NEW CLASSROOM ADDITIONS

**HOW THE PLAN ADDRESSES THE ISSUES:**

- 1 STUDENTS DROPPED OFF BY PARENTS WILL NOW HAVE DIRECT ACCESS TO AN ADJACENT SIDEWALK
- 2 THE PARENT PICK UP/DROP OFF LOOP AND THE BUS PICK UP/DROP OFF LOOP ARE NOW ENTIRELY SEPERATED, ALLOWING TRAFFIC ON THE SITE TO FLOW, AND PEDESTRIANS AT THE CROSSWALK A SAFE CROSSING
- 3 SCHOOL BUSES AND PARENTS WILL NOW HAVE SEPERATE ACCESS TO THE SITE
- 4 PARENTS WILL STILL DROP OFF AND PICK UP THEIR STUDENTS ON THE NORTH END OF THE SCHOOL, BUT THEY WILL NOW HAVE DIRECT ACCESS TO THE SIDEWALK. THIS REMOVES STUDENT DROP OFF FROM BENTON AVE. AND BRINGS STUDENTS AND PARENTS DIRECTLY TO THE SCHOOLS FRONT ENTRY
- 5 STUDENTS RIDING THE BUS WILL STILL BE DROPPED OFF AND PICKED UP WITH DIRECT ACCESS TO THE SIDEWALK
- 6 REMOVED STAIR ELIMINATES A ROUTE THAT STUDENTS AND PARENTS WOULD USE AS ANOTHER DROP OFF AND PEDESTRIANS ROUTE, FURTHER SIMPLIFYING TRAFFIC FLOW
- 7 NEW STOP SIGN, RIGHT AND LEFT TURN EXIT LANES

4 BENTON AVE

VISITOR PARKING

STAFF PARKING

BUS ENTRANCE

MAIN ENTRANCE

COUNTRYSIDE ELEMENTARY SCHOOL

NEW HARDPLAY AND PLAYGROUND EXTENTS

MAY 27 2022

PLANNING DEPARTMENT

STUART AVE

TRACY AVE

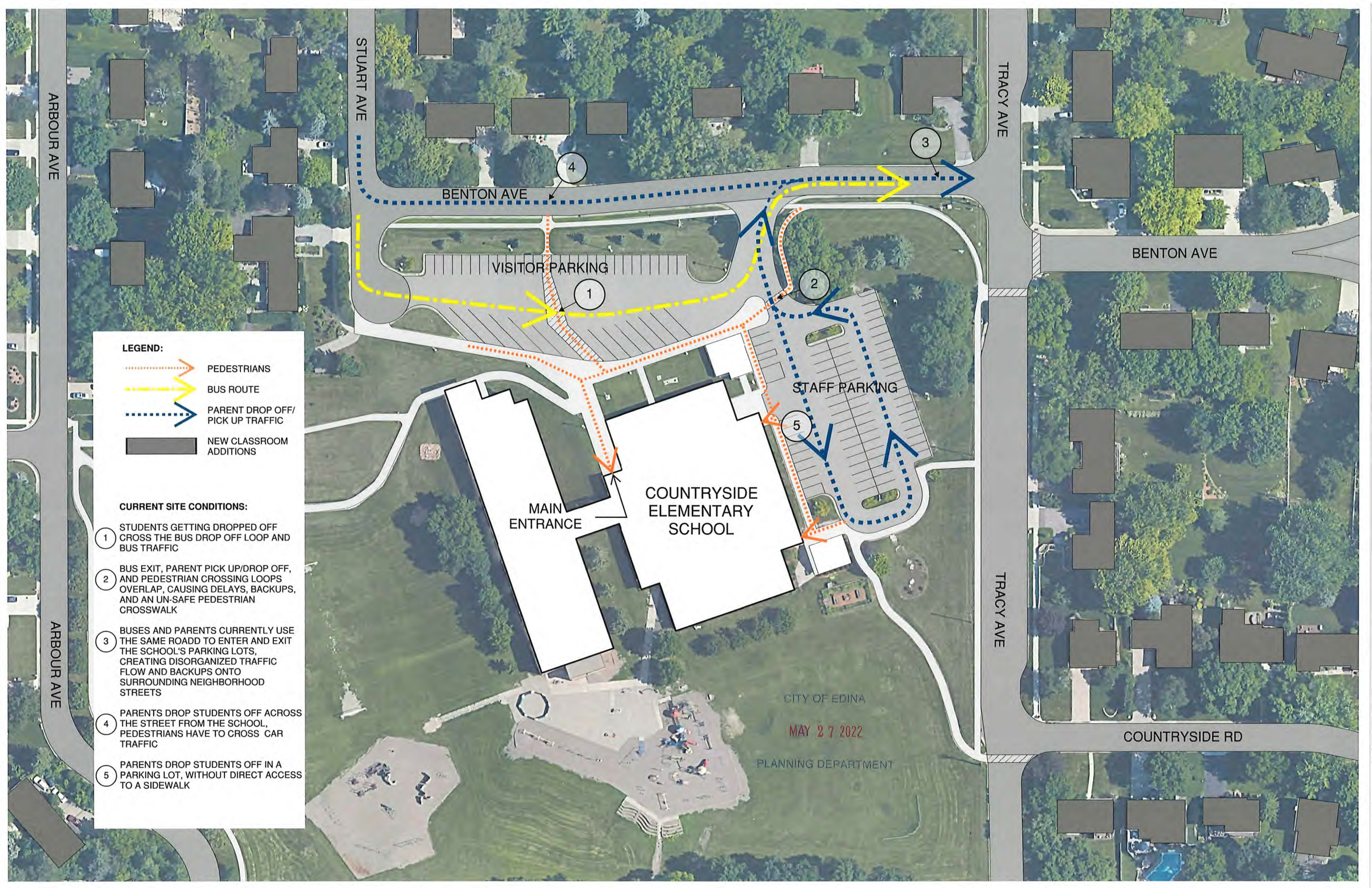
BENTON AVE

TRACY AVE

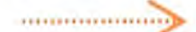



COUNTRYSIDE RD

ARBOUR AVE

ARBOUR AVE



**LEGEND:**

-  PEDESTRIANS
-  BUS ROUTE
-  PARENT DROP OFF/ PICK UP TRAFFIC
-  NEW CLASSROOM ADDITIONS

**CURRENT SITE CONDITIONS:**

- ① STUDENTS GETTING DROPPED OFF CROSS THE BUS DROP OFF LOOP AND BUS TRAFFIC
- ② BUS EXIT, PARENT PICK UP/DROP OFF, AND PEDESTRIAN CROSSING LOOPS OVERLAP, CAUSING DELAYS, BACKUPS, AND AN UN-SAFE PEDESTRIAN CROSSWALK
- ③ BUSES AND PARENTS CURRENTLY USE THE SAME ROAD TO ENTER AND EXIT THE SCHOOL'S PARKING LOTS, CREATING DISORGANIZED TRAFFIC FLOW AND BACKUPS ONTO SURROUNDING NEIGHBORHOOD STREETS
- ④ PARENTS DROP STUDENTS OFF ACROSS THE STREET FROM THE SCHOOL, PEDESTRIANS HAVE TO CROSS CAR TRAFFIC
- ⑤ PARENTS DROP STUDENTS OFF IN A PARKING LOT, WITHOUT DIRECT ACCESS TO A SIDEWALK

COUNTRYSIDE ELEMENTARY SCHOOL

MAIN ENTRANCE

VISITOR PARKING

STAFF PARKING

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

ARBOUR AVE

STUART AVE

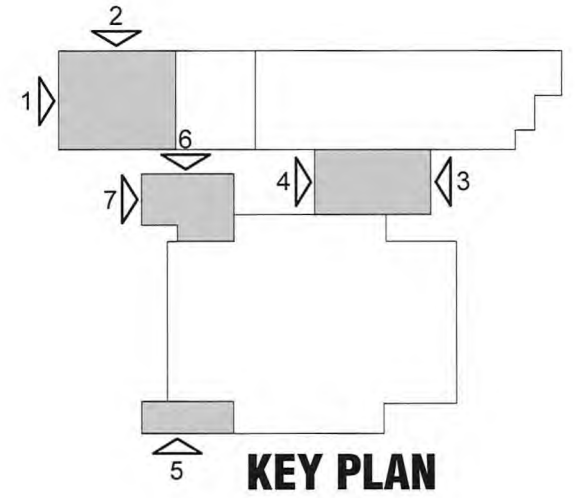
BENTON AVE

TRACY AVE

BENTON AVE

TRACY AVE

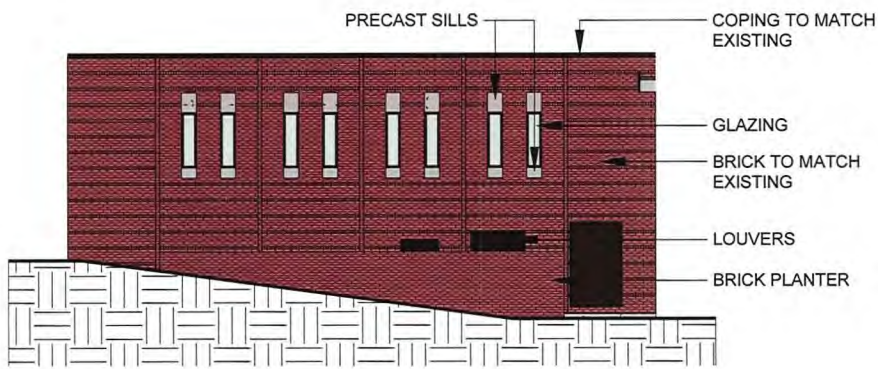
COUNTRYSIDE RD



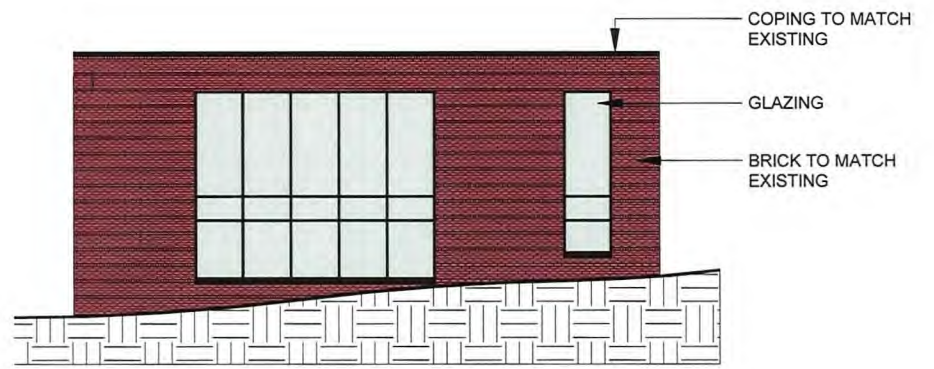
**1 CLASSROOM SOUTH ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'



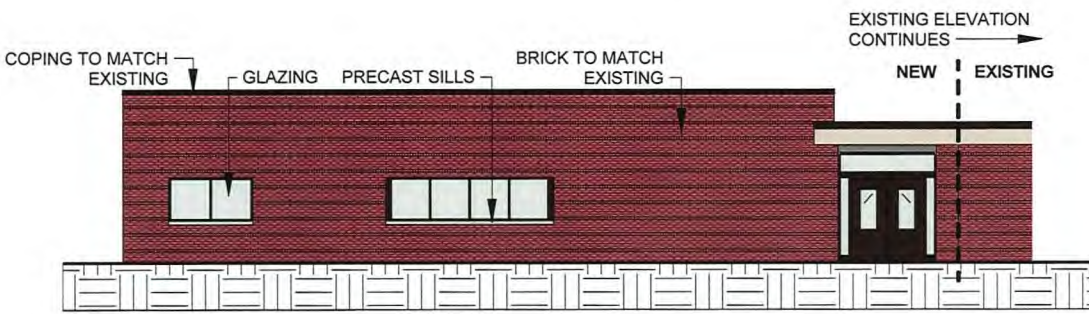
**2 CLASSROOM WEST ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'



**3 LINK NORTH ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'

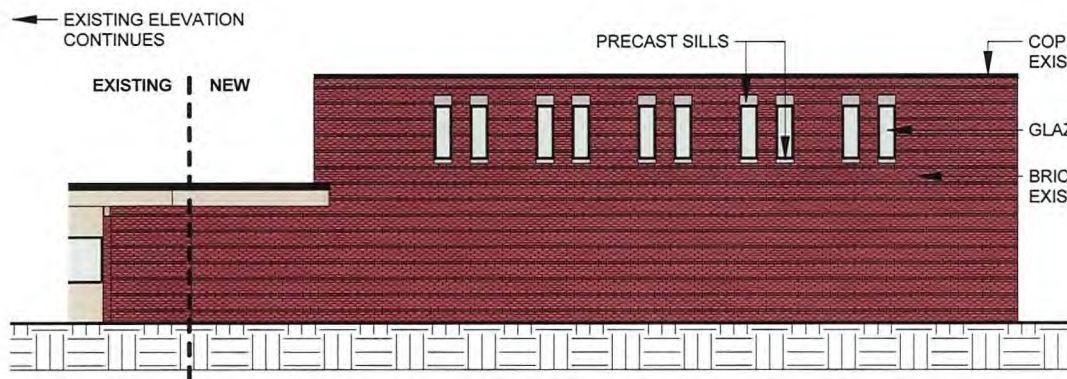


**4 LINK SOUTH ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'

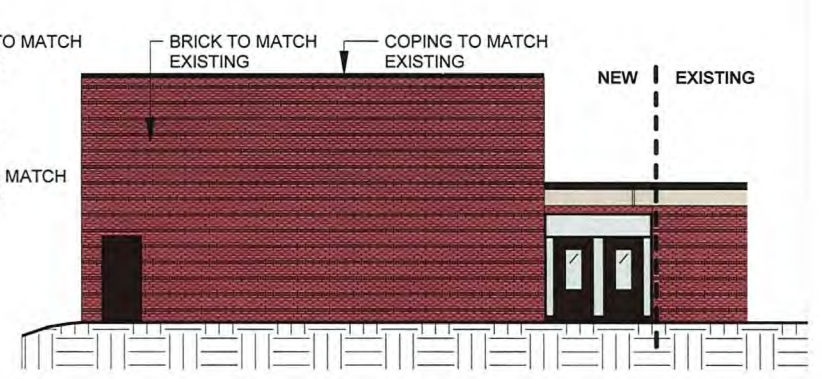


**5 SPED EAST ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'

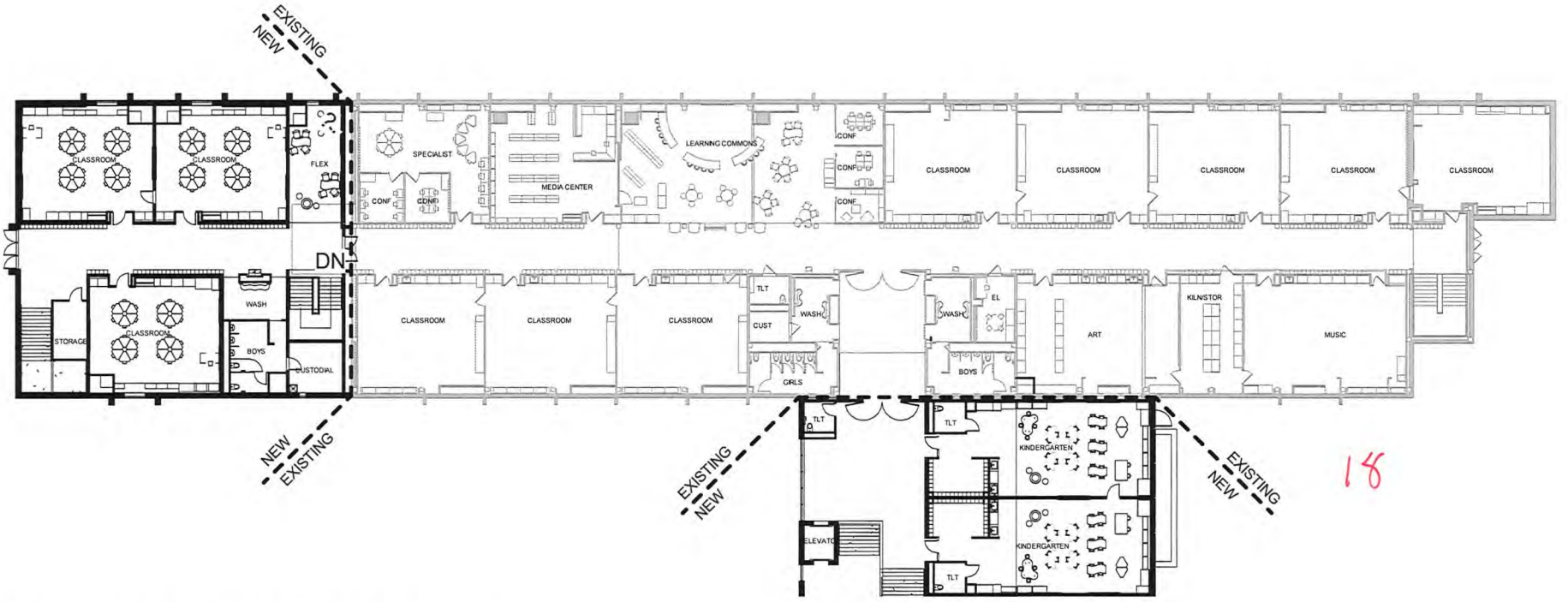
CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT



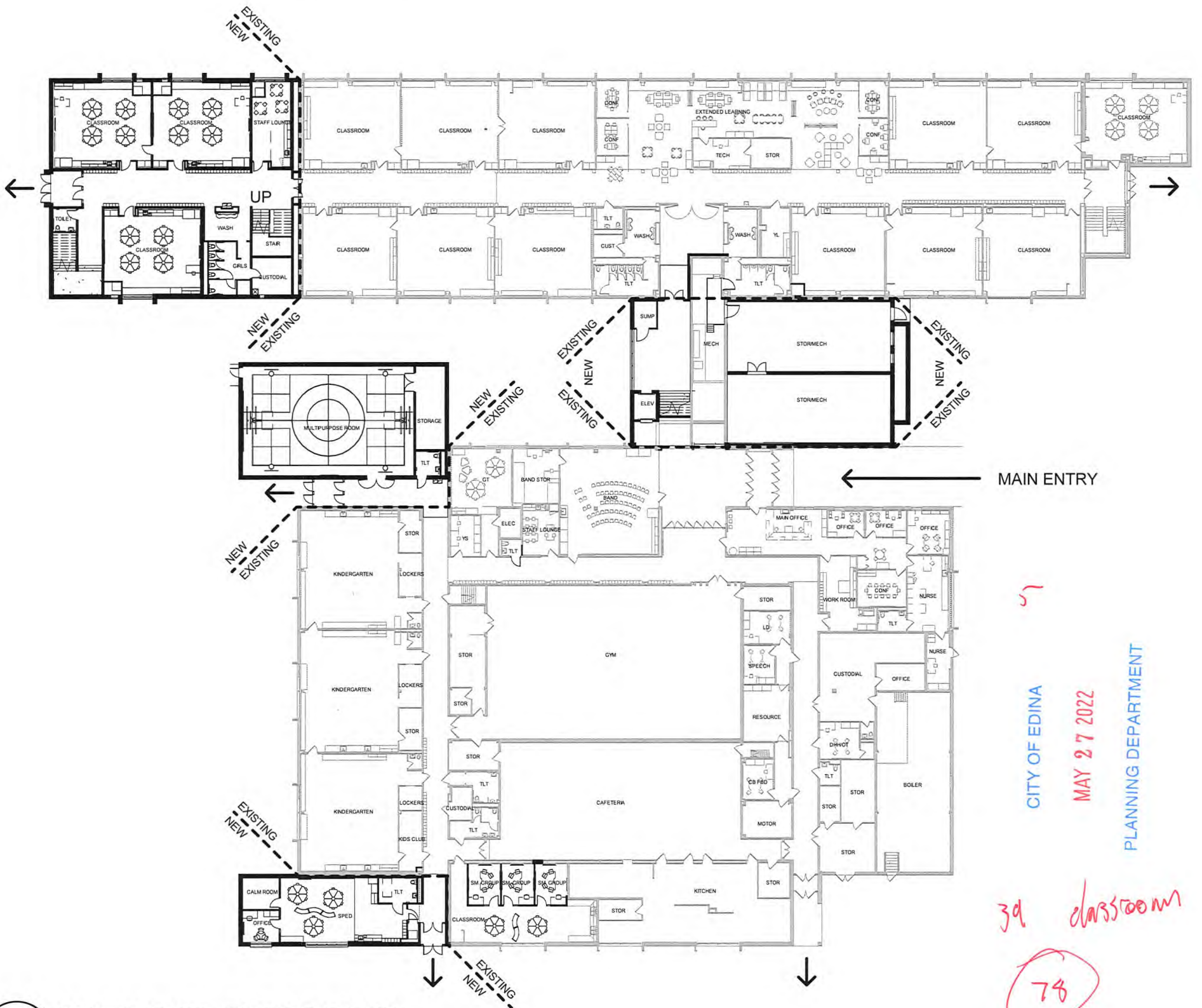
**6 MULTI-PURPOSE WEST ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'



**7 MULTI-PURPOSE SOUTH ELEVATION**  
 1/16" = 1'-0"  
 0 12' 24'



**1 UPPER LEVEL FLOOR PLAN**  
 1" = 40'-0"  
 0 30' 60'



**2 MAIN LEVEL FLOOR PLAN**  
 1" = 40'-0"  
 0 30' 60'

CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT  
 39 classrooms  
 78

**DESCRIPTION OF PROPERTY SURVEYED.**  
(Per Certificate of Title No. 356068)

Lots 1 to 5 inclusive, Block 2, Broadmore Addition;  
Lots 1 to 15 inclusive, Block 2;  
Lot 1, Block 4;  
All of West Fifty-Ninth Street, vacated, lying between the  
Stuart Avenue, vacated, lying between the extensions across it of  
the North line of Block 2 and the South line of Block 3;  
all in 1/4 Sec. 32.

And  
(Per Warranty Deed Doc. No. 3521216)  
Lot six (6), Block two (2), Cogramar 2nd Addition, according to  
the recorded plat thereof.

And  
Outlet 3, Cogramar 2nd Addition, except that part taken for  
right-of-way.

All in Hennepin County, Minnesota

**TITLE COMMITMENT**

This survey was prepared without the benefit of current title work.  
Easements, appurtenances, and encumbrances may exist in  
addition to those shown hereon. This survey is subject to revision  
whenever a current title insurance commitment or  
attorney's title opinion.

**LEGEND**

- AIS Denotes air conditioning
- ARB Denotes asphalt
- BH Denotes basketball hoop
- BR Denotes brick
- LL Denotes limestone
- CB Denotes catch basin
- CBOX Denotes control box
- CPK Denotes catch pipe
- CO Denotes cast iron pipe
- CD Denotes electric meter
- EL Denotes electric line
- EM Denotes electric meter
- FL Denotes fire hydrant
- FM Denotes fire hydrant
- FOL Denotes fiber optic line
- FW Denotes fire water
- GP Denotes gas pipe
- GS Denotes gas
- GW Denotes gas well
- HRS Denotes handiwork
- HCS Denotes handiwork
- HHS Denotes handiwork
- HHC Denotes handiwork
- HHF Denotes handiwork
- KWT Denotes keyhole
- LP Denotes light pole
- MG Denotes metal grate
- OD Denotes overhead door
- PEP Denotes polyethylene pipe
- PVS Denotes post indicator valve
- PPC Denotes portable curb
- PPP Denotes power pole
- PPT Denotes power pole with transformer
- PBTL Denotes plastic table
- PIP Denotes pipe
- RCP Denotes reinforced concrete pipe
- RDN Denotes roof drain
- RAN Denotes sanitary drain
- SAN Denotes sanitary drain
- SAN Denotes sanitary drain
- STC Denotes storm sewer
- TAS Denotes truncated dome
- TBP Denotes terephthal pole
- TCS Denotes traffic control sign
- TRANS Denotes transformer
- UC Denotes underground
- V Denotes vent
- W Denotes water
- WP Denotes water pipe
- WV Denotes water valve
- AWL Denotes apple tree
- ARB Denotes arbutus
- BAS Denotes bass tree
- BCH Denotes black cherry tree
- CRAB Denotes crabapple tree
- LOC Denotes locust tree
- MFL Denotes maple tree
- PNR Denotes pine tree
- RFN Denotes red pine tree
- SPRC Denotes spruce tree
- SPR Denotes spruce tree
- WIL Denotes willow tree

**CITY OF EDINA**

PLANNING DEPARTMENT

MAY 27 2022

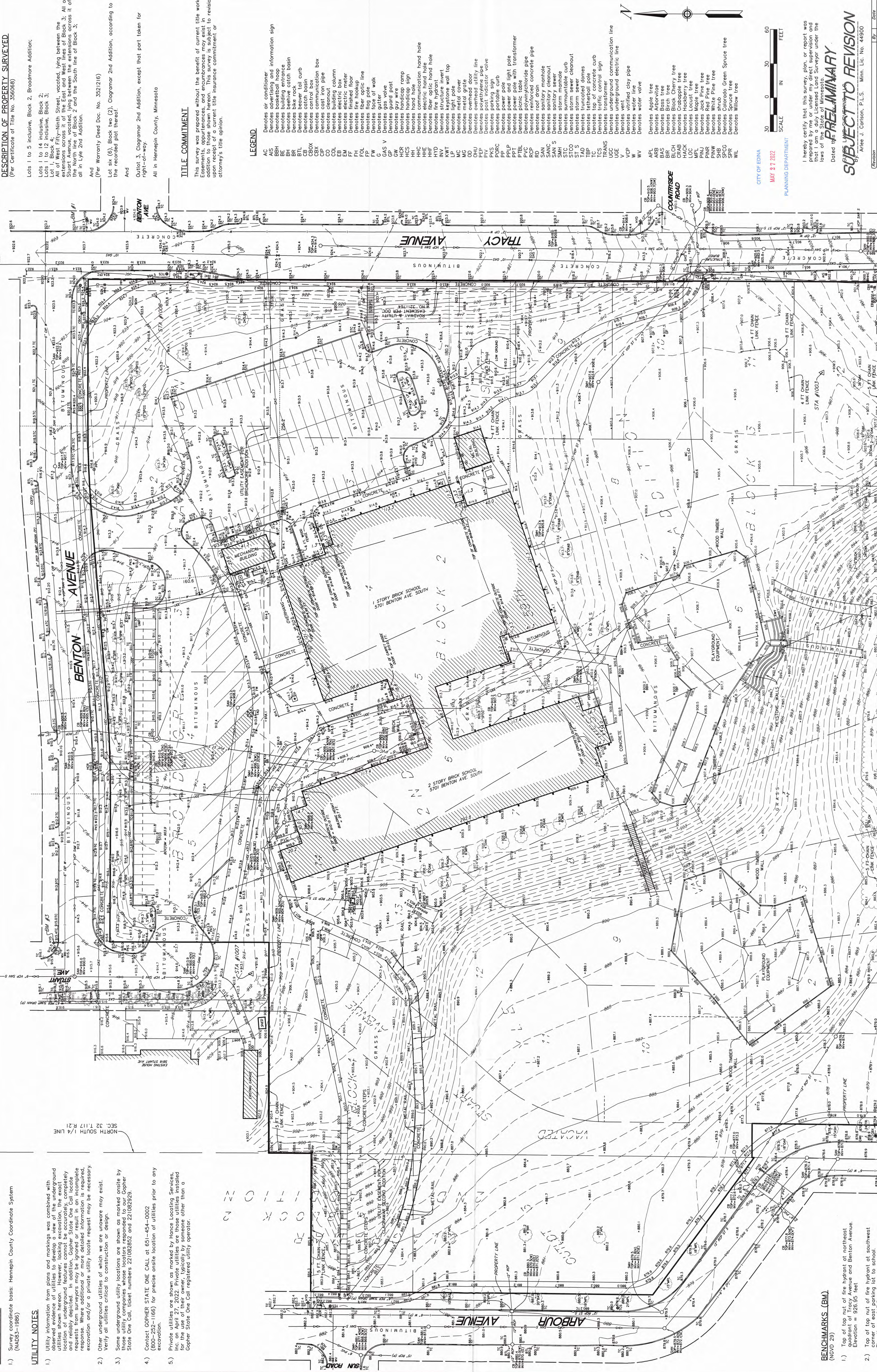
SCALE

IN FEET

0 30 60

I hereby certify that this survey, plan, or report was  
prepared by me or under my direct supervision and  
that I am a duly Licensed Land Surveyor under the  
laws of the State of Minnesota.  
Dated **11/15/2021**  
**PRELIMINARY**  
**SUBJECT TO REVISION**  
Arlene T. Corton, P.L.S. Minn. Lic. No. 44900

**BOUNDARY LOCATION, TOPOGRAPHIC  
and UTILITY SURVEY FOR:**  
**ISD #273**  
**COUNTRYSIDE ELEMENTARY SCHOOL**  
**LAND SURVEYING**  
www.sunde.com  
P.O. Box 12024, Eden Prairie, MN 55341  
952-961-2425 (Fax) 952-961-2425  
952-961-2425 (Cell) 952-961-2425



**GENERAL NOTE**

1) Survey coordinate basis: Hennepin County Coordinate System (NAD83--1988)

**UTILITY NOTES**

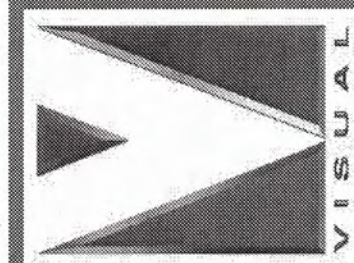
- 1) Utility information from plans and methods was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, looking excavation, the exact location and depth of any utility is not guaranteed. Utility location and depth information is provided for informational purposes only. Requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary. Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 2) Some underground utility locations are shown as marked onsite by Gopher State One Call, ticket numbers 221082852 and 221082928.
- 3) Contact GOPHER STATE ONE CALL at 855-464-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- 4) Private utilities are shown as marked by Hance Locating Services, Inc. on April 27, 2022. Private utilities are those utilities installed by a utility owner other than a Gopher State One Call registered utility operator.

**▲ SURVEY CONTROL STATIONS**

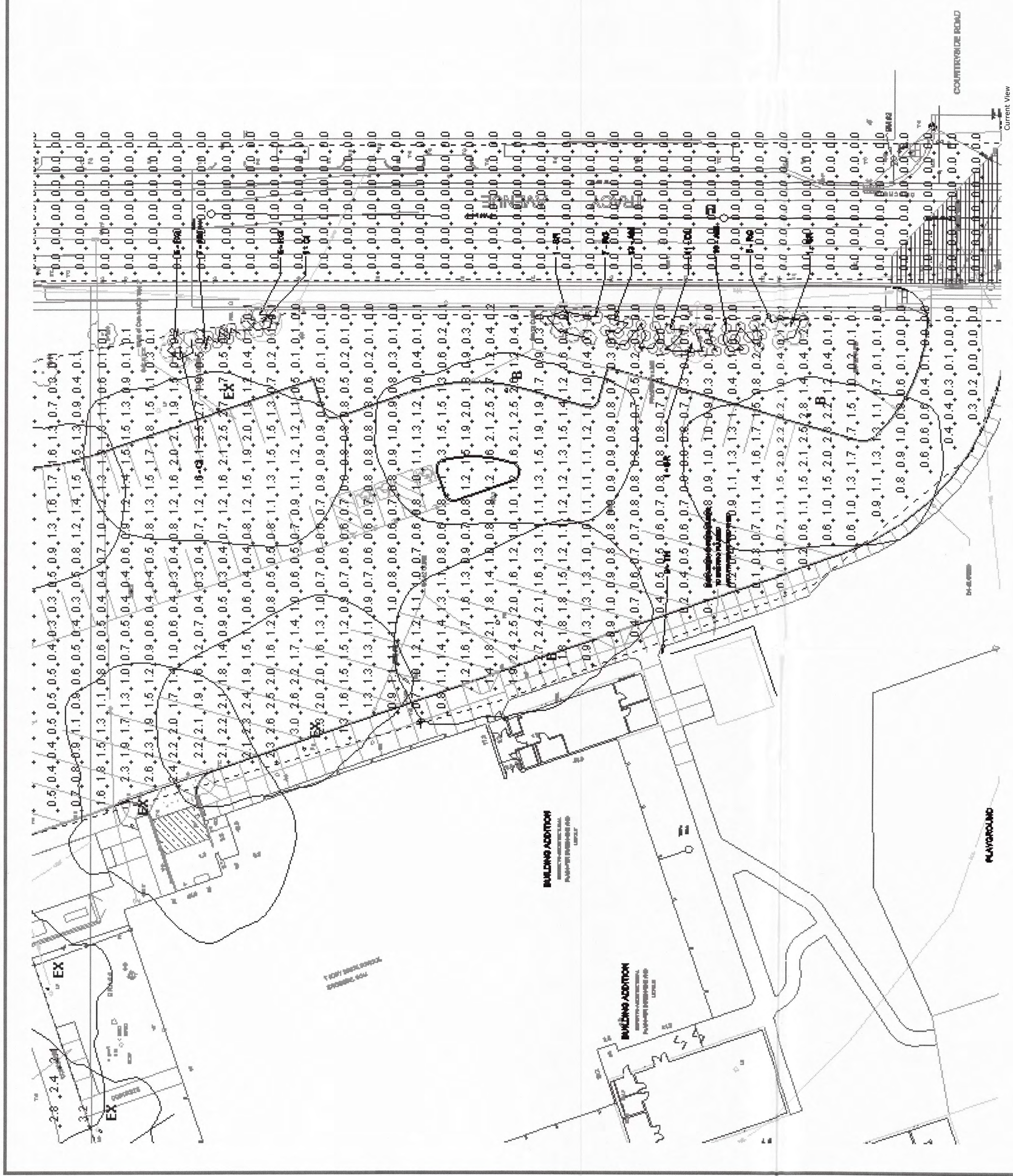
STA	NORTHING	EASTING	ELEVATION
1003	138008.030	503395.185	906.54
1007	138508.570	503395.190	912.10
1008	138595.690	503395.190	923.96

SOUTH LINE OF THE NW 1/4  
OF THE SE 1/4 OF SEC. 32  
T.117 R.21

- BENCHMARKS (BM.)**  
(NOV0 29)
- 1) Top of top nut of fire hydrant at northeast corner of Tracy Avenue and Benton Avenue. Elevation = 926.95 feet
  - 2) Top of top nut of fire hydrant at southwest corner of east parking lot to school. Elevation = 917.31
  - 3) Top of top nut of fire hydrant at northeast corner of Benton Avenue and Stuart Avenue. Elevation = 919.91 feet.

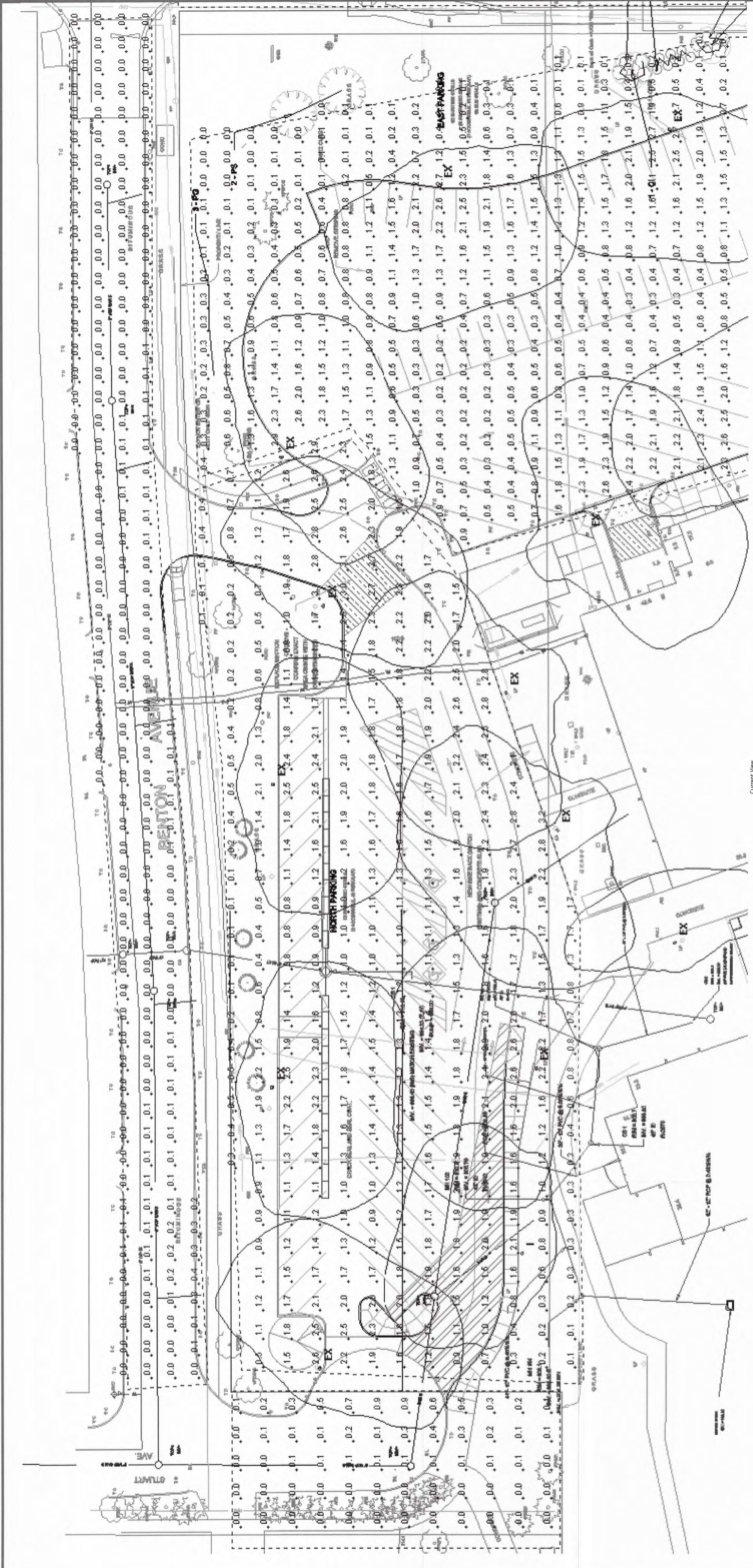
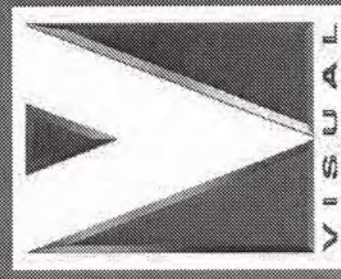


CITY OF EDNA  
MAY 9 2022  
PLANNING DEPARTMENT



Description	Symbol	Qty	Watt	Watt/ftm	Watt/ftm
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A
Street Light	+	0.00	0.00	0.00	N/A

Symbol	Label	Quantity	Manufacturer	Model	Description	Lamp	Footcandle	Watt	Watt/ftm	Watt/ftm
□	EX	4	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500
□	EX	1	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500
□	EX	1	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500
□	B	3	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500
□	EX	1	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500
□	I	1	Lighting	1500	1500 LED P5 LED	1500 LED P5 LED	1500	1500	1500	1500



Current View

Statistics

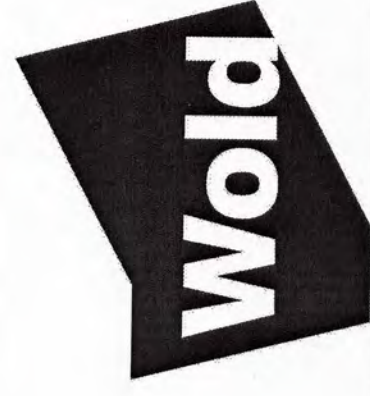
Description	Symbol	Qty	Area	Max	Min	Max/Min Avg/Min
BENTON AVE	+	0.0%	1.0%	1.0%	0.0%	0.5%
EAST PARKING	+	0.0%	1.0%	1.0%	0.0%	0.5%
NORTH PARKING	+	0.0%	1.0%	1.0%	0.0%	0.5%
UNPAVED	+	0.0%	1.0%	1.0%	0.0%	0.5%

Schedule Symbol	Label	Quantity	Manufacturer	Category	Description	Units	Number	Footcandle	Lumens Per Footcandle	Light Loss	Wattage
EX	4	1	Lighting	LED	4000K LED 100W	100W	1	100	10000	0.85	85
EX	1	1	Lighting	LED	4000K LED 100W	100W	1	100	10000	0.85	85
EX	8	1	Lighting	LED	4000K LED 100W	100W	1	100	10000	0.85	85
I	1	1	Lighting	LED	4000K LED 100W	100W	1	100	10000	0.85	85



**COUNTRYSIDE  
AND CONCORD  
ELEMENTARY  
SCHOOLS  
ADDITIONS**  
5701 BENTON AVENUE SOUTH  
EDINA, MN 55436

**INDEPENDENT SCHOOL  
DISTRICT #273**  
5701 NORMAN DALE ROAD  
EDINA, MN 55424



**WOLD ARCHITECTS  
AND ENGINEERS**  
333 Milwaukee Avenue, Suite W2000  
St. Paul, MN 55101  
woldae.com | 612.227.7773

**BOLTON  
& MENK**  
Real People. Real Solutions.  
7576 GOLDEN VALLEY PARKS, BLDG 300  
GOLDEN VALLEY, MINNESOTA, USA 55427  
Phone: (763) 544-7129  
Email: gbolton@boltonmenk.com  
www.boltonmenk.com

1. Verify all plants are available and meet the minimum requirements for the site. The contractor shall be responsible for verifying the availability of all plants and for obtaining all necessary permits for their installation.

2. The contractor shall be responsible for the selection and procurement of all plants and for ensuring that they meet the minimum requirements for the site.

3. The contractor shall be responsible for the installation and maintenance of all plants and for ensuring that they meet the minimum requirements for the site.

4. The contractor shall be responsible for the removal and disposal of all plants and for ensuring that they meet the minimum requirements for the site.

5. The contractor shall be responsible for the watering and maintenance of all plants and for ensuring that they meet the minimum requirements for the site.

6. The contractor shall be responsible for the protection of all plants and for ensuring that they meet the minimum requirements for the site.

7. The contractor shall be responsible for the replacement of all plants and for ensuring that they meet the minimum requirements for the site.

8. The contractor shall be responsible for the removal and disposal of all plants and for ensuring that they meet the minimum requirements for the site.

9. The contractor shall be responsible for the watering and maintenance of all plants and for ensuring that they meet the minimum requirements for the site.

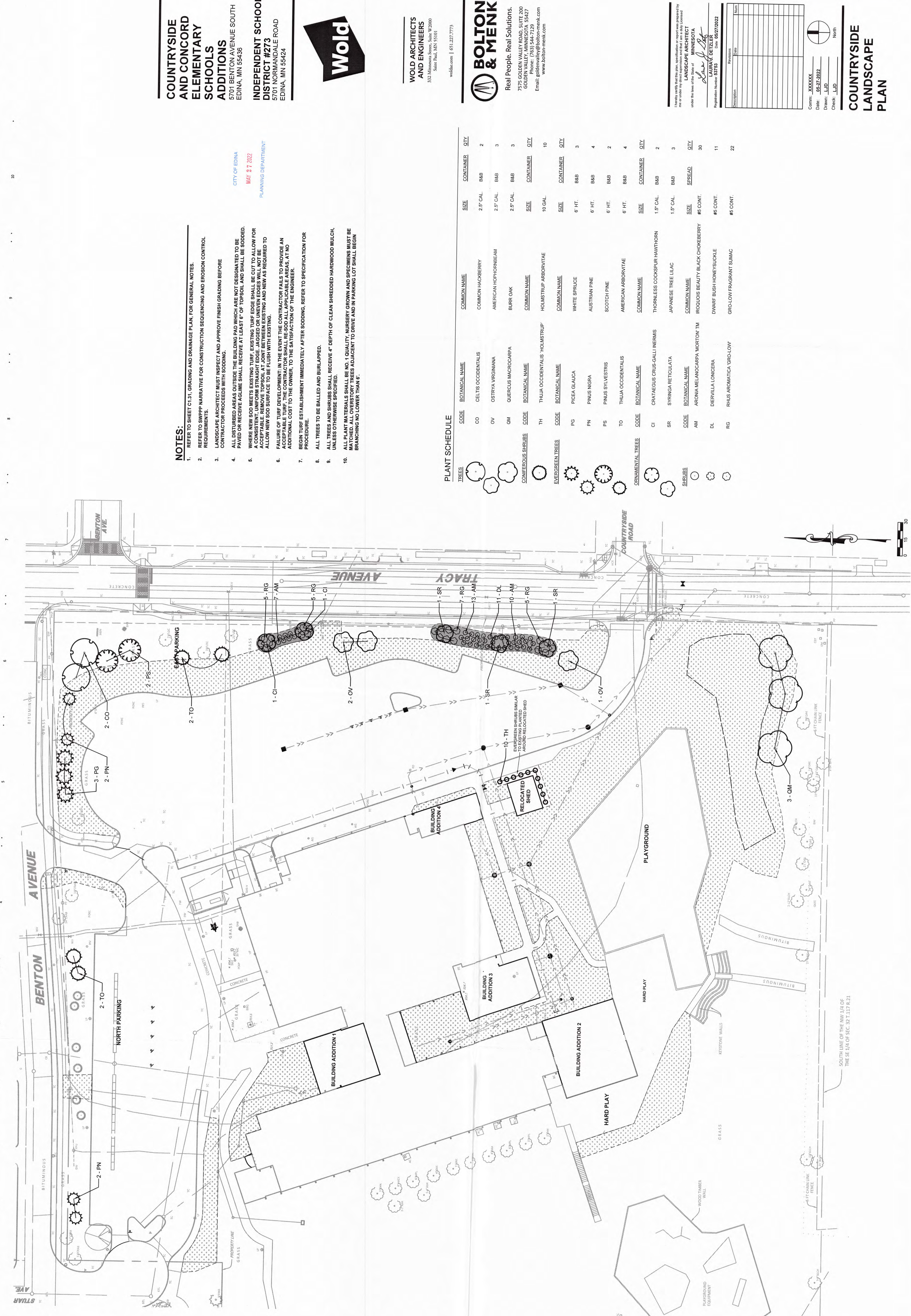
10. The contractor shall be responsible for the protection of all plants and for ensuring that they meet the minimum requirements for the site.

11. The contractor shall be responsible for the replacement of all plants and for ensuring that they meet the minimum requirements for the site.

12. The contractor shall be responsible for the removal and disposal of all plants and for ensuring that they meet the minimum requirements for the site.

13. The contractor shall be responsible for the watering and maintenance of all plants and for ensuring that they meet the minimum requirements for the site.

14. The contractor shall be responsible for the protection of all plants and for ensuring that they meet the minimum requirements for the site.



- NOTES:**
- REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
  - REFER TO SWPPP NARRATIVE FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
  - LANDSCAPE ARCHITECT MUST INSPECT AND APPROVE FINISH GRADING BEFORE CONTRACTOR PROCEEDS WITH SOODING.
  - ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE A FILL SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SOODED.
  - WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ALLOWED. NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
  - FAILURE OF TURF PRIOR TO THE CONTRACTOR, IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
  - BEGUN TURF ESTABLISHMENT IMMEDIATELY AFTER SOODING. REFER TO SPECIFICATION FOR PROCEDURE.
  - ALL TREES TO BE BALLED AND BURLAPPED.
  - ALL TREES AND SHRUBS SHALL RECEIVE 4" DEPTH OF CLEAN SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
  - ALL PLANT MATERIALS SHALL BE NO. 1 QUALITY, NURSERY GROWN AND SPECIMENS MUST BE MATCHED. ALL PLANT MATERIALS ADJACENT TO DRIVE AND IN PARKING LOT SHALL BEGIN BRANCHING NO LOWER THAN 6".

CITY OF EDINA  
MAY 27 2022  
PLANNING DEPARTMENT

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL	B&B	2
	OV	Ostrya virginiana	AMERICAN HOPHORNSLEM	2.5" CAL	B&B	3
	OM	QUERCUS MACROCARPA	BURR OAK	2.5" CAL	B&B	3
CONIFEROUS SHRUBS	TH	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	10 GAL	CONTAINER	10
	PG	PICEA GLAUCA	WHITE SPRUCE	6" HT	B&B	3
	PN	PNUS INGRA	AUSTRIAN PINE	6" HT	B&B	4
EVERGREEN TREES	PS	PNUS SYLVESTRIS	SCOTCH PINE	6" HT	B&B	2
	TO	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6" HT	B&B	4
	CI	CRATAEGUS CRUG-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	1.5" CAL	B&B	2
ORNAMENTAL TREES	SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.5" CAL	B&B	3
	AM	ARONIA MELANOCARPA WORTON TM	IRIDIUM BEAUTY BLACK CHOKEBERRY	#5 CONT.	SPREAD	30
	DL	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#6 CONT.	#6 CONT.	11
SHRUBS	RG	RHUS AROMATICA GRO-LOW	GRO-LOW FRAGRANT SUMAC	#6 CONT.	#6 CONT.	22

Scale: 1"=30'

**L1.11**

**COUNTRYSIDE  
LANDSCAPE  
PLAN**

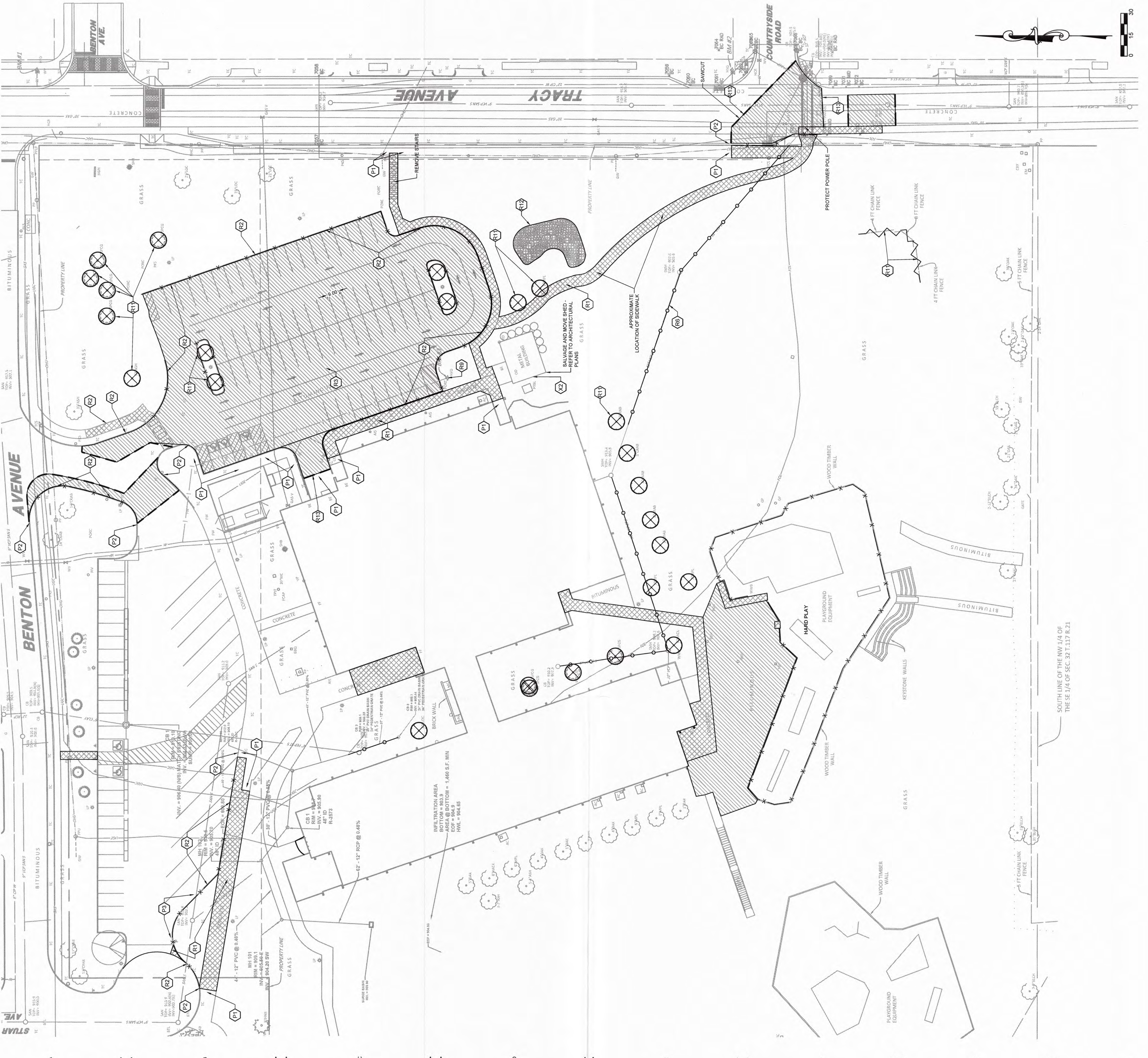
Com: XXXXXX  
Date: 05/22/2022  
Drawn: LJD  
Check: LJD

Registration Number: 51743  
Date: 06/27/2022

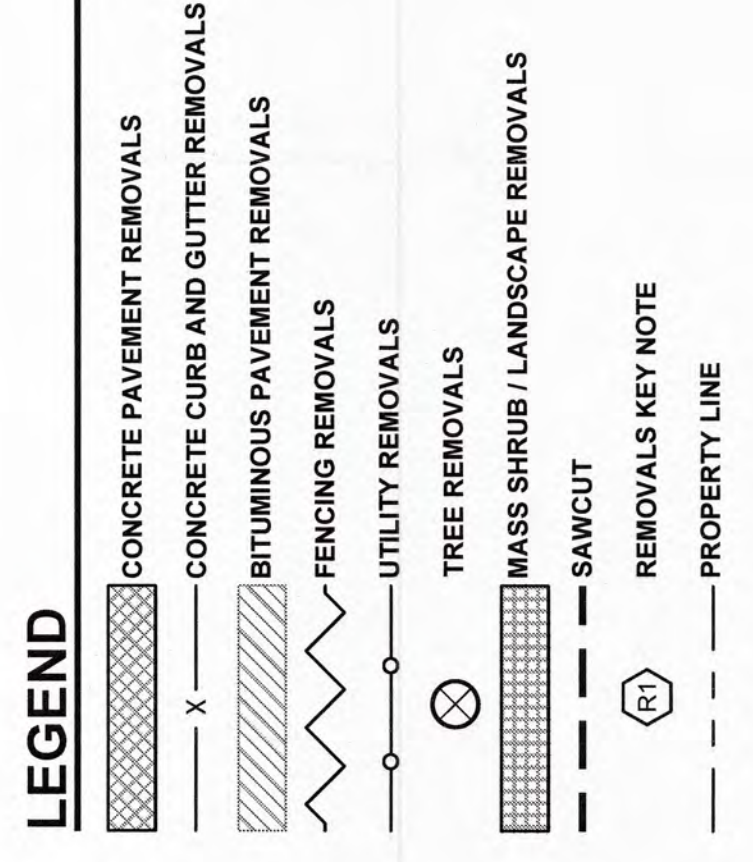
**CITY SUBMITTAL  
NOT FOR CONSTRUCTION**

MN

C



- NOTES:**
1. REFER TO SHEET C1.17, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
  2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALLS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, FENCING, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
  3. REMOVE OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO OWNERS SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
  4. VISIT THE SITE PRIOR TO BIDDING; BE FAMILIAR WITH ACTUAL CONDITIONS IN THE FIELD. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR CONDITIONS WHICH COULD HAVE BEEN DETERMINED OR ANTICIPATED BY EXAMINATION OF THE SITE. THE CONTRACT DRAWINGS AND THE INFORMATION AVAILABLE PERTAINING TO EXISTING SOILS, UTILITIES AND OTHER SITE CHANGING FEATURES.
  5. THE CONTRACTOR SHALL HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

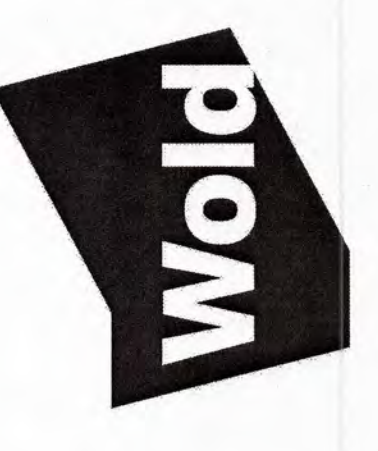


**KEY NOTE LEGEND**

- R1 REMOVE CONCRETE PAVEMENT TO NEAREST JOINT
- R2 REMOVE CONCRETE CURB AND GUTTER / VALLEY GUTTER
- R3 REMOVE BITUMINOUS PAVEMENT
- R4 REMOVE FENCING (INCLUDING FOOTINGS AND GATES)
- R5 REMOVE TRAFFIC CONTROL SIGN AND POST
- R6 REMOVE STORM SEWER
- R7 REMOVE STORM SEWER STRUCTURE
- R8 REMOVE WATERMAIN
- R9 REMOVE HYDRANT
- R10 REMOVE GATE VALVE
- R11 REMOVE TREE
- R12 REMOVE LANDSCAPING (MULCH, SHRUBS, ETC.)
- R13 SAWCUT
- R14 PROTECT CONCRETE PAVEMENT
- R15 PROTECT CONCRETE CURB AND GUTTER / VALLEY GUTTER
- R16 PROTECT BITUMINOUS PAVEMENT
- R17 PROTECT FENCING (INCLUDING FOOTINGS AND GATES)
- R18 PROTECT TRAFFIC CONTROL SIGN AND POST
- R19 PROTECT BOLLARD AND FOOTING
- R20 PROTECT RETAINING WALL
- R21 PROTECT STORM SEWER
- R22 PROTECT STORM SEWER STRUCTURE
- R23 PROTECT SANITARY SEWER
- R24 PROTECT SANITARY SEWER STRUCTURE
- R25 PROTECT WATERMAIN
- R26 PROTECT HYDRANT
- R27 PROTECT UNDERGROUND UTILITY
- R28 PROTECT TREE
- R29 PROTECT LANDSCAPING (MULCH, SHRUBS, ETC.)
- R30 REFER TO SHEET C1.41 - UTILITY AND EROSION CONTROL PLANS FOR TREATMENT
- R31 REFER TO ARCHITECTURAL PLANS FOR TREATMENT
- R32 REFER TO ELECTRICAL PLANS FOR TREATMENT

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMANDALE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
 3325 UNIVERSITY AVENUE, SUITE 100  
 SAINT PAUL, MN 55110  
 wold.com | 612.227.7773



**BOLTON & MENK**  
 Real People. Real Solutions.  
 7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 Phone: (763) 544-7129  
 Email: goldenvalley@bolton-menk.com  
 www.boltonmenk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.

**D. J. MELTZER**  
 CIVIL ENGINEER  
 Registration Number: 40180 Date: 06/27/2022

No.	Revisions	Date

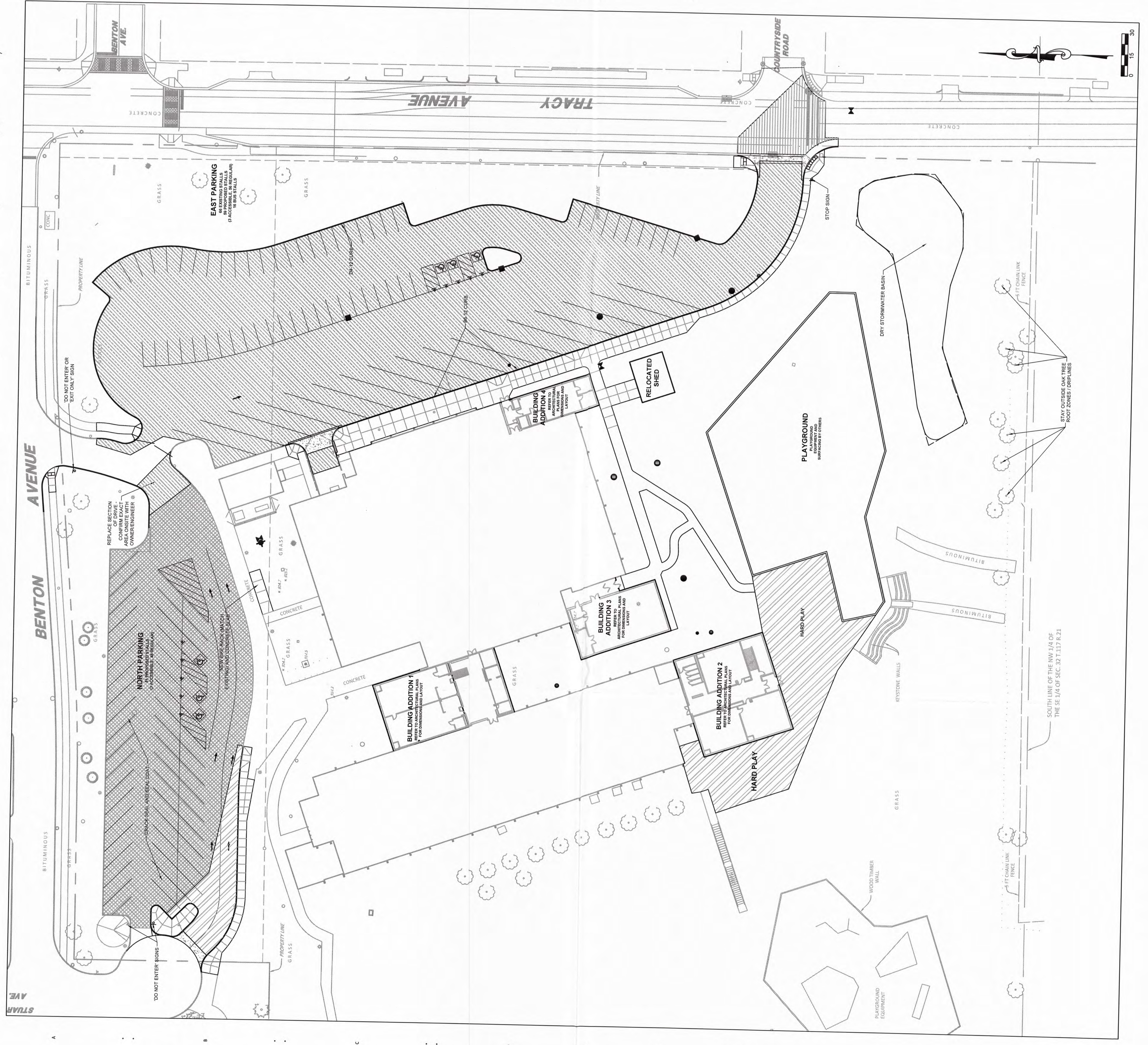
Comm: 202000X  
 Drawn: LJD  
 Check: DAR

**COUNTRYSIDE REMOVALS PLAN**

Scale: 1"=30'

**C1.11**

**CITY SUBMITTAL NOT FOR CONSTRUCTION**



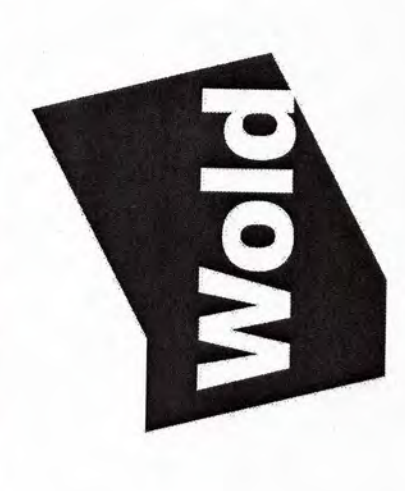
- NOTES:**
1. REFER TO SHEET C1.1, COUNTRYSIDE GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
  2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
  3. SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
  4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 9" OF TOPSOIL AND SHALL BE SODED OR SEED.
  5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR ACCEPTABLE REMOVE TOPSOIL AT JOINTS. EXISTING TURF AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
  6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

**SITE STATISTICS:**  
 EXISTING PARKING COUNTS (BY TOTAL STALLS):  
 BUS PARKING = 12 STALLS  
 CAR PARKING = 110 STALLS  
 PROPOSED PARKING COUNTS (BY TOTAL STALLS):  
 BUS PARKING = 12 STALLS  
 CAR PARKING = 110 STALLS  
 ACCESSIBLE PARKING STALL REQUIREMENTS = 4 STALLS  
 ACCESSIBLE PARKING STALLS PROVIDED = 6 STALLS

- LEGEND**
- REFERENCE KEY TO SITE DETAILS
  - DETAIL SHEET NUMBER (TOP)
  - DETAIL SHEET NUMBER (BOTTOM)
  - PROPOSED CONCRETE WALK
  - PROPOSED CONCRETE SLAB
  - PROPOSED BITUMINOUS PAVEMENT CRACKSEAL / SEALCOAT
  - PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
  - PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
  - PROPOSED STREET BITUMINOUS PAVEMENT
  - PROPOSED TRAFFIC CONTROL SIGN
  - PAINTED ACCESSIBLE SYMBOL
  - PROPOSED MANHOLE (MH)
  - PROPOSED CATCH BASIN (CB)
  - PROPOSED SURGE BASIN (SB)
  - PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
  - PROPERTY LINE

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMAN DALE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
 332 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101  
 wold.com | 651.277.7773

**BOLTON & MENK**  
 Real People. Real Solutions.  
 7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 763.433.1111  
 Email: goldenvally@bolton-menk.com  
 www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
**DAVID A. REY**  
 Registration Number: 40180 Date: 06/27/2022

NO.	REVISIONS	DATE	BY	CHKD.

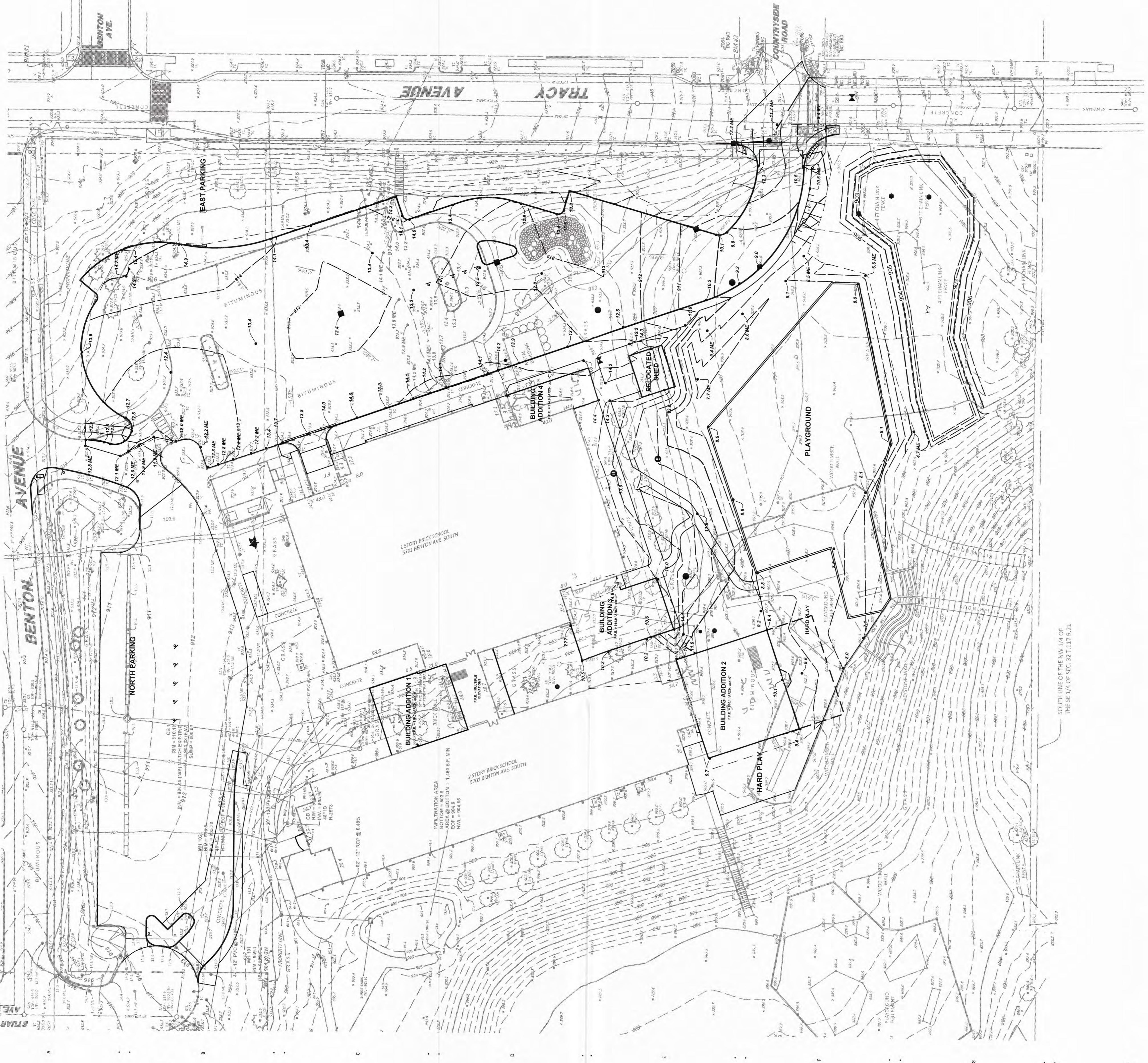
Comp: XXXXXX  
 Date: 06-27-2022  
 Drawn: LJD  
 Check: DAB

**COUNTRYSIDE FINISHING PLAN**

Scale: 1"=30'  
**C1.21**

**CITY SUBMITTAL NOT FOR CONSTRUCTION**





MN

C

**GENERAL NOTES**

1. ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING, LAYOUT.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPOES PERMIT FROM THE MPCA, SUBMIT A COPY OF ALL PERMITS TO THE CITY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, SIGNAGE (CONSTRUCTION PERMITS), AND SIGNAGE PERMITS. ALL SIGNAGE LAYOUTS MUST BE DESIGNED BY THE CONTRACTOR AND APPROVED BY LOCAL AUTHORITIES.
5. INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC. MATERIALS TO BE HANDLED.
6. REFER TO SPECIFICATIONS FOR DEMOLITION REQUIREMENTS.
7. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
8. REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, PART OF SECTION 01 89 13, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
9. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
10. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
11. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
12. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
13. PROPOSED ELEVATIONS SHOWN TYPICALLY AS 1:1 OR 1:3 SHALL BE UNDERSTOOD TO MEAN 81.1 OR 81.5.
14. SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES. PERIMETER INDICATE PROPOSED GRADES OUTSIDE THE BUILDING FOOTPRINT. ELEVATIONS WITH LABELS INSIDE THE BUILDING PERIMETER INDICATE PROPOSED FINISH FLOOR ELEVATIONS.
15. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
16. NO FINISHED SLOPES SHALL EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1), UNLESS OTHERWISE NOTED.
17. ALL DISTURBED AREAS WHICH ARE NOT DESIGNATED TO BE PAVED, SHALL RECEIVE AT LEAST 1" OF TOPSOIL (AS NOTED), REFER TO SHEET L1.11.
18. WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONCEPTUAL REMOVAL OF TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
19. FAILURE OF TURF DEVELOPMENT, IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RESEED OR RESOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
20. ALL STORM SEWER PIPE SHALL BE RCP, CLASS III (MIN.) WITH FLEXIBLE WATERSTOP JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2221, UNLESS OTHERWISE NOTED.
21. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:  
 a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL CONNECTIONS TO ALL STORM SEWER STRUCTURES.  
 b. ACCEPTABLE CONNECTIONS TO ALL STORM SEWER STRUCTURES:  
 i. FERROCEMENT, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"  
 ii. PRESS-SEAL, WATERSTOP GROUTING RINGS"  
 iii. OR APPROVED EQUAL.
22. ANY MANHOLE CATCH BASIN, STORM SEWER, DRAIN TILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED STRUCTURE. THE DISTANCE FROM THE STRUCTURE TO THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
23. LOCATE ALL EXISTING UTILITIES, VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
24. CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS AND MANHOLES. MANHOLE LOCATIONS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. CURB CENTER SHALL BE STAKED TO ALLOW CURB INLET TYPE CATCH BASINS TO BE PROPERLY LOCATED IN LINE WITH CURBING.

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL ID NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- ME = MATCH EXISTING
- EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- APPROXIMATE SOIL BORING LOCATION
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED SURGE BASIN (SB)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING - PROVIDE VERTICAL BENDS AS REQUIRED TO ACCOMPLISH CENTER ONE LENGTH WATERMAIN PIPE ON CROSSING.
- PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMAN DALE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
 333 Marquette Street, Suite 20200  
 Saint Paul, MN 55101  
 wolda.com | 612.277.7773

**BOLTON & MENK**  
 Real People. Real Solutions.  
 7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 Phone: (763) 544-7129  
 Email: goldstone@boltonandmenk.com  
 www.boltonandmenk.com

7575 Golden Valley Road, Suite 200  
 Golden Valley, Minnesota 55427  
 under the name of the State of Minnesota  
**DAVID A. REY**  
 PROFESSIONAL ENGINEER  
 Registration Number: 40180 Date: 06/27/2022

Revisions	Date	By	Notes

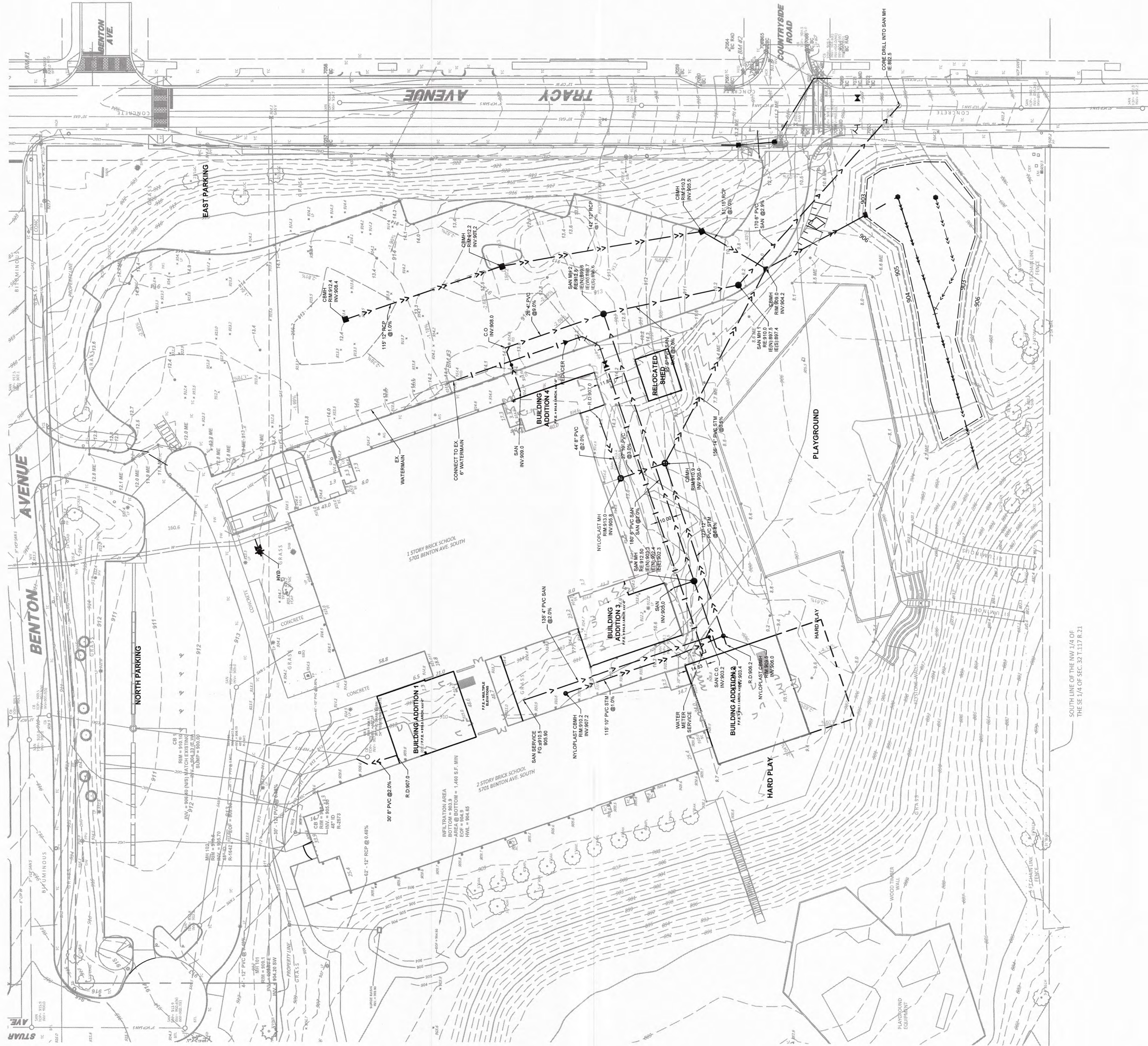
Contour: XXXXX  
 Date: 05-27-2022  
 Drawn: LJD  
 Check: DBR

**COUNTRYSIDE GRADING AND DRAINAGE PLAN**

Scale: 1"=30'

**CITY SUBMITTAL NOT FOR CONSTRUCTION**

**C1.31**



**NOTES**

- REFER TO SHEET C1.31, COUNTRYSIDE GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
- ALL WATERMAIN PIPE SHALL BE DIP CLASS 62. ALL WATERMAIN SHALL HAVE MINIMUM 8'-0" BURY (TOP OF PIPE TO FINISH GRADE). DIP SHALL BE ENCASED WITH POLYETHYLENE FILM CONFORMING TO ASTM D1248-88.
- ALL WATERMAIN SHALL BE AWWA C300, CAST IRON OD. 18" PVC PIPE INSTALLED IN ACCORDANCE WITH ASTM D2237. ALL WATERMAIN SHALL HAVE MINIMUM 8'-0" BURY (TOP OF PIPE TO FINISH GRADE).
- ALL SANITARY SEWER PIPE SHALL BE 8" CLASS 4000, SDR 41, UNLESS OTHERWISE NOTED. SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2237.
- ALL STORM SEWER PIPE SHALL BE 8" CLASS 4000, SDR 41, UNLESS OTHERWISE NOTED. STORM SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2237.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
  - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL STRUCTURE WALLS.
  - FENCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE DIAMETER WATERSTOPS" ACCEPTABLE MANUFACTURERS' PRODUCTS.
  - OR APPROVED EQUIV.
- WATERMANS SHALL BE INSTALLED AT LEAST 18" BELOW FINISH GRADE FROM ANY MANHOLE OR OTHER POTENTIAL SOURCE OF CONTAMINATION. THIS ISOLATION DISTANCE SHALL BE HORIZONTAL FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE VERIFIED BY FIELD SURVEY. VERIFY LOCATION, SIZE AND ELEVATION OF SOURCE BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION OF PROPOSED BUILDING UTILITY SERVICES (STORM, SANITARY SEWER, WATERMAIN), VERIFY ALL PROPOSED BUILDING UTILITY SERVICE PIPE SIZES, LOCATIONS AND ELEVATIONS WITH MECHANICAL PLANS. COORDINATE CONSTRUCTION AND CONNECTIONS WITH MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBS PRIOR TO INSTALLATION OF WATERMANS. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL WALKS AND CURBS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURBS AND GUTTER. CURB AND GUTTER SHALL BE STAKED TO ALLOW CURB INLET TYPE TYPE CATCH BASIN TO BE PROPERLY LOCATED IN LINE WITH CURBING.

CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT

**COUNTRYSIDE  
 AND CONCORD  
 ELEMENTARY  
 SCHOOLS  
 ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55438

**INDEPENDENT SCHOOL  
 DISTRICT #273**  
 6510 WINDYVALE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS  
 AND ENGINEERS**  
 332 Minnesota Street, Suite 2000  
 Saint Paul, MN 55101  
 wold.com | 612.277.7775

**BOLTON  
 & MENK**  
 Real People. Real Solutions.  
 7975 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MN 55427  
 Phone: (763) 544-7129  
 Email: goldenvalle@bolton-menk.com  
 www.bolton-menk.com

REVISIONS	
NO.	DESCRIPTION

Comm: 20000000  
 Draw: JESZ-2022  
 Date: 05/19/22  
 Check: JAR

**COUNTRYSIDE  
 UTILITY PLAN**

Scale: 1"=30'  
**C1.41**

**CITY SUBMITTAL  
 NOT FOR CONSTRUCTION**

STUAR

MN

C

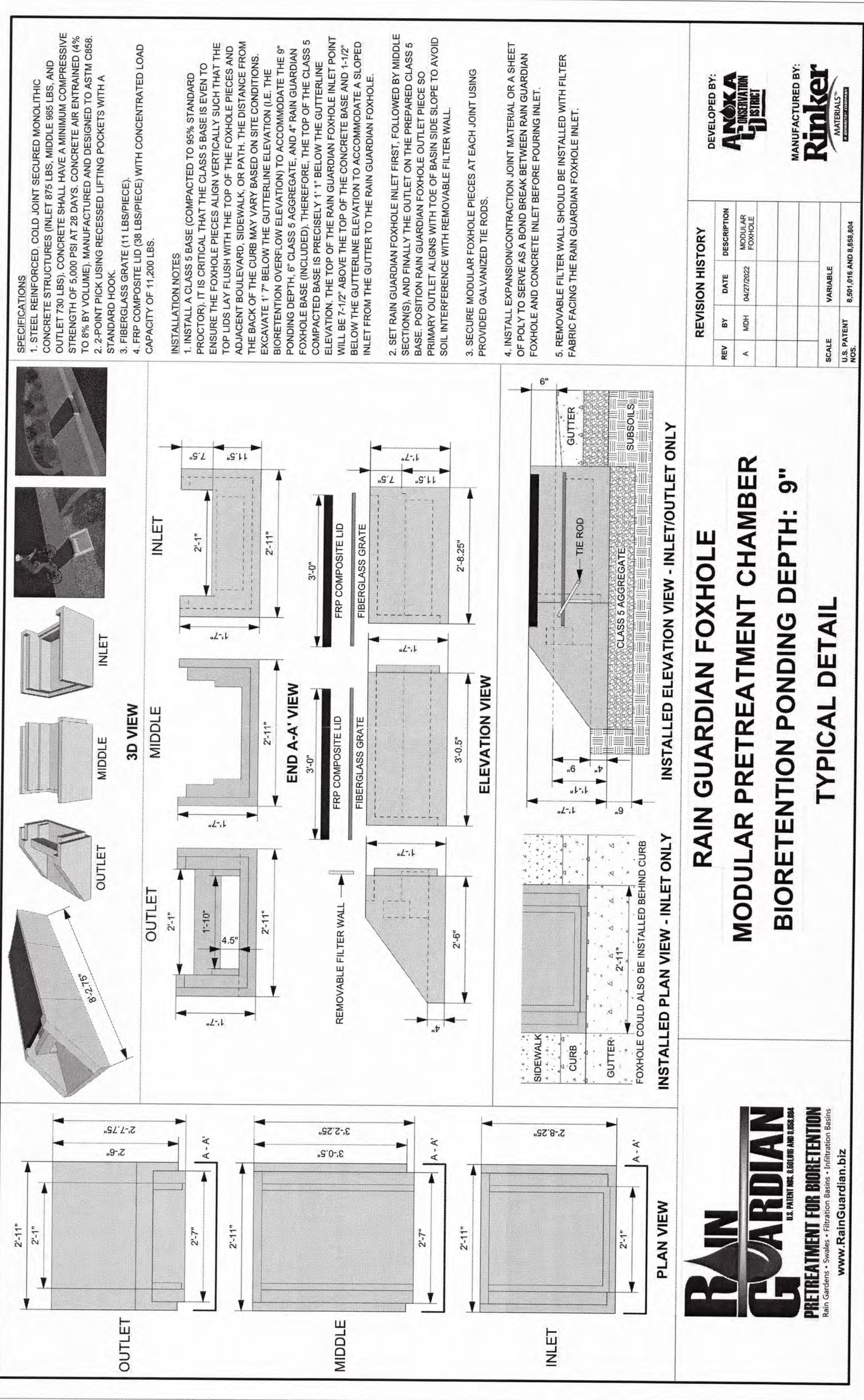
SOUTH LINE OF THE RW 1/4 OF  
 THE SE 1/4 OF SEC. 32 T.117 R. 21



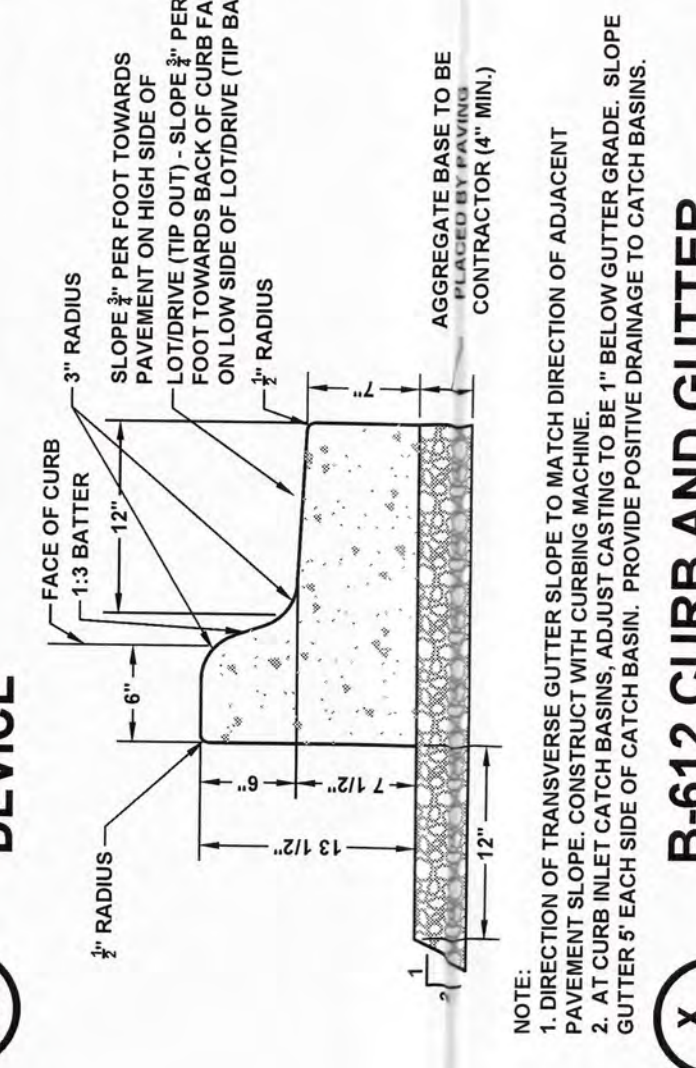




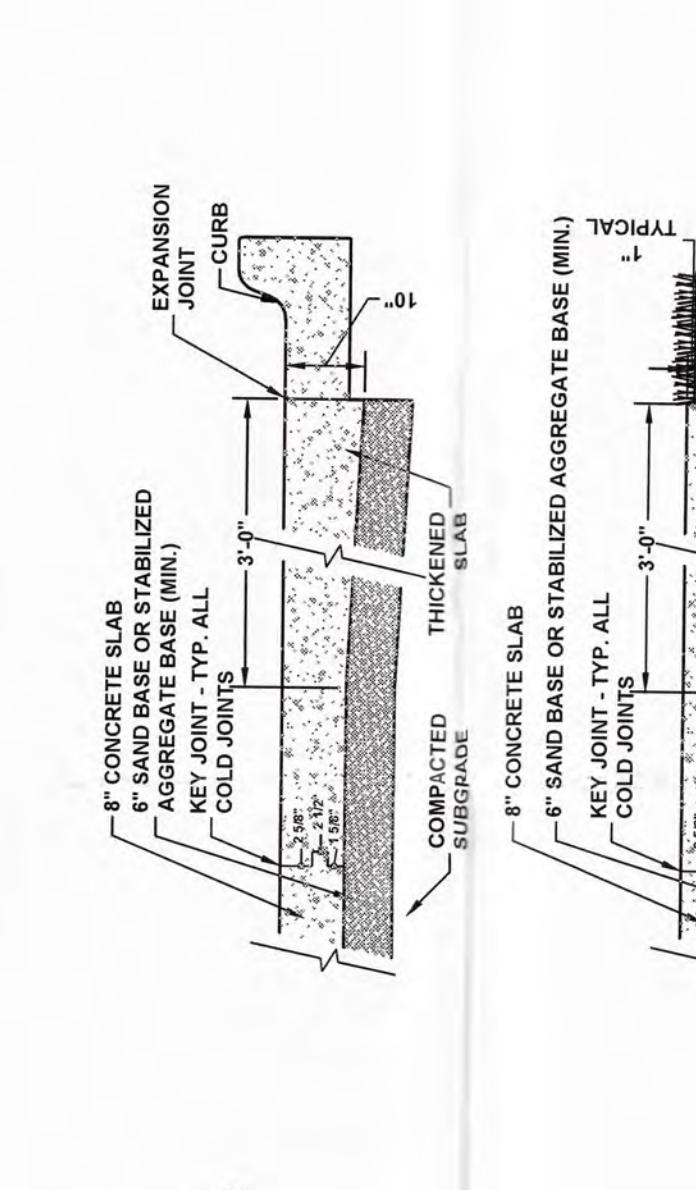
MN



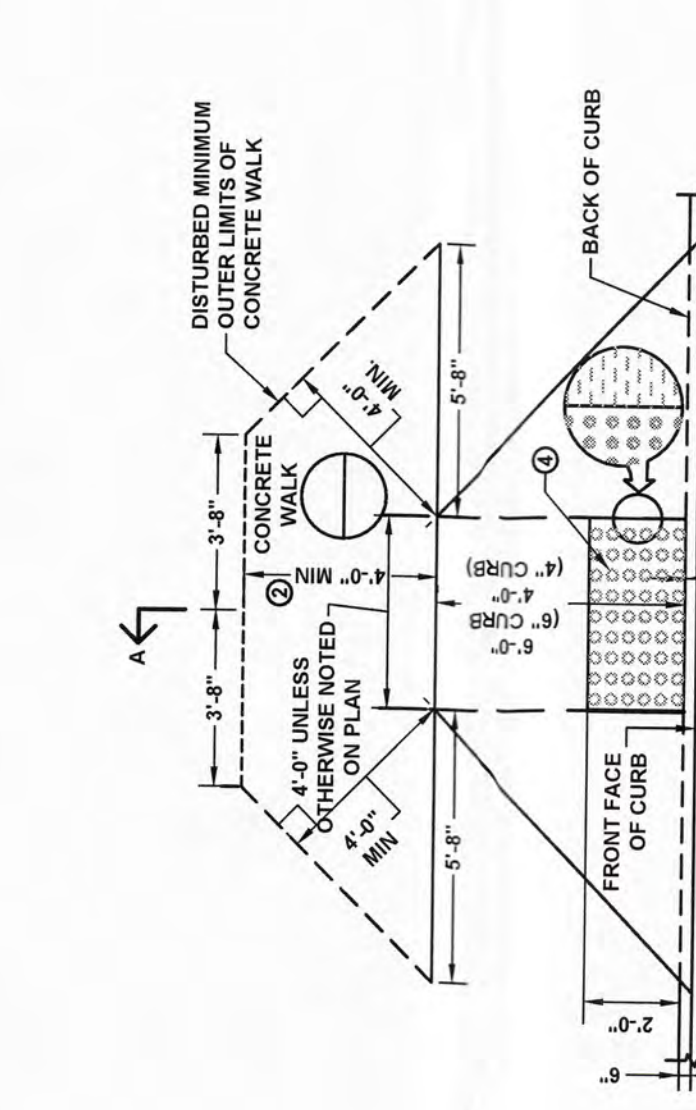
**1** BIORETENTION PRETREATMENT DEVICE C2.17



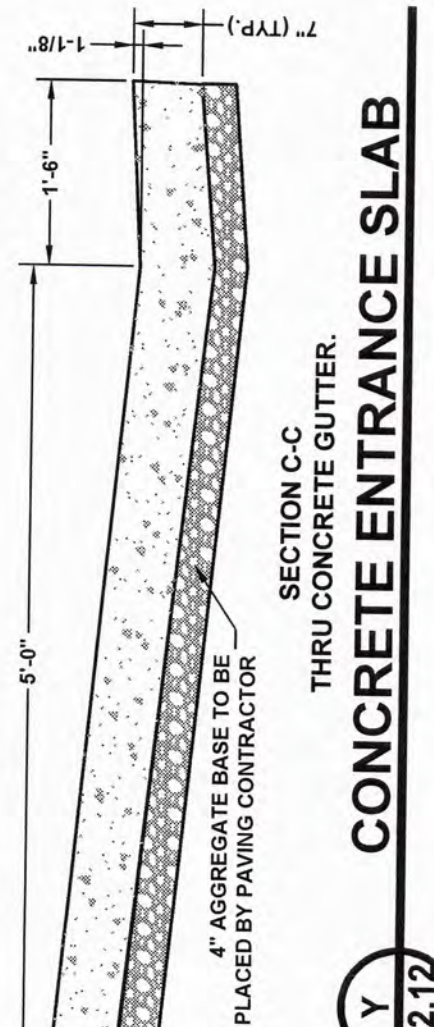
**2** B-612 CURB AND GUTTER C2.19



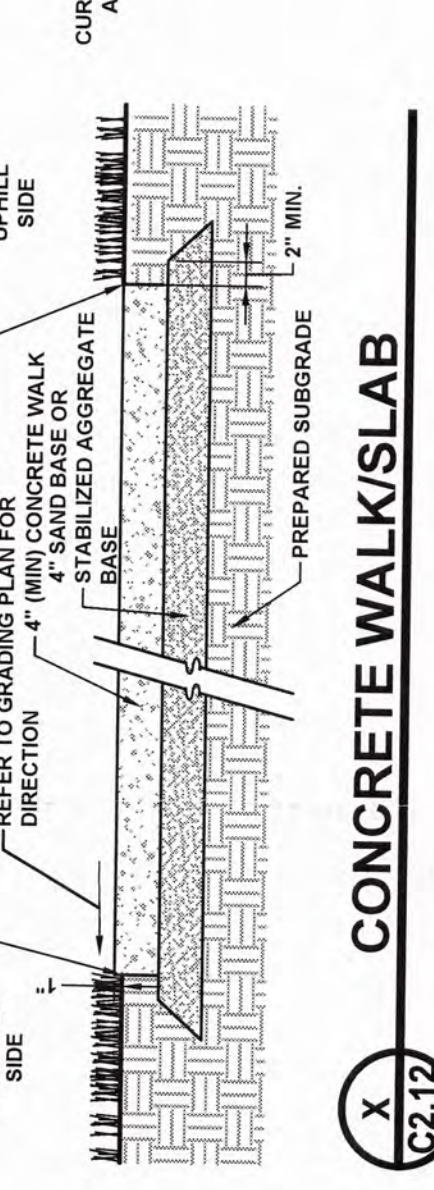
**3** CONCRETE SLAB C2.19



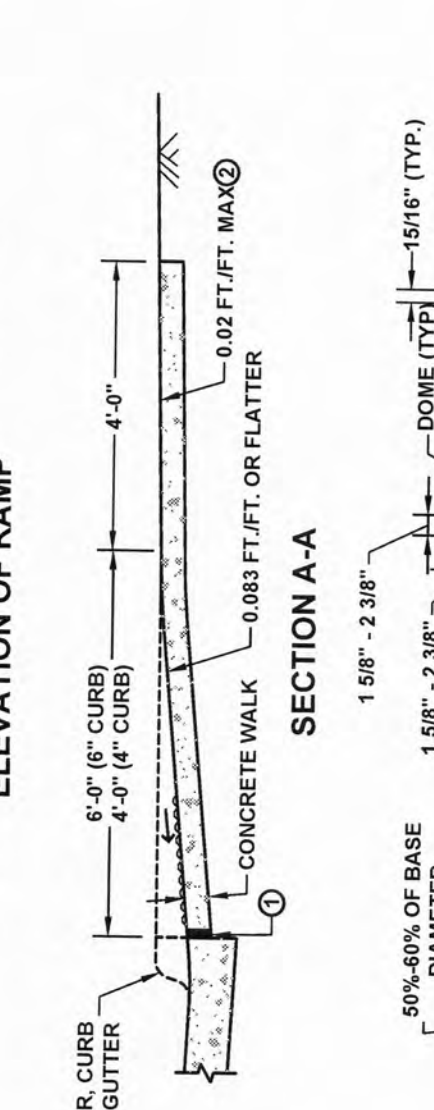
**4** D-412 CURB & GUTTER C2.19



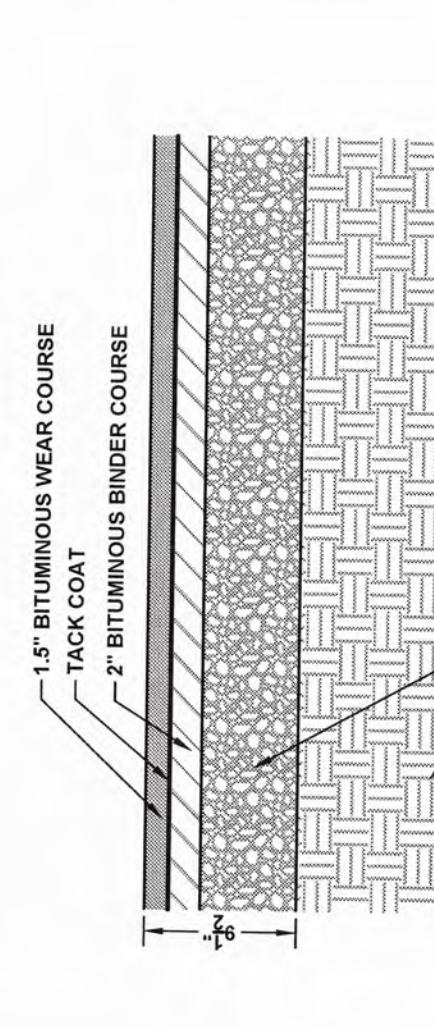
**5** CONCRETE ENTRANCE SLAB C2.17



**6** CONCRETE WALK/SLAB C2.19



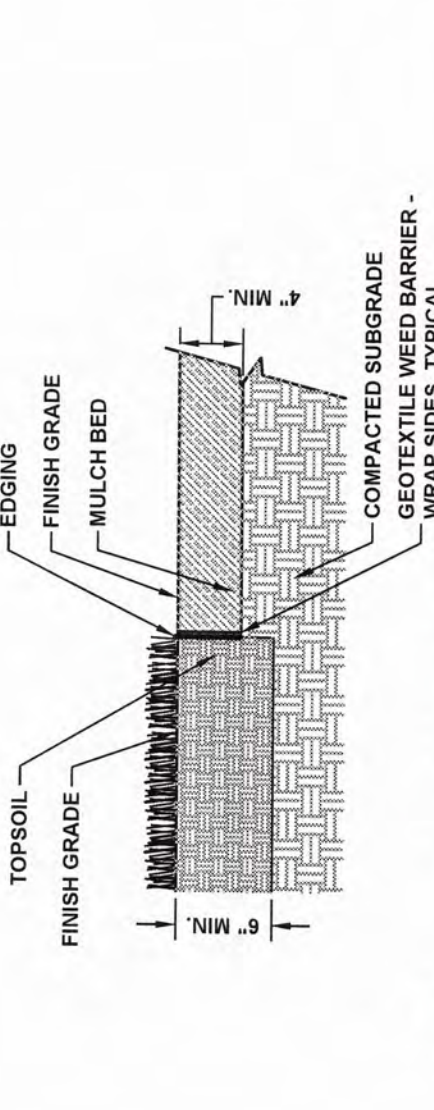
**7** MEDIUM DUTY PAVEMENT C2.17



**8** HEAVY DUTY PAVEMENT C2.17



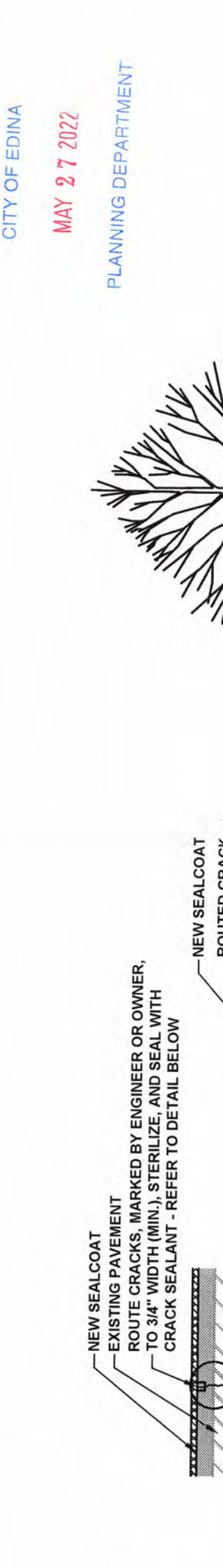
**9** TRAFFIC SIGN AND POST IN GRASS C2.17



**10** TRAFFIC SIGN AND POST IN CONCRETE C2.17



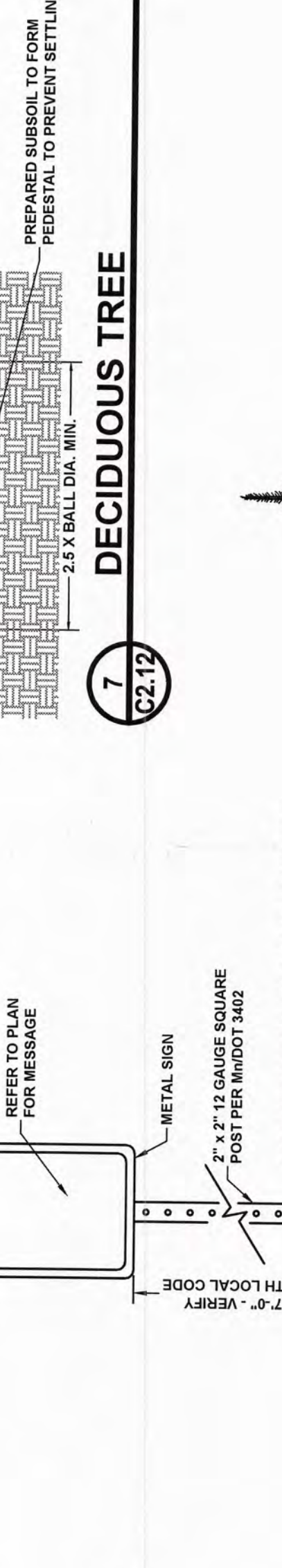
**11** PEDESTRIAN CURVED RAMP C2.17



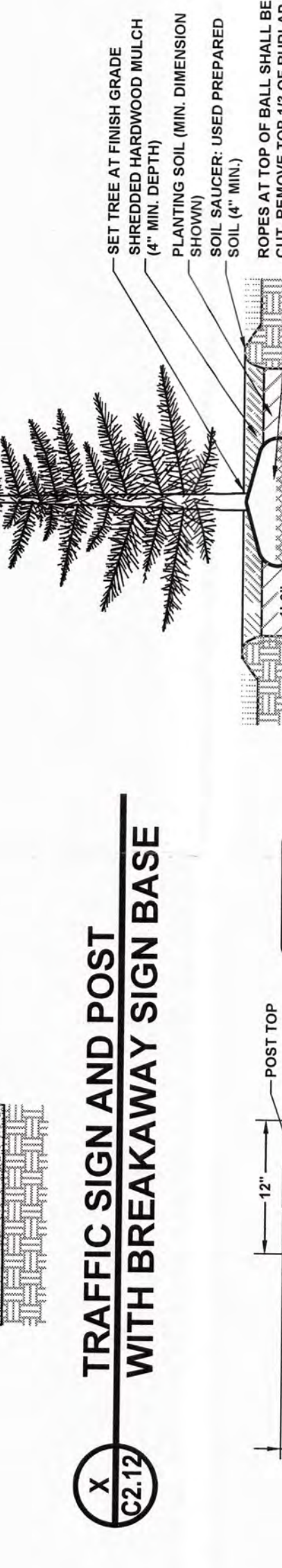
**12** CRACK SEAL AND SEAL COAT C2.17



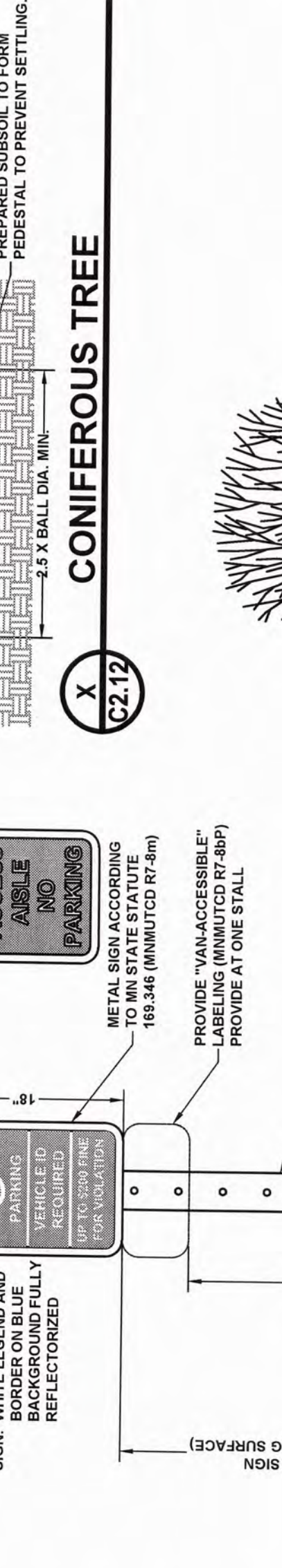
**13** TRAFFIC SIGN AND POST IN CONCRETE C2.17



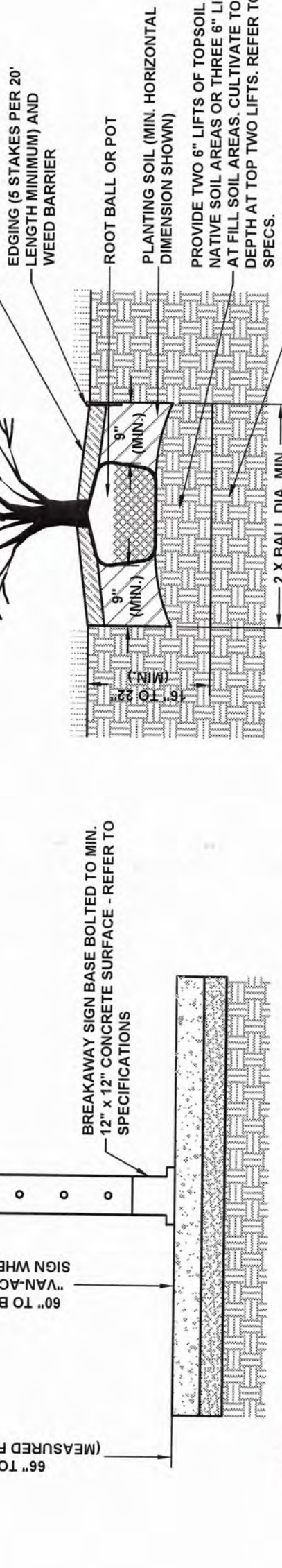
**14** TRAFFIC SIGN AND POST IN GRASS C2.17



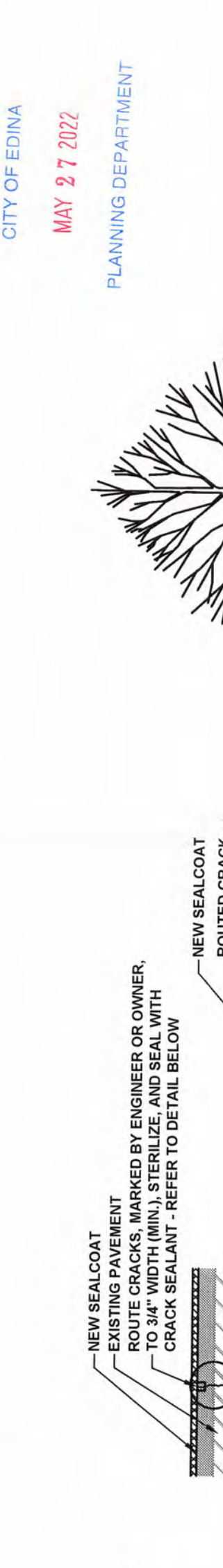
**15** PEDESTRIAN CURVED RAMP C2.17



**16** PEDESTRIAN CURVED RAMP C2.17



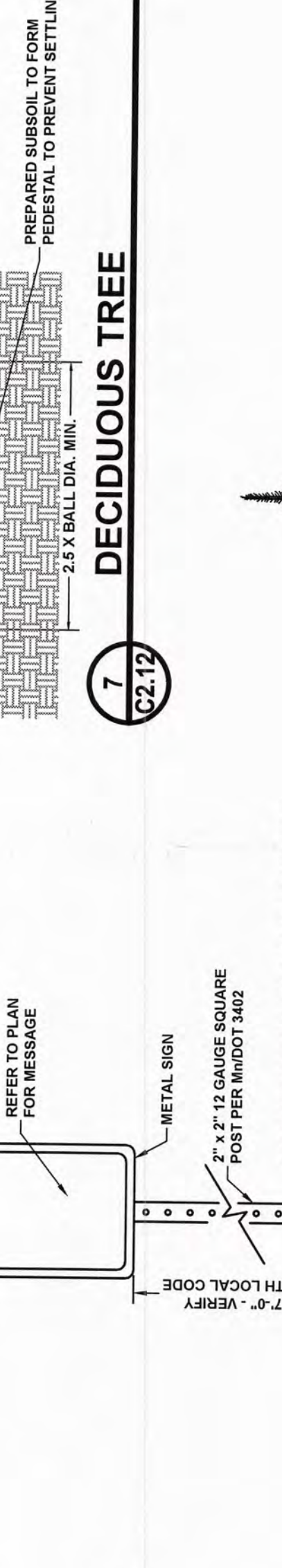
**17** PEDESTRIAN CURVED RAMP C2.17



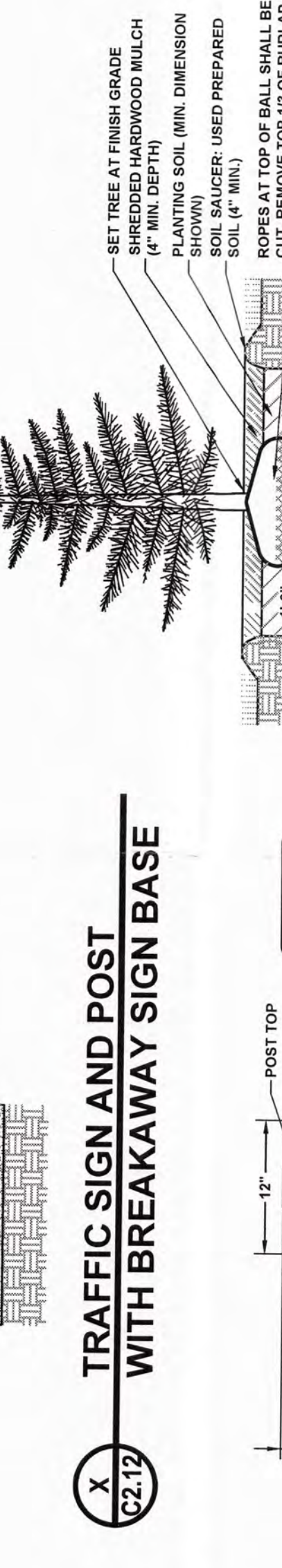
**18** PEDESTRIAN CURVED RAMP C2.17



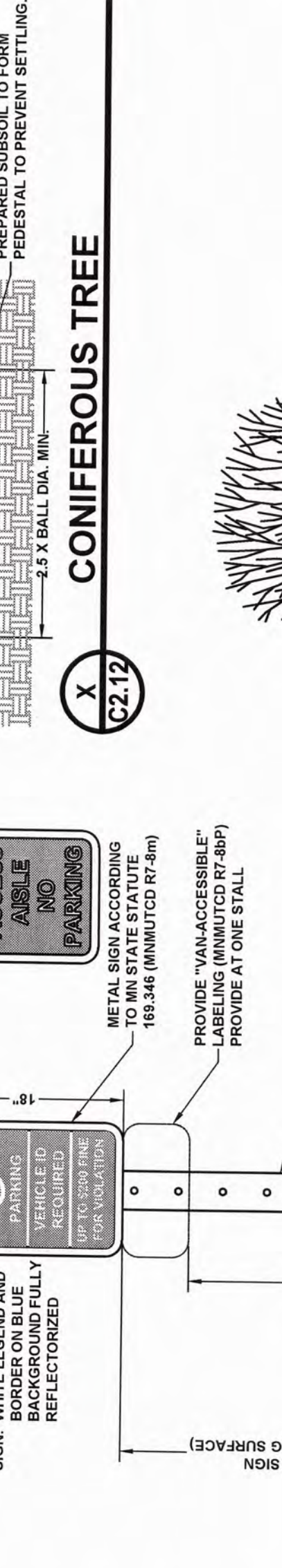
**19** PEDESTRIAN CURVED RAMP C2.17



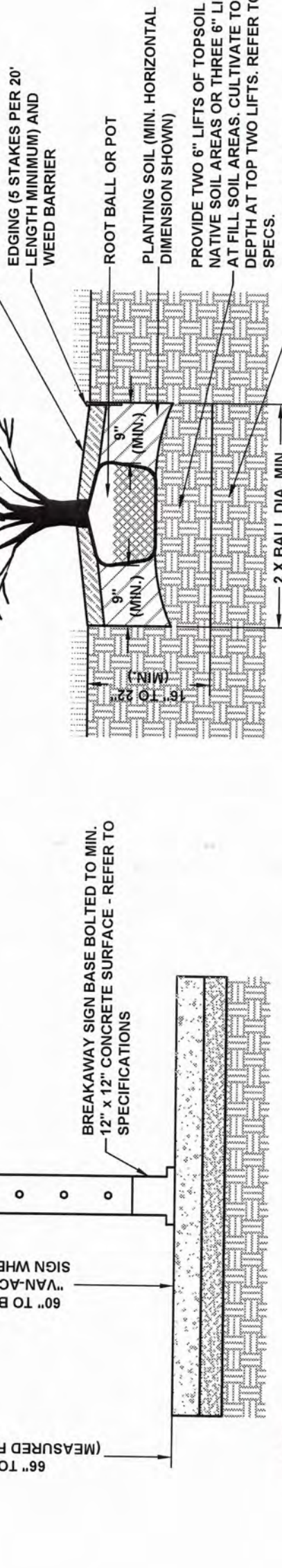
**20** PEDESTRIAN CURVED RAMP C2.17



**21** PEDESTRIAN CURVED RAMP C2.17



**22** PEDESTRIAN CURVED RAMP C2.17



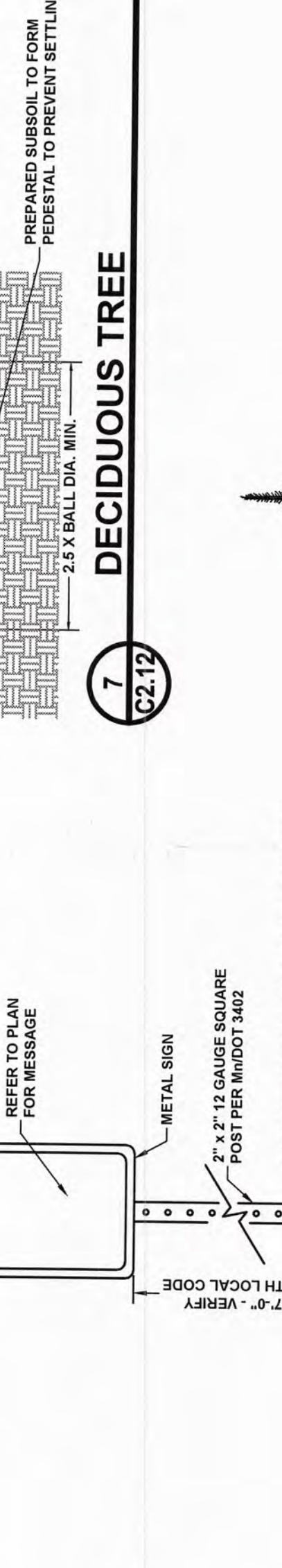
**23** PEDESTRIAN CURVED RAMP C2.17



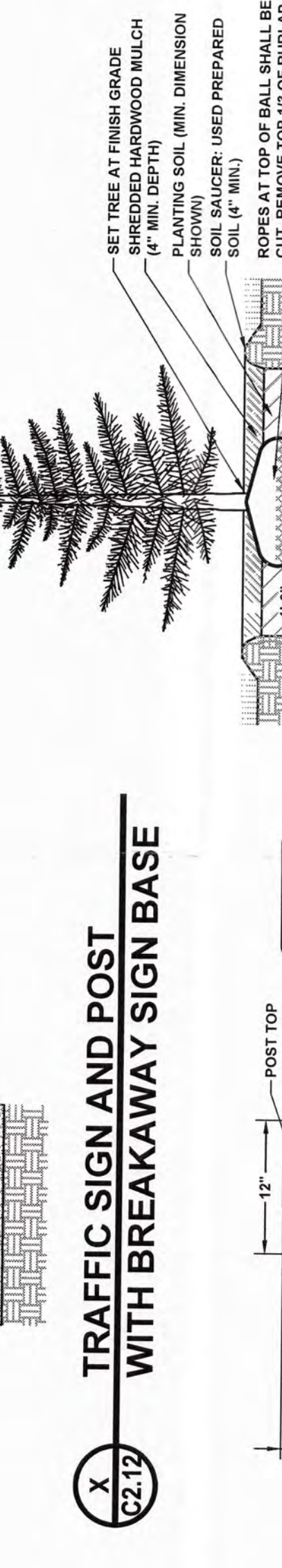
**24** TRAFFIC SIGN AND POST IN CONCRETE C2.17



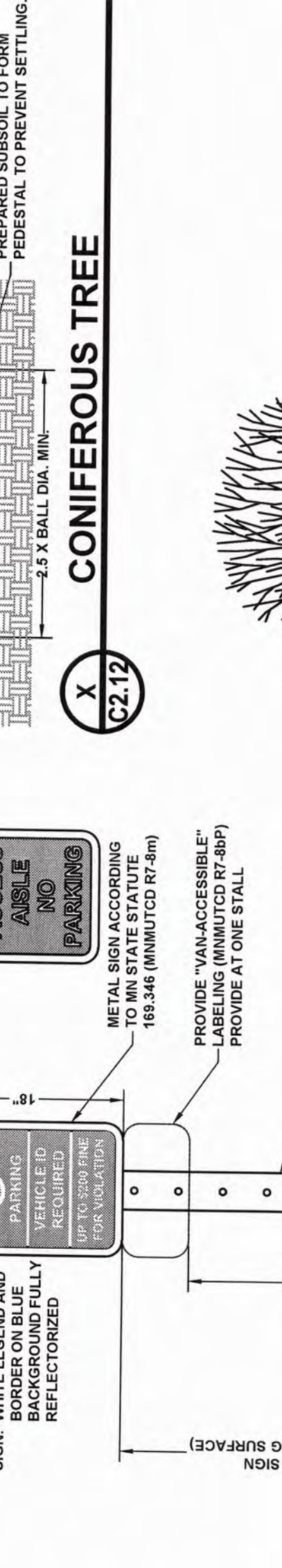
**25** TRAFFIC SIGN AND POST IN CONCRETE C2.17



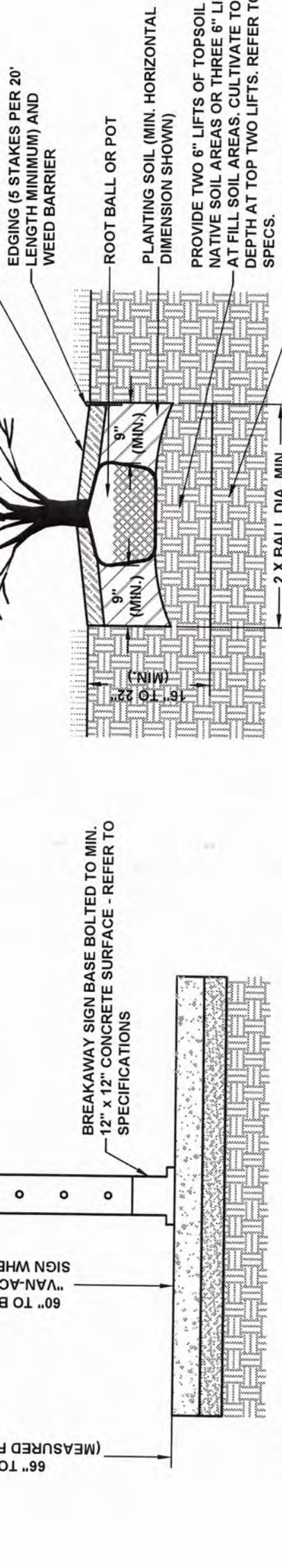
**26** TRAFFIC SIGN AND POST IN CONCRETE C2.17



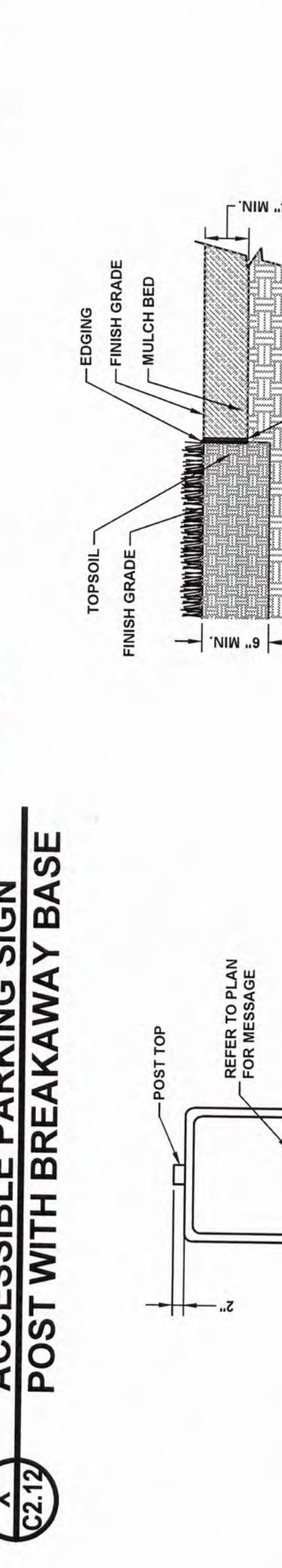
**27** TRAFFIC SIGN AND POST IN CONCRETE C2.17



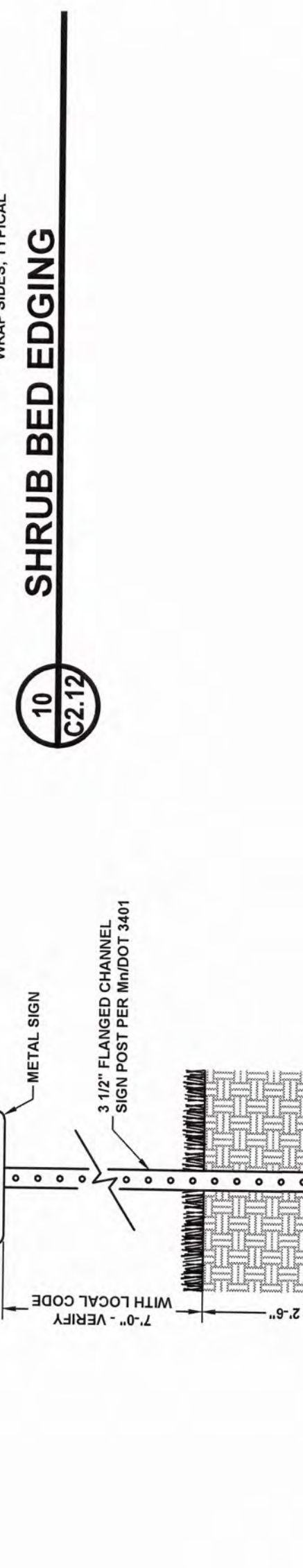
**28** TRAFFIC SIGN AND POST IN CONCRETE C2.17



**29** TRAFFIC SIGN AND POST IN CONCRETE C2.17



**30** TRAFFIC SIGN AND POST IN CONCRETE C2.17



**31** TRAFFIC SIGN AND POST IN CONCRETE C2.17

CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BEATON AVENUE SOUTH  
 EDINA, MN 55436



**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMAN DALE ROAD  
 EDINA, MN 55424

**BOLTON & MENK**  
 Real People. Real Solutions.  
 7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 Phone: (763) 544-7129  
 Email: goldenvalley@bolton-menk.com  
 www.bolton-menk.com

**WOLD ARCHITECTS AND ENGINEERS**  
 333 Mastercard Blvd, Suite 20200  
 Saint Paul, MN 55110  
 wolda.com | (612) 277-7773

**BOLTON & MENK**  
 LANDSCAPE ARCHITECT  
 MINNESOTA  
 LAURA DETZLER  
 Registration Number: 53733  
 Date: 05/27/2022

Revision	Date	Drawn	Checked

Scale: 1"=30'

North

CONTRACTOR: XXXXXX  
 DATE: 05-27-2022  
 DRAWN: LID  
 CHECKED: LID

**DETAILS**

**C2.12**

**CITY SUBMITTAL NOT FOR CONSTRUCTION**

**EDINA  
COUNTRYSIDE  
ELEMENTARY  
PARKING AND  
DRIVE ADDITION**  
5701 BENTON AVENUE SOUTH  
EDINA, MN 55436

**INDEPENDENT SCHOOL  
DISTRICT #273**  
5701 NORMANDALE ROAD  
EDINA, MN 55424

**MN**



**WOLD ARCHITECTS  
AND ENGINEERS**  
333 Minnesota Street, Suite W2009  
Saint Paul, MN 55101  
woldarc.com | 651.227.7773

CITY OF EDINA  
MAY 27 2022

PLANNING DEPARTMENT

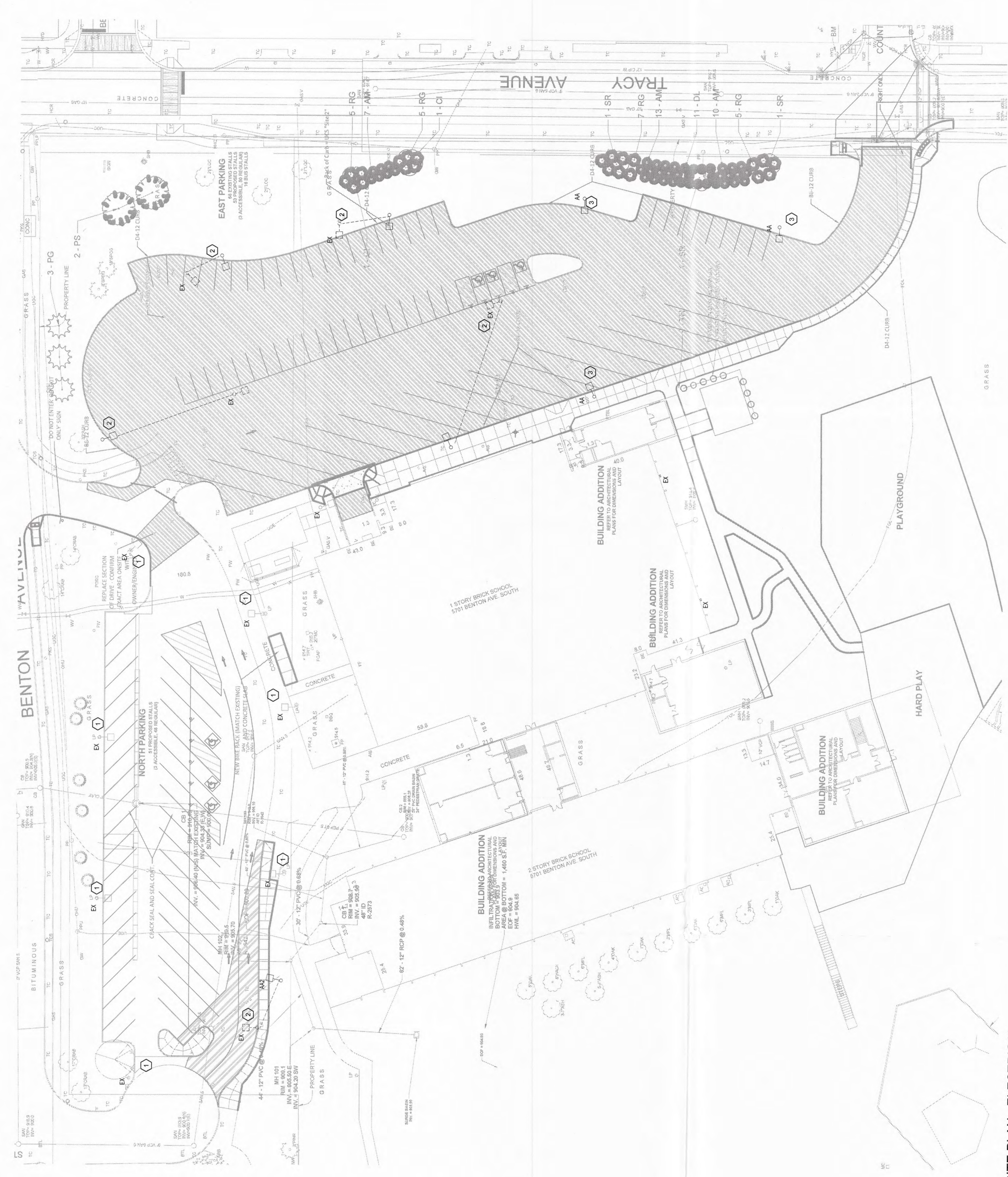
**GENERAL SHEET NOTES**

- ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) FROM THE GROUND SURFACE.
- ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER SHALL BE INSTALLED IN RIGID PVC CONDUIT.
- CONDUIT SHALL BE INSTALLED AT LEAST 18" FROM THE FACE OF CURB OR SIDEWALK.
- CONDUIT SHALL BE INSTALLED AT LEAST 18" FROM THE FACE OF DRIVE OR SIDEWALK.

INDICATED ON PLANS. PROVIDE AS REQUIRED FOR INSTALLATION.

**KEYED SHEET NOTES**

- EXISTING LIGHT POLE PROTECT DURING SITE WORK.
- EXISTING LIGHT POLE AS SHOWN AND PROVIDE LOWER LUMEN LEVEL AND THROW OPTICS. LOWER LUMEN LEVEL AND PROVIDE NEW LIGHT POLE AND CONNECT TO EXISTING SITE LIGHTING CIRCUIT AND CONTROL. REFER TO LUMINAIRE SCHEDULE.



**E1 SITE PLAN - ELECTRICAL**  
1" = 30'-0"

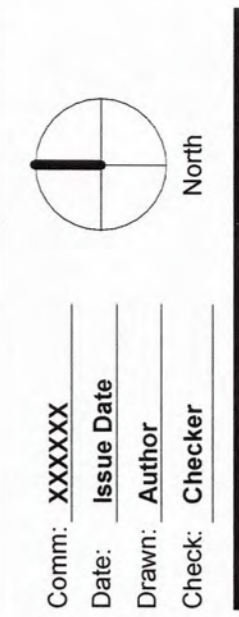
MARK	LUMINAIRE TYPE	VOLTAGE	MOUNTING	LENS/COVER	OTHER REQUIREMENTS	MANUFACTURER'S SERIES	NOTES	MARK	SPARE
AA	LED LIGHT POLE ASSEMBLY TYPE IV WITH HOUSE SIDE SHIELD	180VOLT	SEE POLE BASE DETAIL TO TOTAL HEIGHT EQUAL 25'-0"	CLEAR	P/C CERTIFIED, MINIMUM 15 YEAR WARRANTY, 4000K COLOR TEMP, SQUARE STRAIGHT ALUMINUM POLE WITH DARK BRONZE FINISH	DSXO LED-P6-40K-TM-MVOLT-SP4HS BEACON VFER SERIES MCGRAW-EDISON GLEON GALLEON SERIES NLS NV SERIES OR APPROVED EQUAL		AA	
BB	LED LIGHT POLE ASSEMBLY TYPE II WITH HOUSE SIDE SHIELD	180VOLT	SEE POLE BASE DETAIL TO TOTAL HEIGHT EQUAL 25'-0"	CLEAR	P/C CERTIFIED, MINIMUM 15 YEAR WARRANTY, 4000K COLOR TEMP, SQUARE STRAIGHT ALUMINUM POLE WITH DARK BRONZE FINISH	DSXO LED-P6-40K-TM-MVOLT-SP4HS BEACON VFER SERIES MCGRAW-EDISON GLEON GALLEON SERIES NLS NV SERIES OR APPROVED EQUAL		BB	
EX	LED LIGHT POLE ASSEMBLY TYPE IV WITH HOUSE SIDE SHIELD	180VOLT	SEE POLE BASE DETAIL TO TOTAL HEIGHT EQUAL 25'-0"	CLEAR	P/C CERTIFIED, MINIMUM 15 YEAR WARRANTY, 4000K COLOR TEMP, SQUARE STRAIGHT ALUMINUM POLE WITH DARK BRONZE FINISH	DSXO LED-P6-40K-TM-MVOLT-SP4HS BEACON VFER SERIES MCGRAW-EDISON GLEON GALLEON SERIES NLS NV SERIES OR APPROVED EQUAL		EX	
AA2	LED LIGHT POLE ASSEMBLY TYPE FORWARD THROW WITH HOUSE SIDE SHIELD	180VOLT	SEE POLE BASE DETAIL TO TOTAL HEIGHT EQUAL 25'-0"	CLEAR	P/C CERTIFIED, MINIMUM 15 YEAR WARRANTY, 4000K COLOR TEMP, SQUARE STRAIGHT ALUMINUM POLE WITH DARK BRONZE FINISH	DSXO LED-P6-40K-TM-MVOLT-SP4HS		AA2	

**F1 LUMINAIRE SCHEDULE**  
1/2" = 1'-0"

**E**

BRADLEY R. JOHANNSEN  
License Number: 43586  
Date: Issue Date  
Drawn: Author  
Check: Checker  
North

DESCRIPTION	DATE	ISSUE



**ELECTRICAL SITE  
PLAN**



Real People. Real Solutions.

## Traffic Impact Study

### Countryside Elementary Parking and Drive Addition

Edina, MN

5/26/2022

CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

**Submitted by:**  
**Bolton & Menk, Inc.**  
**12224 Nicollet Ave**  
**Burnsville, MN**  
**P: 952-890-0509**  
**F: 952-890-8065**

# Certification

Traffic Impact Study

for

Countryside Elementary Parking and Drive Addition

Edina, MN

BMI Project No. – 0V1.124646

May 26, 2022

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

*Casey Kancher*

Casey M Kancher  
License Number 58170

5-26-22

Date

MY LICENSE RENEWAL DATE IS JUNE 1, 2022

## Introduction

The Edina Countryside Elementary School is in the process of planning a parking lot expansion, access drive addition and building expansion. The goal of the project is to improve traffic circulation in the school parking lots during school drop off and pickup hours as well as separate bus traffic and car rider traffic. A previous high level traffic review, *Traffic Review of Edina Countryside Elementary Parking and Drive Addition Memo* dated August 19, 2021, was completed. The purpose of this study is to further evaluate the need for a northbound left turn lane at the intersection of Tracy Avenue and Benton Avenue, determine impacts to the existing surrounding roadway network and identify potential mitigation solutions.

## Study Area

The Edina Countryside Elementary School is located southwest of the Benton Avenue and Tracy Avenue intersection. This intersection and five other intersections within proximity to the school will be studied:

- Tracy Avenue/Benton Avenue
- Tracy Avenue/Existing Edina Countryside Elementary Entrance
- Tracy Avenue/Countryside Road/New Parking Lot Entrance
- Tracy Avenue/Grove Street (2 intersections)
- Grove Street/Stuart Avenue

The Edina Countryside Elementary School currently has an enrollment of approximately 600 students. 400 ride the bus and the remaining 200 are vehicle riders or pedestrians. The school hours are from 7:55 am to 2:25 pm. The school staff and volunteers total approximately 110 vehicles per day, which does not occur simultaneously with school peak hour traffic.

Tracy Avenue is classified as a major collector with a 25 mile per hour speed limit and a 15 mile per hour school speed zone adjacent to the school property. It is a two-lane roadway with bike lanes and curb and gutter along both sides.

As part of this traffic study, 24 hour Turning movement Counts for the study intersections were collected on March 29th, 2022. The AM Peak Hour and PM Peak Hours for the elementary school traffic were determined to be 7:15-8:15 am and 1:45-2:45 pm, respectively. See Appendix A for the traffic count information.

**Figure 1: Study Area**



## Crash Analysis

Five years of crash data, January 1, 2016, to December 31, 2021, was obtained from MNDOT to analyze historic crash data and identify existing safety deficiencies. The study area experienced 3 total crashes. All the crashes were property damage only. Only one crash occurred during the school drop off and pickup peak hours, and no crashes involved pedestrians.

### School Drop off and Pickup

Students are dropped off and picked up at multiple locations inside and outside of the school parking lot. One crash occurred during school drop-off (7AM) and was located along Benton Avenue outside of the school parking lot. This property damage only crash occurred while one vehicle was stopped as student was being dropped off and another vehicle drove by and collided with the stopped vehicle's open door.

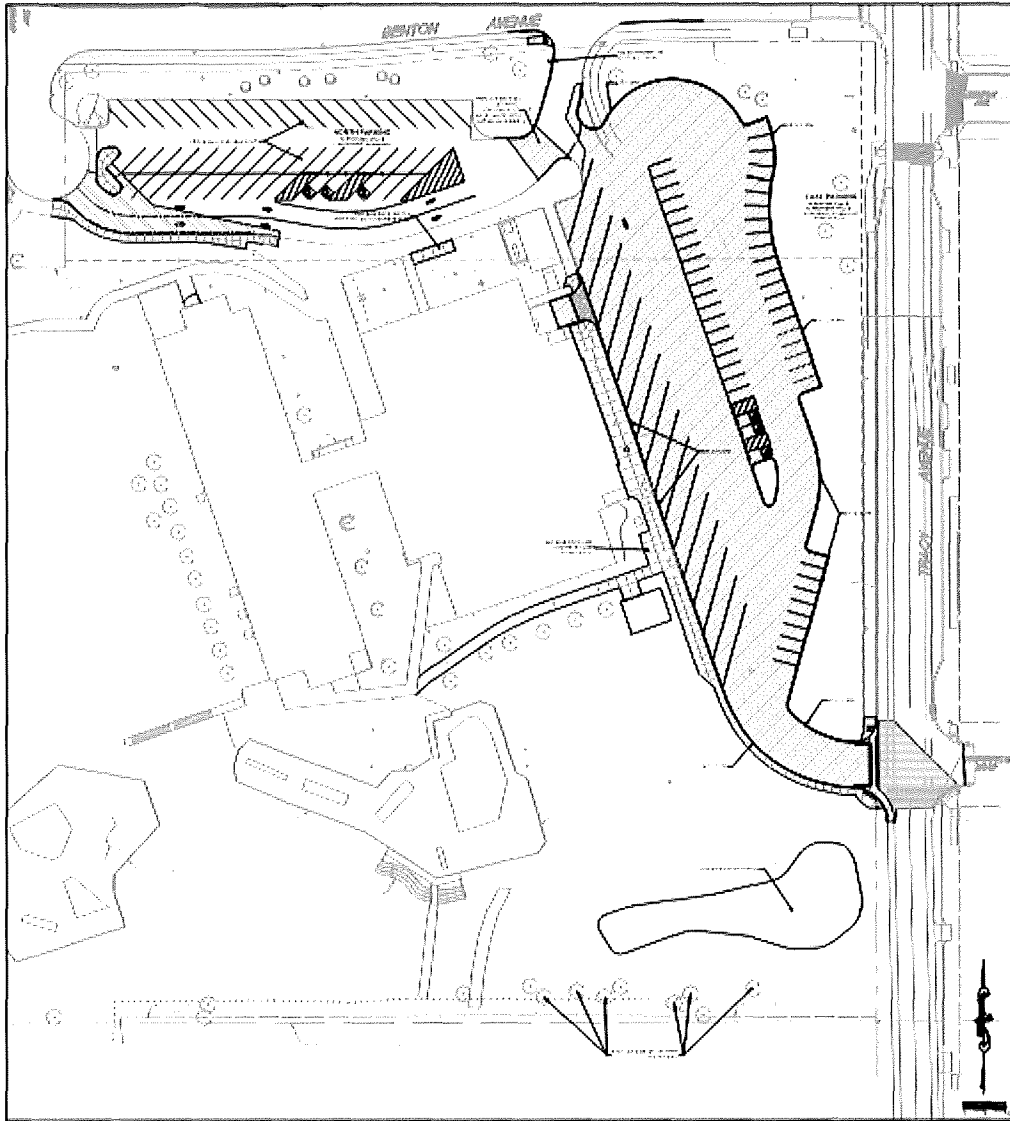
### Tracy Ave & Benton Ave

Two crashes occurred at Tracy Avenue and Benton Avenue after school hours. Tracy Avenue and Benton Avenue is a four-way stop with the Eastbound and Westbound legs offset from each other. Both crashes involved two vehicles entering the intersection at the same time and were property damage only crashes. The observed total crash rate for this intersection for the five-year period is 0.49 per MEV which is 53% below the critical rate. See Appendix B for the Crash Analysis Green Sheet.

## Proposed Site Improvements Review

Proposed improvements to the Edina Countryside Elementary School include expansion of the existing parking lot adjacent to Tracy Avenue, new full access driveway at the intersection of Tracy Avenue and Countryside Road and building additions to increase student capacity. Figure 2 below is the proposed site improvement plan dated 10-12-2021.

**Figure 2: Proposed Site Plan**



## Forecasting

Average daily traffic projections for 2043 conditions were developed using historic traffic growth. MNDOT historic traffic data revealed a 1% growth rate of traffic on Tracy Avenue south of Countryside Rd, 0.5% growth rate of traffic on Benton Avenue east of Tracy Avenue, and 0.5% growth rate of traffic on Tracy Avenue north of W Grove St. This compares to the Hennepin County Comprehensive Plan, which projects 1% population growth for Edina over the next 20 years.

Building expansion to the Countryside Elementary School is estimated to add capacity of 199 students and 20 staff. Of the additional 199 students, 65% were assumed to take the bus and 35%

were assumed to be dropped off and picked up via vehicle. This is according to the existing split of student transport that was provided by the school. With this assumption, 129 students take the bus which would be 4 additional buses, and 70 students would be car riders.

### Traffic Modeling

The operational analysis results are described as a Level of Service (LOS) ranging from A to F. These letters serve to describe a range of operating conditions for different types of facilities. Levels of Service are calculated based on the Highway Capacity Manual 6th edition, which defines the level of service, based on control delay. Control delay is the delay experienced by vehicles slowing down as they are approaching the intersection, the wait time at the intersection, and the time for the vehicle to speed up through the intersection and enter the traffic stream. The average intersection control delay is a volume-weighted average of delay experienced by all motorists entering the intersection on all intersection approaches. The control delay is modeled within the analysis software, Traffic ware Synchro. Level of Service D or higher is commonly taken as acceptable design year LOS. The LOS and its associated intersection delay for a signalized and unsignalized intersection is presented below. The delay threshold for unsignalized intersections is lower for each LOS compared to signalized intersections, which accounts for the fact that people expect a higher quality of service when at a stop-controlled intersection.

**Table 1: Level of Service Criteria**

LOS	Signalized Intersection Control Delay per Vehicle (sec.)	Unsignalized Intersection Control Delay per Vehicle (sec.)
A	≤ 10	≤ 10
B	>10 and ≤ 20	>10 and ≤ 15
C	>20 and ≤ 35	>15 and ≤ 25
D	>35 and ≤ 55	>25 and ≤ 35
E	>55 and ≤ 80	>35 and ≤ 50
F	>80	>50

If  $v/c > 1.0$ , LOS will be equal to F regardless of the delay value.

Three Scenarios were analyzed to determine traffic impacts on the transportation system. The scenarios analyzed were:

- Existing Conditions (2022)
- Opening Day Build (2023)
- Future Year Build (2043)

#### Existing Conditions

The existing conditions were analyzed using the existing roadway configuration and collected traffic count data to determine if there are existing traffic concerns. This analysis shows that all study intersections are operating at LOS A in both the AM and PM Peak hours (7:15-8:15 AM and 1:45-2:45 PM). The northbound movement at Tracy Avenue and Benton Avenue experiences a delay of 5 sec/vehicle in the AM peak hour and 4 sec/vehicle in the PM peak hour. Table 2 and Table 3 show the delay, level of service and queue for all the study intersections.



**Table 2: 2022 Existing Conditions**

Intersection	Control	Approach	AM Peak				School Peak					
			Traffic Delay (sec/veh)			Intersection (Delay - LOS)	Traffic Delay (sec/veh)			Intersection (Delay - LOS)		
			Movement (Delay - LOS)				Movement (Delay - LOS)					
L	T	R	Approach (Delay - LOS)	L	T	R	Approach (Delay - LOS)					
E Grove St & Tracy Ave	Stop	WB	6-A	-	5-A	6-A	0-A	4-A	-	3-A	4-A	0-A
		NB	-	0-A	0-A	0-A		-	0-A	0-A	0-A	
		SB	3-A	0-A	-	1-A		-	0-A	-	0-A	
Tracy Ave & W Grove St	Stop	EB	6-A	0-A	3-A	5-A	2-A	6-A	-	4-A	5-A	1-A
		NB	4-A	2-A	-	3-A		3-A	1-A	-	2-A	
		SB	-	0-A	0-A	0-A		-	0-A	0-A	0-A	
Tracy Ave & Benton Ave	Stop	EB	9-A	6-A	7-A	8-A	6-A	5-A	2-A	3-A	4-A	4-A
		WB	9-A	9-A	8-A	9-A		6-A	6-A	3-A	5-A	
		NB	5-A	4-A	4-A	5-A		4-A	3-A	3-A	4-A	
		SB	7-A	7-A	4-A	7-A		5-A	6-A	3-A	6-A	
Tracy Ave & Countryside Rd	Stop	WB	7-A	-	3-A	6-A	1-A	6-A	-	3-A	5-A	1-A
		NB	-	0-A	0-A	0-A		-	0-A	0-A	0-A	
		SB	4-A	2-A	-	3-A		3-A	1-A	-	2-A	
Stuart Ave & W Grove St	Stop	EB	-	0-A	0-A	0-A	2-A	-	0-A	0-A	0-A	1-A
		WB	3-A	1-A	-	3-A		2-A	0-A	-	1-A	
		NB	4-A	0-A	3-A	2-A		4-A	0-A	3-A	3-A	
School Entrance & Benton Ave	Stop	EB	-	1-A	0-A	1-A	2-A	-	0-A	0-A	0-A	2-A
		WB	3-A	1-A	-	3-A		2-A	1-A	-	2-A	
		NB	4-A	0-A	3-A	3-A		3-A	0-A	2-A	2-A	

**Table 3: 2022 Existing Queuing**

Intersection	Control	Approach	AM Peak						School Peak					
			Traffic Queuing (feet)						Traffic Queuing (feet)					
			Left Turn		Through		Right Turn		Left Turn		Through		Right Turn	
Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	
E Grove St & Tracy Ave	Stop	WB	25	50	-	-	25	50	25	50	-	-	25	50
		NB	-	-	-	-	-	-	-	-	-	-	-	-
		SB	25	25	25	25	-	-	-	-	-	-	-	-
Tracy Ave & W Grove St	Stop	EB	25	50	-	-	25	50	25	75	-	-	25	75
		NB	25	75	25	75	-	-	25	50	25	50	-	-
		SB	-	-	0	25	0	25	-	-	0	25	0	25
Tracy Ave & Benton Ave	Stop	EB	50	175	50	175	50	175	50	100	50	100	50	100
		WB	50	100	50	100	50	100	50	75	50	75	50	75
		NB	50	100	50	100	50	100	50	100	50	100	50	100
		SB	50	75	50	75	50	75	50	75	50	75	50	75
Tracy Ave & Countryside Rd	Stop	WB	25	50	-	-	25	50	25	75	-	-	25	75
		NB	-	-	-	-	-	-	-	-	-	-	-	-
		SB	25	50	25	50	-	-	25	25	25	25	-	-
Stuart Ave & W Grove St	Stop	EB	-	-	0	25	0	25	-	-	-	-	-	-
		WB	25	75	25	75	-	-	0	25	0	25	-	-
		NB	25	50	-	-	25	50	25	75	-	-	25	75
School Entrance & Benton Ave	Stop	EB	-	-	-	-	-	-	-	-	-	-	-	-
		WB	25	50	25	50	-	-	25	50	25	50	-	-
		NB	50	100	-	-	50	100	50	75	-	-	50	75

**Opening Day Build (2023)**

The Opening Day condition analyzed the proposed Countryside Elementary Parking and Drive Addition site layout (Figure 2) with the additional traffic generated from the expansion. The northbound movement at the Tracy Avenue and Benton Avenue intersection experiences a delay of 8 sec/vehicle in the AM peak hour and 6 sec/vehicle in the PM peak hour. Table 4 and Table 5 shows the delay, level of service and queue for all the study intersections.

In the AM Peak hour, the northbound movement at Tracy Ave and Benton Ave experiences an average queue of 75ft which is about 3 cars, and a maximum queue of 175ft which is about 7 cars. In the PM Peak hour, the northbound movement at Tracy Ave and Benton Ave experiences an average queue of 50ft which is about 2 cars, and a maximum queue of 100ft which is about 4 cars.

**Table 4: 2023 Build Conditions**

Intersection	Control	Approach	AM Peak					PM Peak				
			Traffic Delay (sec/veh)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Traffic Delay (sec/veh)			Approach (Delay - LOS)	Intersection (Delay - LOS)
			Movement (Delay - LOS)					Movement (Delay - LOS)				
L	T	R	L	T	R	L	T	R				
E Grove St & Tracy Ave	Stop	WB	7-A	-	4-A	7-A	0-A	4-A	-	4-A	4-A	0-A
		NB	-	0-A	0-A	0-A	-	0-A	0-A	0-A	0-A	
		SB	3-A	0-A	-	1-A	-	0-A	-	0-A	0-A	
Tracy Ave & W Grove St	Stop	EB	8-A	0-A	4-A	6-A	2-A	6-A	0-A	3-A	4-A	1-A
		NB	4-A	2-A	-	3-A	3-A	1-A	-	2-A	1-A	
		SB	-	0-A	0-A	0-A	-	0-A	0-A	0-A	0-A	
Tracy Ave & Benton Ave	Stop	EB	9-A	8-A	8-A	9-A	8-A	6-A	4-A	4-A	5-A	5-A
		WB	11-B	12-B	10-B	11-B	8-A	6-A	7-A	3-A	6-A	5-A
		NB	8-A	7-A	7-A	8-A	8-A	4-A	4-A	4-A	4-A	5-A
		SB	9-A	8-A	7-A	8-A	8-A	5-A	6-A	3-A	6-A	5-A
Tracy Ave & SE Entrance/Countryside Rd	Stop	EB	9-A	-	4-A	9-A	2-A	8-A	-	3-A	6-A	1-A
		WB	7-A	-	4-A	6-A	2-A	7-A	-	4-A	6-A	1-A
		NB	2-A	1-A	1-A	2-A	2-A	2-A	0-A	0-A	1-A	1-A
		SB	4-A	2-A	3-A	3-A	3-A	3-A	1-A	2-A	2-A	1-A
Stuart Ave & W Grove St	Stop	EB	-	0-A	0-A	0-A	2-A	-	0-A	0-A	0-A	1-A
		WB	3-A	0-A	-	3-A	2-A	2-A	0-A	-	2-A	1-A
		NB	5-A	0-A	3-A	4-A	5-A	5-A	0-A	3-A	4-A	1-A
School Exit & Benton Ave	Stop	EB	-	1-A	-	1-A	3-A	-	0-A	-	0-A	3-A
		WB	-	1-A	-	1-A	3-A	-	1-A	-	1-A	3-A
		NB	8-A	4-A	7-A	8-A	6-A	6-A	5-A	5-A	6-A	3-A

**Table 5: 2023 Build Queuing**

Intersection	Control	Approach	AM Peak						PM Peak					
			Traffic Queuing (feet)						Traffic Queuing (feet)					
			Left Turn		Through		Right Turn		Left Turn		Through		Right Turn	
Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	
E Grove St & Tracy Ave	Stop	WB	25	50	-	-	25	50	25	50	-	-	25	50
		NB	-	-	-	-	-	-	-	-	-	-	-	-
		SB	0	25	0	25	-	-	-	-	-	-	-	-
Tracy Ave & W Grove St	Stop	EB	25	75	-	-	25	75	25	50	-	-	25	50
		NB	25	75	25	75	-	-	25	50	25	50	-	-
		SB	-	-	-	-	-	-	-	-	-	-	-	-
Tracy Ave & Benton Ave	Stop	EB	50	150	50	150	50	150	50	100	50	100	50	100
		WB	50	125	50	125	50	125	50	75	50	75	50	75
		NB	75	175	75	175	75	175	50	100	50	100	50	100
		SB	75	150	75	150	75	150	50	75	50	75	50	75
Tracy Ave & SE Entrance/Countryside Rd	Stop	EB	25	100	25	100	25	100	25	100	25	100	25	100
		WB	25	50	25	50	25	50	25	75	25	75	25	75
		NB	25	50	25	50	25	50	25	75	25	75	25	75
		SB	25	50	25	50	25	50	25	50	25	50	25	50
Stuart Ave & W Grove St	Stop	EB	-	-	0	25	0	25	-	-	-	-	-	-
		WB	25	50	25	50	-	-	25	50	25	50	-	-
		NB	25	75	-	-	25	75	25	75	-	-	25	75
School Exit & Benton Ave	Stop	EB	-	-	-	-	-	-	-	-	-	-	-	-
		WB	-	-	-	-	-	-	-	-	-	-	-	-
		NB	75	150	-	-	75	150	50	125	-	-	50	125

**Future Build (2043)**

The 2043 build condition analyzed the proposed Countryside Elementary Parking and Drive Addition site layout (Figure 2), additional traffic generated from the expansion, and the forecasted background traffic growth. The northbound movement experiences a delay of 7 sec/vehicle in the AM peak hour and 6 sec/vehicle in the PM peak hours. Table 6 and Table 7 shows the delay, level of service and queue for all the study intersections.

In the AM Peak hour, the northbound movement at Tracy Ave and Benton Ave experiences an average queue of 75ft which is about 3 cars, and a maximum queue of 175ft which is about 7 cars. In the PM Peak hour, the northbound movement at Tracy Ave and Benton Ave experiences an average queue of 50ft which is about 2 cars, and a maximum queue of 100ft which is about 4 cars.

**Table 6: 2043 Build Conditions**

Intersection	Control	Approach	AM Peak				PM Peak					
			Traffic Delay (sec/veh)			Approach (Delay - LOS)	Intersection (Delay - LOS)	Traffic Delay (sec/veh)			Intersection (Delay - LOS)	
			Movement (Delay - LOS)					Movement (Delay - LOS)				
L	T	R	L	T	R	L	T	R				
E Grove St & Tracy Ave	Stop	WB	8-A	-	4-A	8-A	0-A	6-A	-	3-A	5-A	0-A
		NB	-	0-A	0-A	0-A		-	0-A	0-A	0-A	
		SB	2-A	0-A	-	1-A		-	0-A	-	0-A	
Tracy Ave & W Grove St	Stop	EB	7-A	0-A	4-A	5-A	2-A	6-A	0-A	3-A	5-A	1-A
		NB	4-A	2-A	-	3-A		3-A	1-A	-	2-A	
		SB	-	0-A	0-A	0-A		-	0-A	0-A	0-A	
Tracy Ave & Benton Ave	Stop	EB	9-A	9-A	8-A	9-A	8-A	6-A	4-A	4-A	5-A	5-A
		WB	12-B	11-B	9-A	11-B		6-A	7-A	4-A	6-A	
		NB	8-A	6-A	7-A	7-A		5-A	4-A	4-A	5-A	
		SB	8-A	7-A	5-A	7-A		6-A	6-A	4-A	6-A	
Tracy Ave & SE Entrance/Countryside Rd	Stop	WB	8-A	-	4-A	7-A	2-A	8-A	-	3-A	7-A	1-A
		NB	1-A	1-A	0-A	1-A		1-A	1-A	1-A	1-A	
		SB	5-A	2-A	3-A	3-A		5-A	1-A	3-A	2-A	
Stuart Ave & W Grove St	Stop	EB	-	0-A	0-A	0-A	2-A	-	0-A	0-A	0-A	1-A
		WB	3-A	1-A	-	3-A		2-A	0-A	-	1-A	
		NB	5-A	0-A	3-A	4-A		4-A	0-A	4-A	3-A	
School Exit & Benton Ave	Stop	EB	-	1-A	-	1-A	3-A	-	0-A	-	0-A	3-A
		WB	-	1-A	-	1-A		-	1-A	-	1-A	
		NB	7-A	4-A	6-A	7-A		6-A	1-A	5-A	6-A	

**Table 7: 2043 Build Queuing**

Intersection	Control	Approach	AM Peak						PM Peak					
			Traffic Queuing (feet)						Traffic Queuing (feet)					
			Left Turn		Through		Right Turn		Left Turn		Through		Right Turn	
Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	Avg	Max	
E Grove St & Tracy Ave	Stop	WB	25	50	-	-	25	50	25	50	-	-	25	50
		NB	-	-	-	-	-	-	-	-	-	-	-	-
		SB	0	25	0	25	-	-	-	-	-	-	-	-
Tracy Ave & W Grove St	Stop	EB	50	75	-	-	50	75	25	50	-	-	25	50
		NB	25	75	25	75	-	-	25	50	25	50	-	-
		SB	-	-	0	25	0	25	-	-	-	-	-	-
Tracy Ave & Benton Ave	Stop	EB	75	150	75	150	75	150	50	100	50	100	50	100
		WB	50	125	50	125	50	125	50	75	50	75	50	75
		NB	75	175	75	175	75	175	50	100	50	100	50	100
		SB	50	100	50	100	50	100	50	100	50	100	50	100
Tracy Ave & SE Entrance/Countryside Rd	Stop	EB	25	75	25	75	25	75	50	100	50	100	50	100
		WB	25	50	25	50	25	50	25	75	25	75	25	75
		NB	25	100	25	100	25	100	25	75	25	75	25	75
		SB	25	75	25	75	25	75	25	50	25	50	25	50
Stuart Ave & W Grove St	Stop	EB	-	-	0	25	0	25	-	-	-	-	-	-
		WB	25	75	25	75	-	-	25	75	25	75	-	-
		NB	25	75	-	-	25	75	25	75	-	-	25	75
School Exit & Benton Ave	Stop	EB	-	-	-	-	-	-	-	-	-	-	-	
		WB	-	-	-	-	-	-	-	-	-	-	-	
		NB	50	125	-	-	50	125	50	100	-	-	50	100

## Recommendations

Based on traffic modeling results, the proposed Countryside Elementary improvements have minimal impact on the adjacent roadway network. The additional entrance shifts bus traffic from the Tracy Avenue and Benton Avenue intersection. The school drop off and the adjacent roadway morning peak hour coincide resulting in the greatest congestion during this 7 am to 8 am time period.

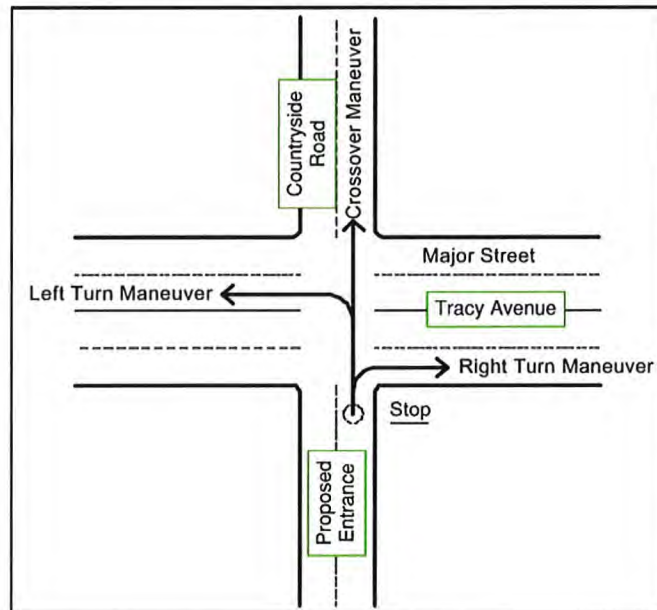
- No turn lane improvements are recommended.
- The additional full access entrance proposed on Tracy Avenue and the Countryside Road intersection is located at the bottom of a vertical curve, recommended to provide minimum 280 feet sight distance per Table 8 from the *AASHTO Green Book - A Policy on Geometric Design of Highways and Streets*. On-street parking and landscaping must be located outside the sight triangle at this new entrance location.

**Table 8: AASHTO Minimum Recommended Sight Distance**

**Table 4.3. Minimum Recommended Sight Distances Based on Vehicle Maneuver**

Vehicle Speed (mph)	Stopping Sight Distance for Left-Turn Maneuver (feet)	Stopping Sight Distance for Crossover and Right-Turn Maneuvers (feet)
15	170	145
20	225	195
25	280	240
30	335	290
35	390	335
40	445	385
45	500	430
50	555	480
55	610	530

**Figure 3: Maneuvers at Stop Control Intersection**



# Appendix A: Traffic Counts

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : E Grove and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 1

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	Tracy Ave From North					Grove St From East					Tracy Ave From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
12:15 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	1
12:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
Total	0	1	0	0	1	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	6
01:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
02:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
03:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
04:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
04:15 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	2
04:30 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	1
04:45 AM	0	0	0	0	0	0	0	1	0	1	0	1	0	0	1	0	0	0	0	0	2
Total	0	2	0	0	2	0	0	1	0	1	0	3	0	0	3	0	0	0	0	0	6
05:00 AM	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4
05:15 AM	0	0	0	0	0	0	0	0	1	1	0	1	0	0	1	0	0	0	0	0	2
05:30 AM	0	3	0	0	3	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	4
05:45 AM	0	4	0	0	4	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	5
Total	0	11	0	0	11	0	0	1	1	2	1	1	0	0	2	0	0	0	0	0	15
06:00 AM	0	3	0	0	3	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	7
06:15 AM	0	5	0	0	5	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	8
06:30 AM	0	8	0	0	8	0	0	0	1	1	0	6	0	0	6	0	0	0	0	0	15
06:45 AM	0	3	0	0	3	0	0	0	1	1	0	11	0	0	11	0	0	0	0	0	15
Total	0	19	0	0	19	0	0	0	2	2	0	24	0	0	24	0	0	0	0	0	45

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : E Grove and Tracy 24 hr 2022-03-29  
 Site Code : 00000000  
 Start Date : 3/29/2022  
 Page No : 2

Grove St and Tracy Ave  
 Edina, MN

Groups Printed- Cars + - Trucks

Start Time	Tracy Ave From North					Grove St From East					Tracy Ave From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	0	22	0	0	22	0	0	1	0	1	0	10	0	0	10	0	0	0	0	0	33
07:15 AM	0	33	0	0	33	1	0	0	1	2	0	27	0	0	27	0	0	0	0	0	62
07:30 AM	0	71	2	0	73	2	0	8	9	19	0	57	0	0	57	0	0	0	0	0	149
07:45 AM	0	42	0	0	42	1	0	2	1	4	1	63	0	0	64	0	0	0	0	0	110
Total	0	168	2	0	170	4	0	11	11	26	1	157	0	0	158	0	0	0	0	0	354
08:00 AM	0	34	0	0	34	0	0	2	0	2	0	26	0	0	26	0	0	0	0	0	62
08:15 AM	0	23	1	0	24	0	0	1	0	1	0	26	0	0	26	0	0	0	0	0	51
08:30 AM	0	21	1	0	22	2	0	2	0	4	0	24	0	0	24	0	0	0	0	0	50
08:45 AM	0	34	1	0	35	0	0	0	1	1	0	21	0	0	21	0	0	0	0	0	57
Total	0	112	3	0	115	2	0	5	1	8	0	97	0	0	97	0	0	0	0	0	220
09:00 AM	0	31	1	0	32	1	0	3	0	4	1	46	0	0	47	0	0	0	0	0	83
09:15 AM	0	21	0	0	21	0	0	0	1	1	2	36	0	0	38	0	0	0	0	0	60
09:30 AM	0	12	0	0	12	1	0	2	2	5	0	12	0	0	12	0	0	0	0	0	29
09:45 AM	0	16	0	0	16	1	0	4	1	6	1	20	0	0	21	0	0	0	0	0	43
Total	0	80	1	0	81	3	0	9	4	16	4	114	0	0	118	0	0	0	0	0	215
10:00 AM	0	15	0	0	15	0	0	0	0	0	1	16	0	0	17	0	0	0	0	0	32
10:15 AM	0	11	0	0	11	0	0	0	0	0	2	15	0	0	17	0	0	0	0	0	28
10:30 AM	0	17	0	0	17	0	0	0	1	1	2	17	0	0	19	0	0	0	0	0	37
10:45 AM	0	9	1	0	10	0	0	0	0	0	0	13	0	0	13	0	0	0	0	0	23
Total	0	52	1	0	53	0	0	0	1	1	5	61	0	0	66	0	0	0	0	0	120
11:00 AM	0	11	0	0	11	0	0	1	1	2	1	17	0	0	18	0	0	0	0	0	31
11:15 AM	0	10	0	0	10	0	0	0	0	0	0	21	0	0	21	0	0	0	0	0	31
11:30 AM	0	17	0	0	17	0	0	2	2	4	1	22	0	0	23	0	0	0	0	0	44
11:45 AM	0	21	0	0	21	0	0	1	0	1	1	18	0	0	19	0	0	0	0	0	41
Total	0	59	0	0	59	0	0	4	3	7	3	78	0	0	81	0	0	0	0	0	147
12:00 PM	0	18	0	0	18	0	0	2	0	2	0	27	0	0	27	0	0	0	0	0	47
12:15 PM	0	4	0	0	4	0	0	0	2	2	0	27	0	0	27	0	0	0	0	0	33
12:30 PM	0	19	0	0	19	0	0	0	0	0	1	22	0	0	23	0	0	0	0	0	42
12:45 PM	0	34	0	0	34	0	0	2	1	3	1	28	0	0	29	0	0	0	0	0	66
Total	0	75	0	0	75	0	0	4	3	7	2	104	0	0	106	0	0	0	0	0	188
01:00 PM	0	29	1	0	30	0	0	0	0	0	0	42	0	0	42	0	0	0	0	0	72
01:15 PM	0	24	0	0	24	0	0	2	0	2	0	25	0	0	25	0	0	0	0	0	51
01:30 PM	0	23	1	0	24	0	0	0	1	1	1	19	0	0	20	0	0	0	0	0	45
01:45 PM	0	22	0	0	22	0	0	2	0	2	0	19	0	0	19	0	0	0	0	0	43
Total	0	98	2	0	100	0	0	4	1	5	1	105	0	0	106	0	0	0	0	0	211

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : E Grove and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	Tracy Ave From North					Grove St From East					Tracy Ave From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	0	22	0	0	22	0	0	1	0	1	0	27	0	0	27	0	0	0	0	0	50
02:15 PM	0	37	0	0	37	1	0	2	3	6	0	43	0	0	43	0	0	0	0	0	86
02:30 PM	0	43	0	0	43	2	0	0	1	3	1	44	0	0	45	0	0	0	0	0	91
02:45 PM	0	23	0	0	23	1	0	1	2	4	2	23	0	0	25	0	0	0	0	0	52
Total	0	125	0	0	125	4	0	4	6	14	3	137	0	0	140	0	0	0	0	0	279
03:00 PM	0	18	1	0	19	0	0	2	2	4	0	19	0	0	19	0	0	0	0	0	42
03:15 PM	0	28	0	0	28	0	0	1	1	2	0	46	0	0	46	0	0	0	0	0	76
03:30 PM	0	37	1	0	38	0	0	1	0	1	1	52	0	0	53	0	0	0	0	0	92
03:45 PM	0	35	0	0	35	0	0	6	1	7	2	31	0	0	33	0	0	0	0	0	75
Total	0	118	2	0	120	0	0	10	4	14	3	148	0	0	151	0	0	0	0	0	285
04:00 PM	0	34	0	0	34	1	0	1	1	3	2	34	0	0	36	0	0	0	0	0	73
04:15 PM	0	31	1	0	32	0	0	0	0	0	1	63	0	0	64	0	0	0	0	0	96
04:30 PM	0	27	0	0	27	1	0	1	0	2	2	49	0	0	51	0	0	0	0	0	80
04:45 PM	0	39	0	0	39	1	0	1	0	2	2	40	0	0	42	0	0	0	0	0	83
Total	0	131	1	0	132	3	0	3	1	7	7	186	0	0	193	0	0	0	0	0	332
05:00 PM	0	34	0	0	34	0	0	1	1	2	4	51	0	0	55	0	0	0	0	0	91
05:15 PM	0	20	0	0	20	0	0	4	0	4	1	44	0	0	45	0	0	0	0	0	69
05:30 PM	0	35	1	0	36	0	0	2	2	4	4	32	0	0	36	0	0	0	0	0	76
05:45 PM	0	24	0	0	24	0	0	0	1	1	0	30	0	0	30	0	0	0	0	0	55
Total	0	113	1	0	114	0	0	7	4	11	9	157	0	0	166	0	0	0	0	0	291
06:00 PM	0	14	0	0	14	0	0	2	0	2	0	34	0	0	34	0	0	0	0	0	50
06:15 PM	0	20	0	0	20	0	0	0	0	0	0	24	0	0	24	0	0	0	0	0	44
06:30 PM	0	15	0	0	15	0	0	1	2	3	0	24	0	0	24	0	0	0	0	0	42
06:45 PM	0	12	0	0	12	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	22
Total	0	61	0	0	61	0	0	3	2	5	0	92	0	0	92	0	0	0	0	0	158
07:00 PM	0	13	0	0	13	0	0	0	0	0	0	11	0	0	11	0	0	0	0	0	24
07:15 PM	0	16	0	0	16	0	0	0	0	0	1	13	0	0	14	0	0	0	0	0	30
07:30 PM	0	9	0	0	9	1	0	0	2	3	1	10	0	0	11	0	0	0	0	0	23
07:45 PM	0	11	0	0	11	0	0	0	0	0	0	14	0	0	14	0	0	0	0	0	25
Total	0	49	0	0	49	1	0	0	2	3	2	48	0	0	50	0	0	0	0	0	102
08:00 PM	0	9	0	0	9	0	0	1	0	1	3	9	0	0	12	0	0	0	0	0	22
08:15 PM	0	11	0	0	11	2	0	1	0	3	1	12	0	0	13	0	0	0	0	0	27
08:30 PM	0	11	0	0	11	0	0	3	0	3	0	6	0	0	6	0	0	0	0	0	20
08:45 PM	0	10	0	0	10	3	0	1	0	4	3	1	0	0	4	0	0	0	0	0	18
Total	0	41	0	0	41	5	0	6	0	11	7	28	0	0	35	0	0	0	0	0	87



# Bolton & Menk, Inc

## Turning Movement Counts

File Name : E Grove and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	Tracy Ave From North					Grove St From East					Tracy Ave From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
09:00 PM	0	5	0	0	5	3	0	0	0	3	0	10	0	0	10	0	0	0	0	0	18
09:15 PM	0	4	0	0	4	1	0	0	0	1	0	6	0	0	6	0	0	0	0	0	11
09:30 PM	0	7	0	0	7	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	11
09:45 PM	0	2	0	0	2	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	7
Total	0	18	0	0	18	4	0	0	0	4	0	25	0	0	25	0	0	0	0	0	47
10:00 PM	0	0	1	0	1	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	4
10:15 PM	0	4	0	0	4	0	0	0	0	0	1	3	0	0	4	0	0	0	0	0	8
10:30 PM	0	2	0	0	2	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	6
10:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	6	1	0	7	0	0	0	0	0	1	10	0	0	11	0	0	0	0	0	18
11:00 PM	0	3	0	0	3	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	5
11:15 PM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	1
11:30 PM	0	2	0	0	2	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	3
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	5	0	0	5	0	0	1	0	1	1	2	0	0	3	0	0	0	0	0	9
Grand Total	0	1347	14	0	1361	26	0	73	46	145	50	1582	0	0	1632	0	0	0	0	0	3138
Apprch %	0	99	1	0		17.9	0	50.3	31.7		3.1	96.9	0	0		0	0	0	0		
Total %	0	42.9	0.4	0	43.4	0.8	0	2.3	1.5	4.6	1.6	50.4	0	0	52	0	0	0	0	0	
Cars +	0	1314	14	0	1328	26	0	73	46	145	50	1536	0	0	1586	0	0	0	0	0	3059
% Cars +	0	97.6	100	0	97.6	100	0	100	100	100	100	97.1	0	0	97.2	0	0	0	0	0	97.5
Trucks	0	33	0	0	33	0	0	0	0	0	0	46	0	0	46	0	0	0	0	0	79
% Trucks	0	2.4	0	0	2.4	0	0	0	0	0	0	2.9	0	0	2.8	0	0	0	0	0	2.5

# Bolton & Menk, Inc

Turning Movement Counts

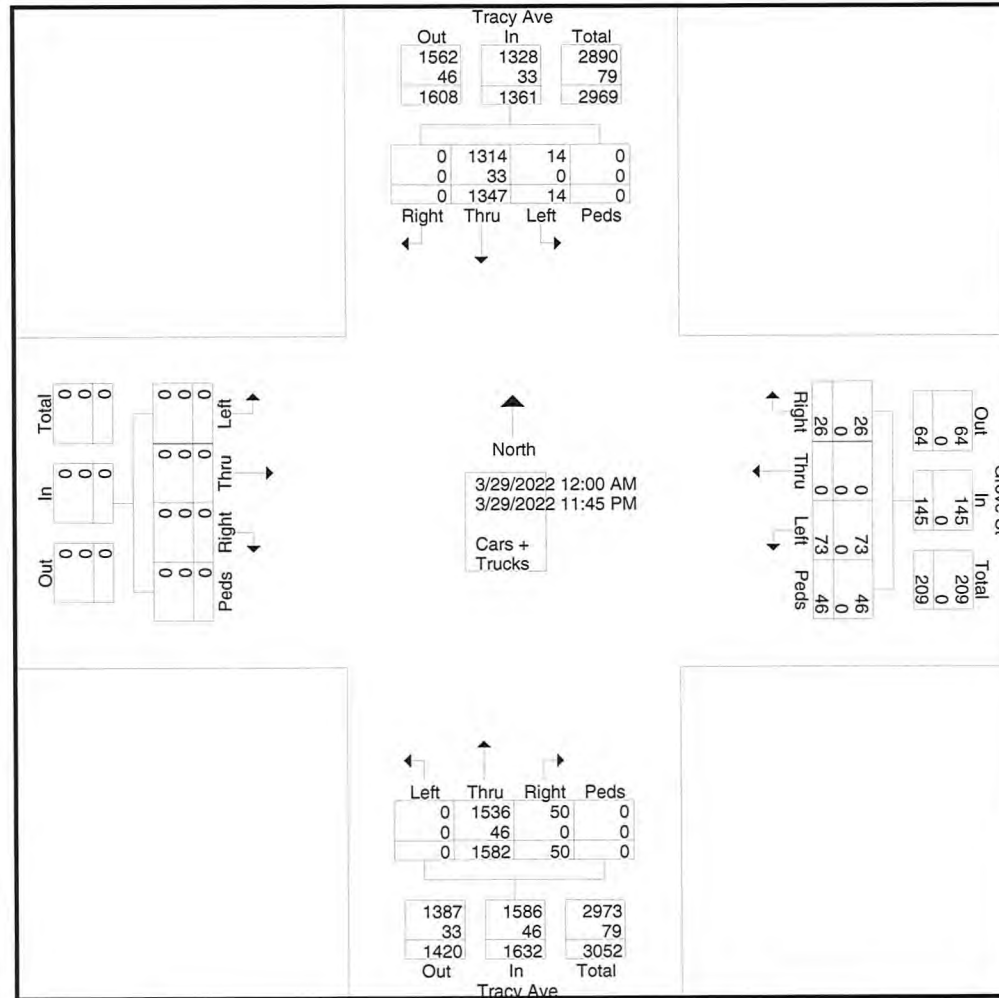
File Name : E Grove and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 5

Grove St and Tracy Ave  
Edina, MN



Grove St and Tracy Ave  
Edina, MN

Start Time	Tracy Ave From North					Grove St From East					Tracy Ave From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 AM to 11:45 AM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:15 AM																					
07:15 AM	0	33	0	0	33	1	0	0	1	2	0	27	0	0	27	0	0	0	0	0	62
07:30 AM	0	71	2	0	73	2	0	8	9	19	0	57	0	0	57	0	0	0	0	0	149
07:45 AM	0	42	0	0	42	1	0	2	1	4	1	63	0	0	64	0	0	0	0	0	110
08:00 AM	0	34	0	0	34	0	0	2	0	2	0	26	0	0	26	0	0	0	0	0	62
Total Volume	0	180	2	0	182	4	0	12	11	27	1	173	0	0	174	0	0	0	0	0	383
% App. Total	0	98.9	1.1	0		14.8	0	44.4	40.7		0.6	99.4	0	0		0	0	0	0		
PHF	.000	.634	.250	.000	.623	.500	.000	.375	.306	.355	.250	.687	.000	.000	.680	.000	.000	.000	.000	.000	.643
Cars +	0	170	2	0	172	4	0	12	11	27	1	158	0	0	159	0	0	0	0	0	358
% Cars +	0	94.4	100	0	94.5	100	0	100	100	100	100	91.3	0	0	91.4	0	0	0	0	0	93.5
Trucks	0	10	0	0	10	0	0	0	0	0	0	15	0	0	15	0	0	0	0	0	25
% Trucks	0	5.6	0	0	5.5	0	0	0	0	0	0	8.7	0	0	8.6	0	0	0	0	0	6.5
Peak Hour Analysis From 12:00 PM to 11:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:15 PM																					
04:15 PM	0	31	1	0	32	0	0	0	0	0	1	63	0	0	64	0	0	0	0	0	96
04:30 PM	0	27	0	0	27	1	0	1	0	2	2	49	0	0	51	0	0	0	0	0	80
04:45 PM	0	39	0	0	39	1	0	1	0	2	2	40	0	0	42	0	0	0	0	0	83
05:00 PM	0	34	0	0	34	0	0	1	1	2	4	51	0	0	55	0	0	0	0	0	91
Total Volume	0	131	1	0	132	2	0	3	1	6	9	203	0	0	212	0	0	0	0	0	350
% App. Total	0	99.2	0.8	0		33.3	0	50	16.7		4.2	95.8	0	0		0	0	0	0		
PHF	.000	.840	.250	.000	.846	.500	.000	.750	.250	.750	.563	.806	.000	.000	.828	.000	.000	.000	.000	.000	.911
Cars +	0	130	1	0	131	2	0	3	1	6	9	196	0	0	205	0	0	0	0	0	342
% Cars +	0	99.2	100	0	99.2	100	0	100	100	100	100	96.6	0	0	96.7	0	0	0	0	0	97.7
Trucks	0	1	0	0	1	0	0	0	0	0	0	7	0	0	7	0	0	0	0	0	8
% Trucks	0	0.8	0	0	0.8	0	0	0	0	0	0	3.4	0	0	3.3	0	0	0	0	0	2.3

# Bolton & Menk, Inc

Turning Movement Counts

File Name : w grove and tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 1

W Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2
12:15 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1
12:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2
Total	0	1	0	0	1	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	6
01:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
02:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
03:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
04:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
04:15 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	2
04:30 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1
04:45 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	2
Total	0	3	0	0	3	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	6
05:00 AM	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	5	
05:15 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	1	1
05:30 AM	0	3	0	0	3	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	4	4
05:45 AM	0	5	0	0	5	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	6	6
Total	0	12	0	0	12	0	0	0	0	0	0	2	0	0	2	2	0	0	0	2	16	16
06:00 AM	0	3	0	0	3	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	7	7
06:15 AM	0	6	0	0	6	0	0	0	0	0	0	2	1	0	3	0	0	1	0	1	10	10
06:30 AM	0	8	0	0	8	0	0	0	0	0	0	5	0	0	5	0	0	1	0	1	14	14
06:45 AM	1	2	0	0	3	0	0	0	0	0	0	11	5	0	16	0	0	0	0	0	19	19
Total	1	19	0	0	20	0	0	0	0	0	0	22	6	0	28	0	0	2	0	2	50	50

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : w grove and tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 2

W Grove St and Tracy Ave  
Edina, MN

### Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	1	22	0	0	23	0	0	0	0	0	0	8	1	0	9	4	0	2	0	6	38
07:15 AM	3	28	0	0	31	0	0	0	0	0	0	26	8	0	34	2	0	2	0	4	69
07:30 AM	26	51	0	0	77	0	0	0	0	0	0	52	22	0	74	2	0	6	0	8	159
07:45 AM	6	42	0	0	48	0	0	0	0	0	0	59	7	0	66	12	0	4	0	16	130
Total	36	143	0	0	179	0	0	0	0	0	0	145	38	0	183	20	0	14	0	34	396
08:00 AM	1	36	0	0	37	0	0	0	0	0	0	25	8	0	33	2	0	1	0	3	73
08:15 AM	5	19	0	0	24	0	0	0	0	0	0	20	5	0	25	3	0	7	0	10	59
08:30 AM	9	14	0	0	23	0	0	0	0	0	0	20	2	0	22	2	0	3	0	5	50
08:45 AM	11	23	0	0	34	0	0	0	0	0	0	17	24	0	41	5	0	4	0	9	84
Total	26	92	0	0	118	0	0	0	0	0	0	82	39	0	121	12	0	15	0	27	266
09:00 AM	9	25	0	1	35	0	0	0	0	0	0	26	11	0	37	22	0	21	0	43	115
09:15 AM	5	16	0	0	21	0	0	0	0	0	0	33	7	0	40	2	0	6	0	8	69
09:30 AM	0	14	0	1	15	0	0	0	0	0	0	11	4	0	15	2	0	0	0	2	32
09:45 AM	2	18	0	0	20	0	0	0	0	0	0	18	2	0	20	1	0	3	0	4	44
Total	16	73	0	2	91	0	0	0	0	0	0	88	24	0	112	27	0	30	0	57	260
10:00 AM	3	11	0	0	14	0	0	0	0	0	0	14	0	0	14	1	0	2	0	3	31
10:15 AM	0	12	0	0	12	0	0	0	0	0	0	16	3	1	20	1	0	2	0	3	35
10:30 AM	2	15	0	0	17	0	0	0	0	0	0	15	1	0	16	2	0	3	0	5	38
10:45 AM	2	7	0	0	9	0	0	0	0	0	0	7	2	0	9	1	0	6	0	7	25
Total	7	45	0	0	52	0	0	0	0	0	0	52	6	1	59	5	0	13	0	18	129
11:00 AM	2	10	0	0	12	0	0	0	0	0	0	16	0	0	16	1	0	2	0	3	31
11:15 AM	2	8	0	0	10	0	0	0	0	0	0	18	0	0	18	1	0	3	0	4	32
11:30 AM	2	17	0	0	19	0	0	0	0	0	0	22	2	0	24	3	0	2	0	5	48
11:45 AM	6	16	0	0	22	0	0	0	0	0	0	16	2	0	18	7	0	3	0	10	50
Total	12	51	0	0	63	0	0	0	0	0	0	72	4	0	76	12	0	10	0	22	161
12:00 PM	1	19	0	2	22	0	0	0	0	0	0	24	1	0	25	2	0	3	0	5	52
12:15 PM	2	2	0	0	4	0	0	0	0	0	0	25	2	0	27	2	0	2	0	4	35
12:30 PM	3	16	0	1	20	0	0	0	0	0	0	24	3	0	27	1	0	0	0	1	48
12:45 PM	16	20	0	0	36	0	0	0	0	0	0	22	16	0	38	2	0	6	0	8	82
Total	22	57	0	3	82	0	0	0	0	0	0	95	22	0	117	7	0	11	0	18	217
01:00 PM	2	27	0	2	31	0	0	0	0	0	0	24	5	0	29	18	0	18	0	36	96
01:15 PM	2	25	0	0	27	0	0	0	0	0	0	22	0	0	22	3	0	3	0	6	55
01:30 PM	0	12	0	0	12	0	0	0	0	0	0	17	2	0	19	3	0	3	0	6	37
01:45 PM	9	15	0	1	25	0	0	0	0	0	0	19	4	0	23	4	0	1	0	5	53
Total	13	79	0	3	95	0	0	0	0	0	0	82	11	0	93	28	0	25	0	53	241

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : w grove and tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

W Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	4	20	0	0	24	0	0	0	0	0	0	21	16	2	39	2	0	4	0	6	69
02:15 PM	10	29	0	0	39	0	0	0	0	0	0	36	7	0	43	5	0	7	0	12	94
02:30 PM	5	37	0	0	42	0	0	0	0	0	0	38	8	0	46	7	0	4	0	11	99
02:45 PM	4	20	0	0	24	0	0	0	0	0	0	20	0	0	20	2	0	5	1	8	52
Total	23	106	0	0	129	0	0	0	0	0	0	115	31	2	148	16	0	20	1	37	314
03:00 PM	0	20	0	0	20	0	0	0	0	0	0	18	5	0	23	4	0	1	0	5	48
03:15 PM	3	26	0	1	30	0	0	0	0	0	0	45	6	0	51	2	0	1	0	3	84
03:30 PM	5	33	0	0	38	0	0	0	0	0	0	50	3	0	53	3	0	3	0	6	97
03:45 PM	1	40	0	1	42	0	0	0	0	0	0	32	1	0	33	2	0	1	0	3	78
Total	9	119	0	2	130	0	0	0	0	0	0	145	15	0	160	11	0	6	0	17	307
04:00 PM	2	33	0	0	35	0	0	0	0	0	0	35	1	0	36	3	0	1	0	4	75
04:15 PM	3	28	0	0	31	0	0	0	0	0	0	61	2	0	63	6	0	3	0	9	103
04:30 PM	2	26	0	0	28	0	0	0	0	0	0	50	3	0	53	5	0	1	0	6	87
04:45 PM	2	38	0	0	40	0	0	0	0	0	0	41	4	0	45	1	0	2	0	3	88
Total	9	125	0	0	134	0	0	0	0	0	0	187	10	0	197	15	0	7	0	22	353
05:00 PM	3	33	0	0	36	0	0	0	0	0	0	50	1	0	51	4	0	5	0	9	96
05:15 PM	2	21	0	0	23	0	0	0	0	0	0	41	1	0	42	1	0	5	0	6	71
05:30 PM	8	29	0	0	37	0	0	0	0	0	0	31	2	0	33	1	0	4	0	5	75
05:45 PM	6	18	0	0	24	0	0	0	0	0	0	29	3	0	32	3	0	1	0	4	60
Total	19	101	0	0	120	0	0	0	0	0	0	151	7	0	158	9	0	15	0	24	302
06:00 PM	3	13	0	0	16	0	0	0	0	0	0	32	3	0	35	1	0	3	0	4	55
06:15 PM	3	17	0	0	20	0	0	0	0	0	0	20	3	0	23	5	0	2	0	7	50
06:30 PM	1	14	0	0	15	0	0	0	0	0	0	24	2	0	26	1	0	1	0	2	43
06:45 PM	2	10	0	0	12	0	0	0	0	0	0	11	2	0	13	1	0	0	0	1	26
Total	9	54	0	0	63	0	0	0	0	0	0	87	10	0	97	8	0	6	0	14	174
07:00 PM	4	9	0	0	13	0	0	0	0	0	0	10	3	0	13	1	0	3	0	4	30
07:15 PM	2	14	0	0	16	0	0	0	0	0	0	12	0	0	12	0	0	2	0	2	30
07:30 PM	1	8	0	0	9	0	0	0	0	0	0	11	1	0	12	0	0	0	0	0	21
07:45 PM	3	8	0	0	11	0	0	0	0	0	0	13	5	0	18	0	0	1	0	1	30
Total	10	39	0	0	49	0	0	0	0	0	0	46	9	0	55	1	0	6	0	7	111
08:00 PM	2	8	0	0	10	0	0	0	0	0	0	9	2	0	11	4	0	3	0	7	28
08:15 PM	0	12	0	0	12	0	0	0	0	0	0	13	4	0	17	1	0	0	0	1	30
08:30 PM	0	6	0	0	6	0	0	0	0	0	0	11	0	0	11	0	0	0	0	0	17
08:45 PM	0	11	0	0	11	0	0	0	0	0	0	4	1	0	5	1	0	0	0	1	17
Total	2	37	0	0	39	0	0	0	0	0	0	37	7	0	44	6	0	3	0	9	92

# Bolton & Menk, Inc

Turning Movement Counts

File Name : w grove and tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

W Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
09:00 PM	0	5	0	0	5	0	0	0	0	0	0	9	3	0	12	1	0	1	0	2	19
09:15 PM	2	2	0	0	4	0	0	0	0	0	0	7	1	0	8	0	0	0	0	0	12
09:30 PM	4	3	0	0	7	0	0	0	0	0	0	4	0	0	4	1	0	0	0	1	12
09:45 PM	0	2	0	0	2	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	7
Total	6	12	0	0	18	0	0	0	0	0	0	25	4	0	29	2	0	1	0	3	50
10:00 PM	0	0	0	0	0	0	0	0	0	0	0	4	1	0	5	0	0	0	0	0	5
10:15 PM	2	2	0	0	4	0	0	0	0	0	0	3	0	0	3	0	0	1	0	1	8
10:30 PM	1	1	0	0	2	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	6
10:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	3	3	0	0	6	0	0	0	0	0	0	11	1	0	12	0	0	1	0	1	19
11:00 PM	0	3	0	0	3	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	5
11:15 PM	0	0	0	0	0	0	0	0	0	0	0	1	1	0	2	0	0	0	0	0	2
11:30 PM	0	3	0	0	3	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	4
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	6	0	0	6	0	0	0	0	0	0	3	2	0	5	0	0	0	0	0	11
Grand Total	223	1180	0	10	1413	0	0	0	0	0	0	1455	246	3	1704	181	0	185	1	367	3484
Apprch %	15.8	83.5	0	0.7		0	0	0	0		0	85.4	14.4	0.2		49.3	0	50.4	0.3		
Total %	6.4	33.9	0	0.3	40.6	0	0	0	0		0	41.8	7.1	0.1	48.9	5.2	0	5.3	0	10.5	
Cars +	215	1157	0	10	1382	0	0	0	0	0	0	1413	230	3	1646	179	0	184	1	364	3392
% Cars +	96.4	98.1	0	100	97.8	0	0	0	0	0	0	97.1	93.5	100	96.6	98.9	0	99.5	100	99.2	97.4
Trucks	8	23	0	0	31	0	0	0	0	0	0	42	16	0	58	2	0	1	0	3	92
% Trucks	3.6	1.9	0	0	2.2	0	0	0	0	0	0	2.9	6.5	0	3.4	1.1	0	0.5	0	0.8	2.6

# Bolton & Menk, Inc

Turning Movement Counts

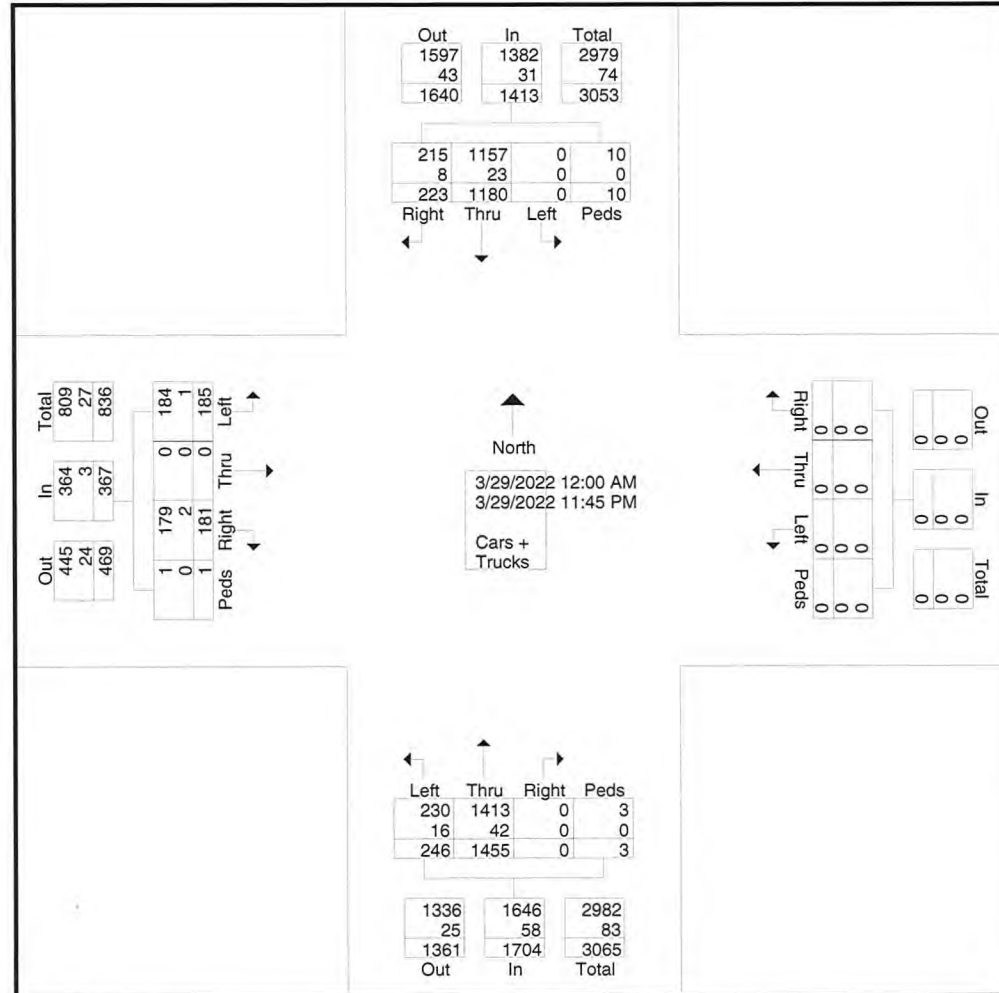
File Name : w grove and tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 5

W Grove St and Tracy Ave  
Edina, MN





# Bolton & Menk, Inc

Turning Movement Counts

File Name : w grove and tracy 24 hr 2022-03-29  
 Site Code : 00000000  
 Start Date : 3/29/2022  
 Page No : 6

W Grove St and Tracy Ave  
 Edina, MN

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 AM to 12:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:15 AM																					
07:15 AM	3	28	0	0	31	0	0	0	0	0	0	26	8	0	34	2	0	2	0	4	69
07:30 AM	26	51	0	0	77	0	0	0	0	0	0	52	22	0	74	2	0	6	0	8	159
07:45 AM	6	42	0	0	48	0	0	0	0	0	0	59	7	0	66	12	0	4	0	16	130
08:00 AM	1	36	0	0	37	0	0	0	0	0	0	25	8	0	33	2	0	1	0	3	73
Total Volume	36	157	0	0	193	0	0	0	0	0	0	162	45	0	207	18	0	13	0	31	431
% App. Total	18.7	81.3	0	0		0	0	0	0	0	0	78.3	21.7	0		58.1	0	41.9	0		
PHF	.346	.770	.000	.000	.627	.000	.000	.000	.000	.000	.000	.686	.511	.000	.699	.375	.000	.542	.000	.484	.678
Cars +	32	153	0	0	185	0	0	0	0	0	0	147	39	0	186	18	0	13	0	31	402
% Cars +	88.9	97.5	0	0	95.9	0	0	0	0	0	0	90.7	86.7	0	89.9	100	0	100	0	100	93.3
Trucks	4	4	0	0	8	0	0	0	0	0	0	15	6	0	21	0	0	0	0	0	29
% Trucks	11.1	2.5	0	0	4.1	0	0	0	0	0	0	9.3	13.3	0	10.1	0	0	0	0	0	6.7
Peak Hour Analysis From 12:15 PM to 11:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:15 PM																					
04:15 PM	3	28	0	0	31	0	0	0	0	0	0	61	2	0	63	6	0	3	0	9	103
04:30 PM	2	26	0	0	28	0	0	0	0	0	0	50	3	0	53	5	0	1	0	6	87
04:45 PM	2	38	0	0	40	0	0	0	0	0	0	41	4	0	45	1	0	2	0	3	88
05:00 PM	3	33	0	0	36	0	0	0	0	0	0	50	1	0	51	4	0	5	0	9	96
Total Volume	10	125	0	0	135	0	0	0	0	0	0	202	10	0	212	16	0	11	0	27	374
% App. Total	7.4	92.6	0	0		0	0	0	0	0	0	95.3	4.7	0		59.3	0	40.7	0		
PHF	.833	.822	.000	.000	.844	.000	.000	.000	.000	.000	.000	.828	.625	.000	.841	.667	.000	.550	.000	.750	.908
Cars +	10	124	0	0	134	0	0	0	0	0	0	195	10	0	205	15	0	11	0	26	365
% Cars +	100	99.2	0	0	99.3	0	0	0	0	0	0	96.5	100	0	96.7	93.8	0	100	0	96.3	97.6
Trucks	0	1	0	0	1	0	0	0	0	0	0	7	0	0	7	1	0	0	0	1	9
% Trucks	0	0.8	0	0	0.7	0	0	0	0	0	0	3.5	0	0	3.3	6.3	0	0	0	3.7	2.4

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 1

Benton Ave and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total					
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total						
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	2
12:15 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1
12:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	2
Total	0	1	0	0	1	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	0	0	0	0	6
01:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
01:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	
02:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	1	
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	1	
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	1	0	0	1	0	0	0	0	2	
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
03:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
03:30 AM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
04:00 AM	0	1	0	0	1	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	0	0	2	
04:15 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	2	
04:30 AM	0	0	0	0	0	0	0	0	0	0	1	1	0	0	2	0	0	0	0	0	0	0	0	0	2	
04:45 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	2	
Total	0	3	0	0	3	0	0	0	0	0	2	3	0	0	5	0	0	0	0	0	0	0	0	0	8	
05:00 AM	0	4	1	0	5	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	
05:15 AM	0	0	0	0	0	0	0	0	0	0	1	1	0	0	2	0	0	0	0	0	0	0	0	0	2	
05:30 AM	0	3	0	0	3	0	0	0	1	1	0	1	0	0	1	0	0	0	0	0	0	0	0	0	5	
05:45 AM	1	4	1	0	6	0	0	4	0	4	0	0	0	0	0	0	2	0	0	2	0	0	0	0	12	
Total	1	11	2	0	14	0	0	5	1	6	1	2	0	0	3	0	2	0	0	2	0	0	0	0	25	
06:00 AM	0	3	0	0	3	0	1	2	0	3	1	4	1	0	6	0	0	0	0	0	0	0	0	0	12	
06:15 AM	0	5	1	0	6	0	0	3	0	3	1	3	0	0	4	0	0	0	0	0	0	0	0	0	13	
06:30 AM	1	5	1	0	7	0	1	7	2	10	4	6	3	0	13	1	0	0	0	1	0	0	0	0	31	
06:45 AM	1	1	0	0	2	0	0	2	2	4	5	15	8	1	29	0	0	1	0	1	0	0	0	0	36	
Total	2	14	2	0	18	0	2	14	4	20	11	28	12	1	52	1	0	1	0	2	0	0	0	0	92	

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 2

Benton Ave and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	10	11	5	1	27	2	2	0	0	4	7	8	12	0	27	1	0	0	0	1	59
07:15 AM	11	20	0	0	31	3	4	4	1	12	7	27	19	0	53	4	1	4	0	9	105
07:30 AM	20	31	3	1	55	12	8	20	9	49	10	35	22	10	77	30	19	26	0	75	256
07:45 AM	6	42	6	0	54	8	5	28	3	44	11	30	10	3	54	38	10	27	0	75	227
Total	47	104	14	2	167	25	19	52	13	109	35	100	63	13	211	73	30	57	0	160	647
08:00 AM	1	32	5	1	39	11	0	11	0	22	12	22	3	1	38	1	0	1	1	3	102
08:15 AM	0	17	7	0	24	5	2	11	0	18	16	19	5	0	40	1	0	0	0	1	83
08:30 AM	0	12	4	0	16	2	0	12	0	14	18	21	0	0	39	1	0	0	0	1	70
08:45 AM	0	22	5	0	27	8	0	16	0	24	14	32	0	3	49	0	0	1	3	4	104
Total	1	83	21	1	106	26	2	50	0	78	60	94	8	4	166	3	0	2	4	9	359
09:00 AM	1	39	9	0	49	8	0	28	1	37	22	25	3	0	50	1	0	3	0	4	140
09:15 AM	1	16	1	1	19	3	1	13	0	17	9	35	3	0	47	2	2	3	0	7	90
09:30 AM	0	14	2	0	16	1	1	11	0	13	5	14	2	0	21	3	0	0	0	3	53
09:45 AM	1	17	1	0	19	3	0	9	0	12	6	16	3	0	25	3	1	0	0	4	60
Total	3	86	13	1	103	15	2	61	1	79	42	90	11	0	143	9	3	6	0	18	343
10:00 AM	3	9	0	0	12	1	1	10	0	12	6	13	1	0	20	0	0	1	0	1	45
10:15 AM	1	11	1	0	13	3	0	8	0	11	6	14	1	0	21	1	2	1	0	4	49
10:30 AM	0	14	0	1	15	3	0	6	1	10	10	12	0	0	22	2	0	0	0	2	49
10:45 AM	2	8	0	0	10	0	0	7	1	8	6	6	1	0	13	0	0	3	0	3	34
Total	6	42	1	1	50	7	1	31	2	41	28	45	3	0	76	3	2	5	0	10	177
11:00 AM	1	9	1	0	11	4	0	9	1	14	2	12	1	0	15	0	1	0	0	1	41
11:15 AM	0	9	0	0	9	0	0	6	0	6	5	17	0	0	22	0	0	1	0	1	38
11:30 AM	0	17	2	0	19	2	0	9	1	12	3	22	3	0	28	4	0	0	0	4	63
11:45 AM	1	18	4	0	23	2	1	9	0	12	12	15	1	0	28	2	1	1	0	4	67
Total	2	53	7	0	62	8	1	33	2	44	22	66	5	0	93	6	2	2	0	10	209
12:00 PM	1	19	2	0	22	3	1	11	0	15	9	22	0	0	31	1	0	0	0	1	69
12:15 PM	0	4	0	0	4	5	1	15	2	23	4	21	1	0	26	2	0	1	0	3	56
12:30 PM	1	14	2	0	17	6	0	11	0	17	6	18	2	0	26	0	3	4	0	7	67
12:45 PM	0	21	1	1	23	5	1	5	0	11	7	31	1	0	39	1	2	2	0	5	78
Total	2	58	5	1	66	19	3	42	2	66	26	92	4	0	122	4	5	7	0	16	270
01:00 PM	3	34	8	0	45	8	0	8	0	16	10	19	2	0	31	2	0	0	0	2	94
01:15 PM	1	25	2	0	28	2	3	8	0	13	6	19	1	0	26	1	0	1	0	2	69
01:30 PM	4	10	1	0	15	1	1	7	1	10	8	18	4	0	30	1	0	1	0	2	57
01:45 PM	2	16	0	0	18	2	3	4	0	9	4	23	7	0	34	0	0	1	0	1	62
Total	10	85	11	0	106	13	7	27	1	48	28	79	14	0	121	4	0	3	0	7	282

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

Benton Ave and Tracy Ave  
Edina, MN

### Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	3	18	1	0	22	5	1	16	5	27	6	29	13	1	49	5	2	1	0	8	106
02:15 PM	10	23	1	0	34	4	0	10	13	27	13	28	7	11	59	11	5	12	0	28	148
02:30 PM	2	33	11	0	46	7	2	4	5	18	9	22	2	5	38	25	7	17	0	49	151
02:45 PM	0	17	5	1	23	2	1	7	2	12	16	19	0	0	35	4	3	0	2	9	79
Total	15	91	18	1	125	18	4	37	25	84	44	98	22	17	181	45	17	30	2	94	484
03:00 PM	1	21	1	0	23	5	1	13	5	24	11	17	0	2	30	5	0	0	0	5	82
03:15 PM	6	16	6	0	28	11	4	22	2	39	3	37	6	1	47	3	2	3	0	8	122
03:30 PM	3	29	5	0	37	2	2	19	0	23	23	37	5	0	65	18	7	14	0	39	164
03:45 PM	0	38	3	0	41	4	2	24	0	30	26	29	1	0	56	9	0	0	0	9	136
Total	10	104	15	0	129	22	9	78	7	116	63	120	12	3	198	35	9	17	0	61	504
04:00 PM	3	28	4	0	35	3	3	30	0	36	15	31	5	0	51	6	1	2	0	9	131
04:15 PM	4	19	12	0	35	8	3	20	0	31	16	49	4	4	73	4	5	7	4	20	159
04:30 PM	11	15	5	26	57	5	3	11	0	19	12	38	7	1	58	9	3	9	0	21	155
04:45 PM	9	27	3	0	39	4	3	11	0	18	15	33	4	0	52	9	5	9	0	23	132
Total	27	89	24	26	166	20	12	72	0	104	58	151	20	5	234	28	14	27	4	73	577
05:00 PM	5	25	7	0	37	3	3	13	0	19	25	39	4	0	68	8	5	9	0	22	146
05:15 PM	1	18	2	9	30	6	4	14	14	38	22	30	3	14	69	3	2	6	0	11	148
05:30 PM	5	25	2	0	32	6	3	17	0	26	24	23	2	0	49	2	1	5	0	8	115
05:45 PM	1	16	4	0	21	3	2	16	0	21	19	23	0	0	42	10	4	5	0	19	103
Total	12	84	15	9	120	18	12	60	14	104	90	115	9	14	228	23	12	25	0	60	512
06:00 PM	0	12	2	0	14	10	0	11	0	21	10	25	0	0	35	1	0	0	0	1	71
06:15 PM	0	16	4	0	20	3	0	11	0	14	8	23	0	0	31	0	0	0	0	0	65
06:30 PM	0	15	1	0	16	6	0	9	1	16	8	17	1	0	26	0	0	0	0	0	58
06:45 PM	0	8	3	0	11	1	0	10	0	11	10	11	1	0	22	2	0	1	0	3	47
Total	0	51	10	0	61	20	0	41	1	62	36	76	2	0	114	3	0	1	0	4	241
07:00 PM	0	8	2	0	10	2	1	9	0	12	2	11	1	0	14	0	0	0	0	0	36
07:15 PM	0	13	1	0	14	0	1	6	1	8	5	12	0	1	18	1	0	0	0	1	41
07:30 PM	0	7	2	0	9	3	0	5	0	8	8	10	0	0	18	0	0	0	0	0	35
07:45 PM	0	8	0	0	8	1	0	4	0	5	8	17	0	0	25	0	0	0	0	0	38
Total	0	36	5	0	41	6	2	24	1	33	23	50	1	1	75	1	0	0	0	1	150
08:00 PM	0	11	1	0	12	2	1	10	0	13	5	9	0	0	14	1	0	0	0	1	40
08:15 PM	0	12	1	0	13	1	0	1	0	2	2	17	2	0	21	0	0	0	0	0	36
08:30 PM	0	5	1	0	6	2	1	5	0	8	5	8	2	0	15	1	0	0	0	1	30
08:45 PM	0	11	0	0	11	0	0	7	0	7	4	5	0	0	9	0	0	0	0	0	27
Total	0	39	3	0	42	5	2	23	0	30	16	39	4	0	59	2	0	0	0	2	133

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

Benton Ave and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
09:00 PM	0	4	2	0	6	0	0	3	0	3	5	12	1	0	18	1	0	0	0	1	28
09:15 PM	0	3	0	0	3	0	0	2	0	2	0	8	0	0	8	0	0	0	0	0	13
09:30 PM	0	3	1	0	4	1	0	1	0	2	1	3	0	0	4	0	0	0	0	0	10
09:45 PM	0	2	0	0	2	1	0	4	0	5	1	4	0	0	5	0	0	0	0	0	12
Total	0	12	3	0	15	2	0	10	0	12	7	27	1	0	35	1	0	0	0	1	63
10:00 PM	0	0	0	0	0	0	0	0	0	0	2	5	0	0	7	0	0	0	0	0	7
10:15 PM	0	2	0	0	2	1	0	0	0	1	3	3	0	0	6	0	0	0	0	0	9
10:30 PM	0	1	0	0	1	0	0	0	0	0	1	2	0	0	3	1	0	1	0	2	6
10:45 PM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	1
Total	0	3	0	0	3	1	0	0	0	1	7	10	0	0	17	1	0	1	0	2	23
11:00 PM	0	3	0	0	3	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	5
11:15 PM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
11:30 PM	0	3	0	0	3	0	0	1	0	1	0	1	0	0	1	0	0	0	0	0	5
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	6	0	0	6	0	0	1	0	1	0	5	0	0	5	0	0	0	0	0	12
Grand Total	138	1057	170	42	1407	225	78	661	74	1038	599	1295	192	58	2144	242	97	184	10	533	5122
Apprch %	9.8	75.1	12.1	3		21.7	7.5	63.7	7.1		27.9	60.4	9	2.7		45.4	18.2	34.5	1.9		
Total %	2.7	20.6	3.3	0.8	27.5	4.4	1.5	12.9	1.4	20.3	11.7	25.3	3.7	1.1	41.9	4.7	1.9	3.6	0.2	10.4	
Cars +	136	1035	167	42	1380	219	78	636	74	1007	574	1253	188	57	2072	232	89	172	9	502	4961
% Cars +	98.6	97.9	98.2	100	98.1	97.3	100	96.2	100	97	95.8	96.8	97.9	98.3	96.6	95.9	91.8	93.5	90	94.2	96.9
Trucks	2	22	3	0	27	6	0	25	0	31	25	42	4	1	72	10	8	12	1	31	161
% Trucks	1.4	2.1	1.8	0	1.9	2.7	0	3.8	0	3	4.2	3.2	2.1	1.7	3.4	4.1	8.2	6.5	10	5.8	3.1

# Bolton & Menk, Inc

Turning Movement Counts

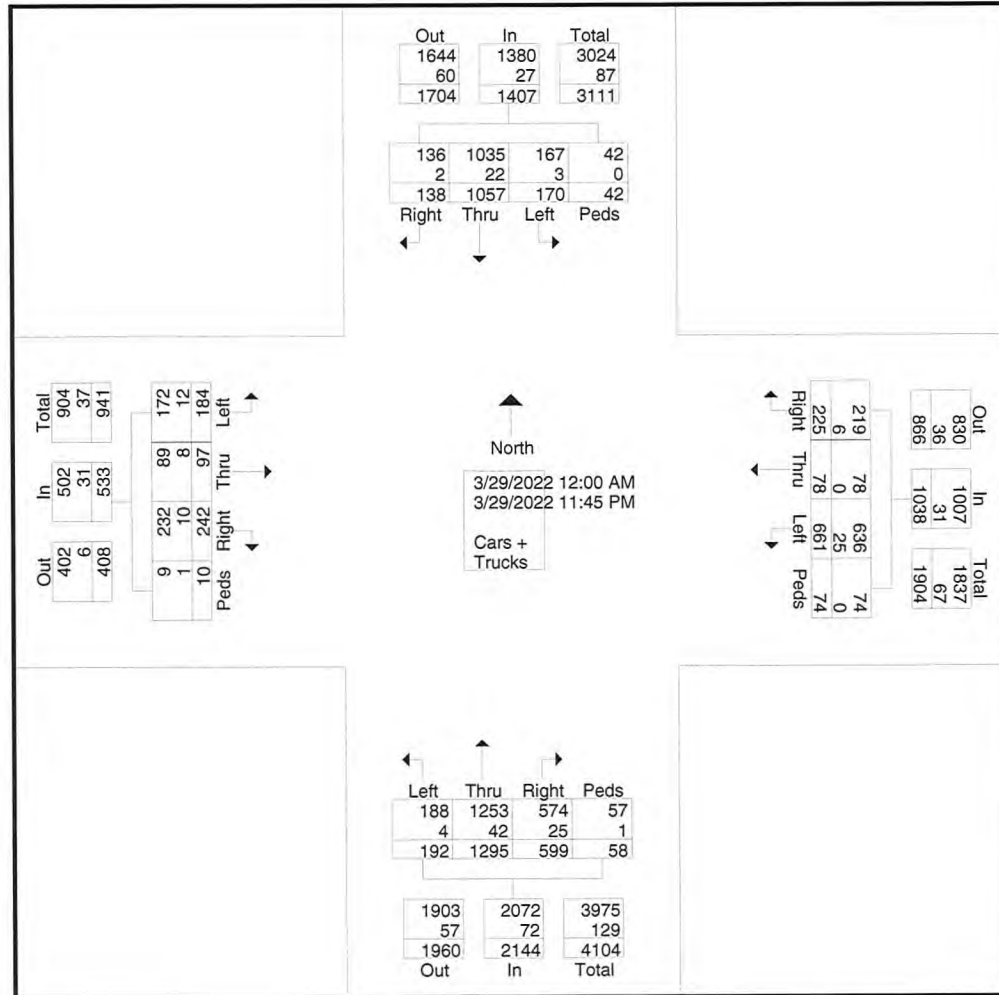
File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 5

Benton Ave and Tracy Ave  
Edina, MN



# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and Tracy 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 6

Benton Ave and Tracy Ave  
Edina, MN

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 AM to 12:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:15 AM																					
07:15 AM	11	20	0	0	31	3	4	4	1	12	7	27	19	0	53	4	1	4	0	9	105
07:30 AM	20	31	3	1	55	12	8	20	9	49	10	35	22	10	77	30	19	26	0	75	256
07:45 AM	6	42	6	0	54	8	5	28	3	44	11	30	10	3	54	38	10	27	0	75	227
08:00 AM	1	32	5	1	39	11	0	11	0	22	12	22	3	1	38	1	0	1	1	3	102
Total Volume	38	125	14	2	179	34	17	63	13	127	40	114	54	14	222	73	30	58	1	162	690
% App. Total	21.2	69.8	7.8	1.1		26.8	13.4	49.6	10.2		18	51.4	24.3	6.3		45.1	18.5	35.8	0.6		
PHF	.475	.744	.583	.500	.814	.708	.531	.563	.361	.648	.833	.814	.614	.350	.721	.480	.395	.537	.250	.540	.674
Cars +	38	120	14	2	174	30	17	59	13	119	40	104	54	14	212	72	24	51	1	148	653
% Cars +	100	96.0	100	100	97.2	88.2	100	93.7	100	93.7	100	91.2	100	100	95.5	98.6	80.0	87.9	100	91.4	94.6
Trucks	0	5	0	0	5	4	0	4	0	8	0	10	0	0	10	1	6	7	0	14	37
% Trucks	0	4.0	0	0	2.8	11.8	0	6.3	0	6.3	0	8.8	0	0	4.5	1.4	20.0	12.1	0	8.6	5.4
Peak Hour Analysis From 12:15 PM to 11:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 04:15 PM																					
04:15 PM	4	19	12	0	35	8	3	20	0	31	16	49	4	4	73	4	5	7	4	20	159
04:30 PM	11	15	5	26	57	5	3	11	0	19	12	38	7	1	58	9	3	9	0	21	155
04:45 PM	9	27	3	0	39	4	3	11	0	18	15	33	4	0	52	9	5	9	0	23	132
05:00 PM	5	25	7	0	37	3	3	13	0	19	25	39	4	0	68	8	5	9	0	22	146
Total Volume	29	86	27	26	168	20	12	55	0	87	68	159	19	5	251	30	18	34	4	86	592
% App. Total	17.3	51.2	16.1	15.5		23	13.8	63.2	0		27.1	63.3	7.6	2		34.9	20.9	39.5	4.7		
PHF	.659	.796	.563	.250	.737	.625	1.00	.688	.000	.702	.680	.811	.679	.313	.860	.833	.900	.944	.250	.935	.931
Cars +	29	84	27	26	166	19	12	51	0	82	65	153	19	5	242	30	18	34	4	86	576
% Cars +	100	97.7	100	100	98.8	95.0	100	92.7	0	94.3	95.6	96.2	100	100	96.4	100	100	100	100	100	97.3
Trucks	0	2	0	0	2	1	0	4	0	5	3	6	0	0	9	0	0	0	0	0	16
% Trucks	0	2.3	0	0	1.2	5.0	0	7.3	0	5.7	4.4	3.8	0	0	3.6	0	0	0	0	0	2.7

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 1

Grove St and Tracy Ave  
Edina, MN

### Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
12:15 AM	0	0	0	0	0	0	0	1	1	2	0	1	0	0	1	0	0	0	0	0	3
12:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
Total	0	1	0	0	1	0	0	1	1	2	0	5	0	0	5	0	0	0	0	0	8
01:00 AM	0	1	0	0	1	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	2
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
01:45 AM	0	0	0	0	0	0	0	0	0	0	1	1	0	0	2	0	0	0	0	0	2
Total	0	2	0	0	2	0	0	0	0	0	2	1	0	0	3	0	0	0	0	0	5
02:00 AM	0	1	0	0	1	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	3
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	0	0	1	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	3
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30 AM	0	2	0	0	2	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	3
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	2	0	0	2	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	3
04:00 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	2
04:15 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	2
04:30 AM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2
04:45 AM	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	2
Total	0	3	0	0	3	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	8
05:00 AM	0	5	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	5
05:15 AM	0	0	0	0	0	1	0	0	1	2	0	1	0	0	1	0	0	0	0	0	3
05:30 AM	0	3	0	0	3	0	0	1	1	2	0	1	0	0	1	0	0	0	0	0	6
05:45 AM	0	8	0	0	8	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8
Total	0	16	0	0	16	1	0	1	2	4	0	2	0	0	2	0	0	0	0	0	22
06:00 AM	0	5	0	0	5	0	0	1	0	1	0	6	0	0	6	0	0	0	0	0	12
06:15 AM	0	8	0	0	8	0	0	1	0	1	0	5	0	0	5	0	0	0	0	0	14
06:30 AM	0	12	1	0	13	1	0	0	0	1	0	11	0	0	11	0	0	0	0	0	25
06:45 AM	0	4	0	0	4	0	0	1	1	2	0	27	0	0	27	0	0	0	0	0	33
Total	0	29	1	0	30	1	0	3	1	5	0	49	0	0	49	0	0	0	0	0	84



# Bolton & Menk, Inc

## Turning Movement Counts

File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 2

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	0	12	0	0	12	0	0	1	0	1	0	31	0	0	31	0	0	0	0	0	44
07:15 AM	0	27	0	0	27	1	0	1	1	3	0	54	0	2	56	0	0	0	0	0	86
07:30 AM	0	70	4	0	74	3	0	0	5	8	7	69	0	32	108	0	0	0	0	0	190
07:45 AM	0	107	3	0	110	2	0	5	2	9	3	42	0	2	47	0	0	0	0	0	166
Total	0	216	7	0	223	6	0	7	8	21	10	196	0	36	242	0	0	0	0	0	486
08:00 AM	0	41	2	0	43	2	0	7	0	9	3	34	0	0	37	0	0	0	0	0	89
08:15 AM	0	28	1	0	29	0	0	1	0	1	3	42	0	0	45	0	0	0	0	0	75
08:30 AM	0	24	1	0	25	0	0	2	0	2	0	36	0	0	36	0	0	0	0	0	63
08:45 AM	0	39	0	0	39	1	0	2	1	4	2	45	0	0	47	0	0	0	0	0	90
Total	0	132	4	0	136	3	0	12	1	16	8	157	0	0	165	0	0	0	0	0	317
09:00 AM	0	65	1	0	66	0	0	2	0	2	2	50	0	0	52	0	0	0	0	0	120
09:15 AM	0	30	0	0	30	1	0	2	0	3	1	46	0	0	47	0	0	0	0	0	80
09:30 AM	0	29	1	0	30	0	0	3	0	3	1	21	0	0	22	0	0	0	0	0	55
09:45 AM	0	29	0	0	29	0	0	0	0	0	2	25	0	0	27	0	0	0	0	0	56
Total	0	153	2	0	155	1	0	7	0	8	6	142	0	0	148	0	0	0	0	0	311
10:00 AM	0	18	1	0	19	1	0	1	1	3	2	20	0	0	22	0	0	0	0	0	44
10:15 AM	0	20	0	0	20	1	0	1	0	2	2	20	0	0	22	0	0	0	0	0	44
10:30 AM	0	22	0	0	22	0	0	2	0	2	1	22	0	0	23	0	0	0	0	0	47
10:45 AM	0	15	0	0	15	2	0	2	1	5	2	12	0	0	14	0	0	0	0	0	34
Total	0	75	1	0	76	4	0	6	2	12	7	74	0	0	81	0	0	0	0	0	169
11:00 AM	0	17	1	0	18	0	0	2	2	4	1	15	0	0	16	0	0	0	0	0	38
11:15 AM	0	13	0	0	13	0	0	2	0	2	4	22	0	0	26	0	0	0	0	0	41
11:30 AM	0	32	0	0	32	1	0	0	1	2	2	27	0	0	29	0	0	0	0	0	63
11:45 AM	0	28	1	0	29	0	0	2	0	2	0	29	0	0	29	0	0	0	0	0	60
Total	0	90	2	0	92	1	0	6	3	10	7	93	0	0	100	0	0	0	0	0	202
12:00 PM	0	27	2	0	29	1	0	0	0	1	1	28	0	0	29	0	0	0	0	0	59
12:15 PM	0	12	1	0	13	1	0	5	0	6	0	26	0	0	26	0	0	0	0	0	45
12:30 PM	0	25	0	0	25	0	0	1	0	1	1	25	0	0	26	0	0	0	0	0	52
12:45 PM	0	17	0	0	17	1	0	2	0	3	4	39	0	0	43	0	0	0	0	0	63
Total	0	81	3	0	84	3	0	8	0	11	6	118	0	0	124	0	0	0	0	0	219
01:00 PM	0	44	0	0	44	0	0	0	0	0	2	31	0	0	33	0	0	0	0	0	77
01:15 PM	0	33	1	0	34	0	0	1	0	1	1	26	0	1	28	0	0	0	0	0	63
01:30 PM	0	18	0	0	18	2	0	1	1	4	0	29	0	1	30	0	0	0	0	0	52
01:45 PM	0	18	0	0	18	0	0	0	0	0	1	38	0	0	39	0	0	0	0	0	57
Total	0	113	1	0	114	2	0	2	1	5	4	124	0	2	130	0	0	0	0	0	249

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

Grove St and Tracy Ave  
Edina, MN

### Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	0	30	0	0	30	1	0	0	5	6	2	49	0	0	51	0	0	0	0	0	87
02:15 PM	0	48	3	0	51	3	0	3	7	13	2	43	0	48	93	0	0	0	0	0	157
02:30 PM	0	66	2	0	68	0	0	6	2	8	0	31	0	3	34	0	0	0	0	0	110
02:45 PM	0	28	1	0	29	0	0	2	0	2	1	35	0	0	36	0	0	0	0	0	67
Total	0	172	6	0	178	4	0	11	14	29	5	158	0	51	214	0	0	0	0	0	421
03:00 PM	0	37	1	0	38	1	0	2	2	5	1	28	0	0	29	0	0	0	0	0	72
03:15 PM	0	41	0	0	41	3	0	0	0	3	2	56	0	0	58	0	0	0	0	0	102
03:30 PM	0	59	4	0	63	1	0	1	0	2	7	57	0	0	64	0	0	0	0	0	129
03:45 PM	0	72	0	0	72	1	0	3	0	4	3	57	0	0	60	0	0	0	0	0	136
Total	0	209	5	0	214	6	0	6	2	14	13	198	0	0	211	0	0	0	0	0	439
04:00 PM	0	63	1	0	64	0	0	2	0	2	2	51	0	0	53	0	0	0	0	0	119
04:15 PM	0	43	1	0	44	3	0	2	0	5	2	63	0	0	65	0	0	0	0	0	114
04:30 PM	0	35	1	0	36	0	0	2	0	2	2	58	0	0	60	0	0	0	0	0	98
04:45 PM	0	41	3	0	44	1	0	5	0	6	2	52	0	0	54	0	0	0	0	0	104
Total	0	182	6	0	188	4	0	11	0	15	8	224	0	0	232	0	0	0	0	0	435
05:00 PM	0	47	0	0	47	0	0	1	0	1	4	65	0	0	69	0	0	0	0	0	117
05:15 PM	0	35	1	0	36	3	0	4	0	7	2	53	0	0	55	0	0	0	0	0	98
05:30 PM	0	40	1	0	41	1	0	2	0	3	1	49	0	0	50	0	0	0	0	0	94
05:45 PM	0	41	0	0	41	0	0	5	0	5	2	43	0	0	45	0	0	0	0	0	91
Total	0	163	2	0	165	4	0	12	0	16	9	210	0	0	219	0	0	0	0	0	400
06:00 PM	0	24	0	0	24	0	0	1	0	1	3	32	0	0	35	0	0	0	0	0	60
06:15 PM	0	28	0	0	28	1	0	3	0	4	5	30	0	0	35	0	0	0	0	0	67
06:30 PM	0	21	0	0	21	0	0	2	1	3	2	24	0	0	26	0	0	0	0	0	50
06:45 PM	0	23	0	0	23	2	0	1	0	3	3	20	0	0	23	0	0	0	0	0	49
Total	0	96	0	0	96	3	0	7	1	11	13	106	0	0	119	0	0	0	0	0	226
07:00 PM	0	17	0	0	17	0	0	1	0	1	0	14	0	0	14	0	0	0	0	0	32
07:15 PM	0	20	0	0	20	0	0	7	0	7	0	17	0	2	19	0	0	0	0	0	46
07:30 PM	0	12	0	0	12	0	0	0	0	0	4	18	0	0	22	0	0	0	0	0	34
07:45 PM	0	12	0	0	12	0	0	1	0	1	1	25	0	1	27	0	0	0	0	0	40
Total	0	61	0	0	61	0	0	9	0	9	5	74	0	3	82	0	0	0	0	0	152
08:00 PM	0	21	0	0	21	0	0	1	0	1	3	16	0	2	21	0	0	0	0	0	43
08:15 PM	0	13	0	0	13	0	0	0	0	0	1	21	0	0	22	0	0	0	0	0	35
08:30 PM	0	11	1	0	12	0	0	0	0	0	1	15	0	1	17	0	0	0	0	0	29
08:45 PM	0	17	1	0	18	0	0	1	0	1	1	9	0	0	10	0	0	0	0	0	29
Total	0	62	2	0	64	0	0	2	0	2	6	61	0	3	70	0	0	0	0	0	136

# Bolton & Menk, Inc

Turning Movement Counts

File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
09:00 PM	0	8	0	0	8	0	0	0	0	0	2	17	0	0	19	0	0	0	0	0	0	27
09:15 PM	0	5	0	0	5	0	0	0	0	0	1	14	0	0	15	0	0	0	0	0	0	20
09:30 PM	0	3	0	0	3	0	0	0	0	0	1	4	0	0	5	0	0	0	0	0	0	8
09:45 PM	0	7	0	0	7	1	0	0	0	1	1	4	0	0	5	0	0	0	0	0	0	13
Total	0	23	0	0	23	1	0	0	0	1	5	39	0	0	44	0	0	0	0	0	0	68
10:00 PM	0	0	0	0	0	0	0	0	0	0	1	7	0	0	8	0	0	0	0	0	0	8
10:15 PM	0	2	0	0	2	0	0	0	0	0	1	6	0	0	7	0	0	0	0	0	0	9
10:30 PM	0	2	0	0	2	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	5
10:45 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1
Total	0	4	0	0	4	0	0	0	0	0	2	17	0	0	19	0	0	0	0	0	0	23
11:00 PM	0	3	0	0	3	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	5
11:15 PM	0	0	0	0	0	0	0	0	0	0	1	2	0	0	3	0	0	0	0	0	0	3
11:30 PM	0	4	0	0	4	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	5
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	7	0	0	7	0	0	0	0	0	1	5	0	0	6	0	0	0	0	0	0	13
Grand Total	0	1893	42	0	1935	44	0	111	36	191	117	2061	0	95	2273	0	0	0	0	0	0	4399
Apprch %	0	97.8	2.2	0		23	0	58.1	18.8		5.1	90.7	0	4.2		0	0	0	0		0	
Total %	0	43	1	0	44	1	0	2.5	0.8	4.3	2.7	46.9	0	2.2	51.7	0	0	0	0	0	0	
Cars +	0	1839	38	0	1877	42	0	107	34	183	115	1994	0	94	2203	0	0	0	0	0	0	4263
% Cars +	0	97.1	90.5	0	97	95.5	0	96.4	94.4	95.8	98.3	96.7	0	98.9	96.9	0	0	0	0	0	0	96.9
Trucks	0	54	4	0	58	2	0	4	2	8	2	67	0	1	70	0	0	0	0	0	0	136
% Trucks	0	2.9	9.5	0	3	4.5	0	3.6	5.6	4.2	1.7	3.3	0	1.1	3.1	0	0	0	0	0	0	3.1

# Bolton & Menk, Inc

Turning Movement Counts

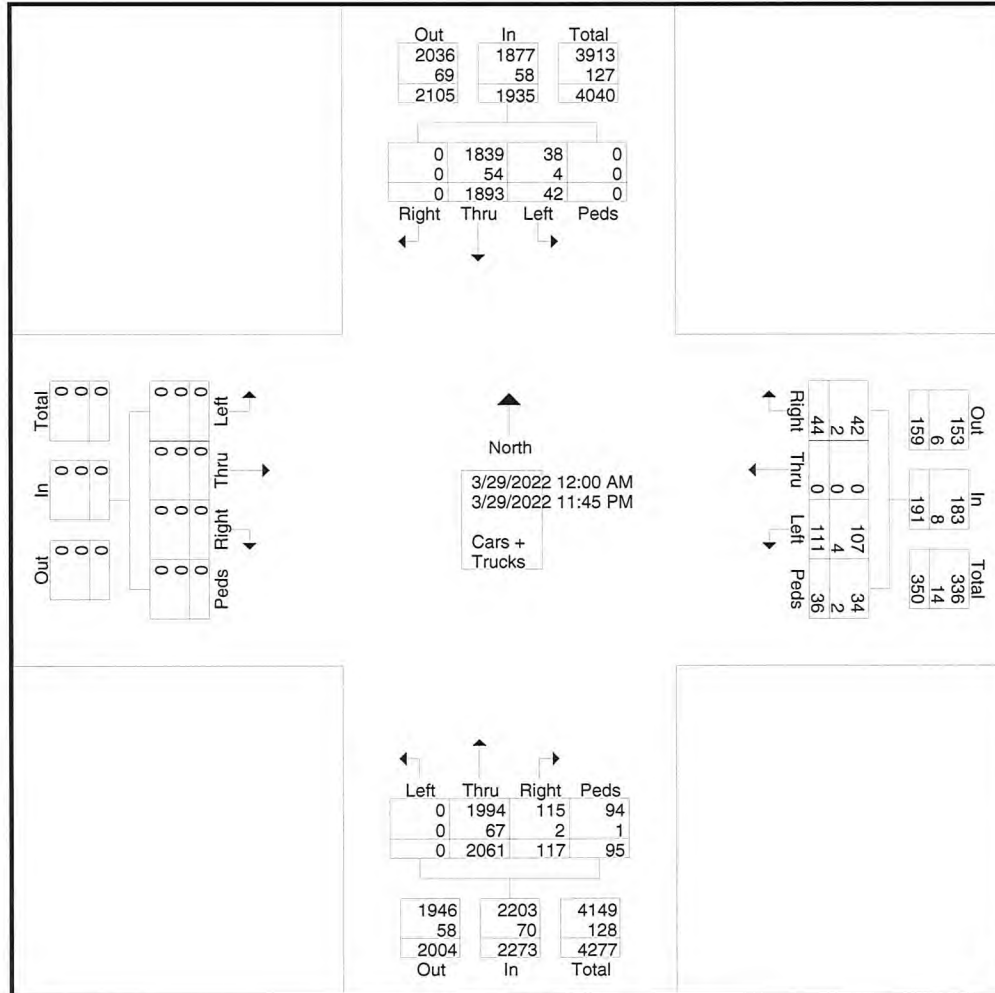
File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 5

Grove St and Tracy Ave  
Edina, MN



# Bolton & Menk, Inc

Turning Movement Counts

File Name : tracy and countryside 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 6

Grove St and Tracy Ave  
Edina, MN

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 AM to 12:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:15 AM																					
07:15 AM	0	27	0	0	27	1	0	1	1	3	0	54	0	2	56	0	0	0	0	0	86
07:30 AM	0	70	4	0	74	3	0	0	5	8	7	69	0	32	108	0	0	0	0	0	190
07:45 AM	0	107	3	0	110	2	0	5	2	9	3	42	0	2	47	0	0	0	0	0	166
08:00 AM	0	41	2	0	43	2	0	7	0	9	3	34	0	0	37	0	0	0	0	0	89
Total Volume	0	245	9	0	254	8	0	13	8	29	13	199	0	36	248	0	0	0	0	0	531
% App. Total	0	96.5	3.5	0		27.6	0	44.8	27.6		5.2	80.2	0	14.5		0	0	0	0		
PHF	.000	.572	.563	.000	.577	.667	.000	.464	.400	.806	.464	.721	.000	.281	.574	.000	.000	.000	.000	.000	.699
Cars +	0	237	7	0	244	8	0	13	8	29	13	189	0	36	238	0	0	0	0	0	511
% Cars +	0	96.7	77.8	0	96.1	100	0	100	100	100	100	95.0	0	100	96.0	0	0	0	0	0	96.2
Trucks	0	8	2	0	10	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	20
% Trucks	0	3.3	22.2	0	3.9	0	0	0	0	0	0	5.0	0	0	4.0	0	0	0	0	0	3.8
Peak Hour Analysis From 12:15 PM to 11:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 03:30 PM																					
03:30 PM	0	59	4	0	63	1	0	1	0	2	7	57	0	0	64	0	0	0	0	0	129
03:45 PM	0	72	0	0	72	1	0	3	0	4	3	57	0	0	60	0	0	0	0	0	136
04:00 PM	0	63	1	0	64	0	0	2	0	2	2	51	0	0	53	0	0	0	0	0	119
04:15 PM	0	43	1	0	44	3	0	2	0	5	2	63	0	0	65	0	0	0	0	0	114
Total Volume	0	237	6	0	243	5	0	8	0	13	14	228	0	0	242	0	0	0	0	0	498
% App. Total	0	97.5	2.5	0		38.5	0	61.5	0		5.8	94.2	0	0		0	0	0	0		
PHF	.000	.823	.375	.000	.844	.417	.000	.667	.000	.650	.500	.905	.000	.000	.931	.000	.000	.000	.000	.000	.915
Cars +	0	223	5	0	228	4	0	8	0	12	14	219	0	0	233	0	0	0	0	0	473
% Cars +	0	94.1	83.3	0	93.8	80.0	0	100	0	92.3	100	96.1	0	0	96.3	0	0	0	0	0	95.0
Trucks	0	14	1	0	15	1	0	0	0	1	0	9	0	0	9	0	0	0	0	0	25
% Trucks	0	5.9	16.7	0	6.2	20.0	0	0	0	7.7	0	3.9	0	0	3.7	0	0	0	0	0	5.0

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Stuart & Grove 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 1

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	1	0	0	0	1	2
03:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	1	0	0	0	1	2
04:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
05:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
06:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15 AM	0	0	0	0	0	0	1	0	0	1	1	0	0	0	1	0	0	0	0	0	0	2
06:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
06:45 AM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	0	0	0	0	0	5
Total	0	0	0	0	0	0	6	0	0	6	1	0	0	0	1	0	1	0	0	0	1	8

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : Stuart & Grove 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 2

Grove St and Tracy Ave  
Edina, MN

### Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
07:00 AM	0	0	0	0	0	0	0	2	0	2	0	0	0	0	0	1	6	0	0	7	9
07:15 AM	0	0	0	0	0	0	2	9	0	11	0	0	1	1	2	1	5	0	0	6	19
07:30 AM	0	0	0	0	0	0	4	46	0	50	2	0	0	0	2	27	6	0	5	38	90
07:45 AM	0	0	0	0	0	0	6	6	0	12	3	0	4	1	8	7	10	0	5	22	42
Total	0	0	0	0	0	0	12	63	0	75	5	0	5	2	12	36	27	0	10	73	160
08:00 AM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	2	0	0	2	6
08:15 AM	0	0	0	0	0	0	3	0	0	3	0	0	1	0	1	0	6	0	0	6	10
08:30 AM	0	0	0	0	0	0	6	0	0	6	1	0	0	0	1	0	3	0	0	3	10
08:45 AM	0	0	0	0	0	0	2	1	0	3	1	0	0	0	1	0	7	0	0	7	11
Total	0	0	0	0	0	0	15	1	0	16	2	0	1	0	3	0	18	0	0	18	37
09:00 AM	0	0	0	0	0	0	2	1	0	3	0	0	0	0	0	1	9	0	0	10	13
09:15 AM	0	0	0	0	0	0	5	0	0	5	0	0	1	0	1	0	2	0	0	2	8
09:30 AM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	2
09:45 AM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	3	0	0	3	6
Total	0	0	0	0	0	0	11	1	0	12	0	0	1	0	1	1	15	0	0	16	29
10:00 AM	0	0	0	0	0	0	1	0	0	1	0	0	3	0	3	0	2	0	0	2	6
10:15 AM	0	0	0	0	0	0	1	0	0	1	0	0	1	0	1	1	3	0	0	4	6
10:30 AM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	1	4	0	0	5	6
10:45 AM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	6	0	0	6	9
Total	0	0	0	0	0	0	6	0	0	6	0	0	4	0	4	2	15	0	0	17	27
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	3	0	0	3	4
11:15 AM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	5	0	0	5	9
11:30 AM	0	0	0	0	0	0	2	0	0	2	0	0	1	0	1	0	2	0	0	2	5
11:45 AM	0	0	0	0	0	0	4	0	0	4	1	0	2	0	3	3	2	0	0	5	12
Total	0	0	0	0	0	0	10	0	0	10	1	0	4	0	5	3	12	0	0	15	30
12:00 PM	0	0	0	0	0	0	2	0	0	2	0	0	1	0	1	0	0	0	0	0	3
12:15 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	3	0	0	3	6
12:30 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	1	1	1	1	0	0	2	5
12:45 PM	0	0	0	0	0	0	7	0	0	7	0	0	1	0	1	0	4	0	0	4	12
Total	0	0	0	0	0	0	14	0	0	14	0	0	2	1	3	1	8	0	0	9	26
01:00 PM	0	0	0	0	0	0	5	0	0	5	1	0	0	0	1	1	8	0	0	9	15
01:15 PM	0	0	0	0	0	0	2	0	0	2	0	0	2	0	2	3	2	0	1	6	10
01:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	2	2
01:45 PM	0	0	0	0	0	0	4	5	1	10	0	0	1	1	2	2	2	0	0	4	16
Total	0	0	0	0	0	0	11	5	1	17	1	0	3	1	5	6	13	0	2	21	43

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Stuart & Grove 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	0	0	0	0	0	0	3	14	0	17	0	0	0	0	0	2	3	0	0	5	
02:15 PM	0	0	0	0	0	0	3	12	0	15	1	0	1	0	2	2	6	0	0	8	
02:30 PM	0	0	0	0	0	0	7	0	0	7	2	0	7	0	9	2	6	0	4	12	
02:45 PM	0	0	0	0	0	0	3	0	0	3	1	0	1	0	2	0	5	0	0	5	
Total	0	0	0	0	0	0	16	26	0	42	4	0	9	0	13	6	20	0	4	30	85
03:00 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	1	4	0	0	5	8
03:15 PM	0	0	0	0	0	0	8	0	0	8	0	0	1	0	1	2	2	0	0	4	13
03:30 PM	0	0	0	0	0	0	4	3	0	7	1	0	3	0	4	2	5	0	0	7	18
03:45 PM	0	0	0	0	0	0	3	0	0	3	0	0	2	0	2	0	2	0	0	2	7
Total	0	0	0	0	0	0	18	3	0	21	1	0	6	0	7	5	13	0	0	18	46
04:00 PM	0	0	0	0	0	0	3	0	0	3	0	0	1	0	1	0	3	0	0	3	7
04:15 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	2	10	0	2	14	19
04:30 PM	0	0	0	0	0	0	3	2	0	5	0	0	2	0	2	2	4	0	0	6	13
04:45 PM	0	0	0	0	0	0	6	0	0	6	0	0	3	2	5	5	3	0	0	8	19
Total	0	0	0	0	0	0	17	2	0	19	0	0	6	2	8	9	20	0	2	31	58
05:00 PM	0	0	0	0	0	0	3	0	0	3	1	0	5	0	6	3	4	0	0	7	16
05:15 PM	0	0	0	0	0	0	2	1	0	3	1	0	3	0	4	0	5	0	0	5	12
05:30 PM	0	0	0	0	0	0	7	0	0	7	0	0	2	2	4	0	5	0	0	5	16
05:45 PM	0	0	0	0	0	0	8	0	0	8	0	0	1	0	1	1	3	0	0	4	13
Total	0	0	0	0	0	0	20	1	0	21	2	0	11	2	15	4	17	0	0	21	57
06:00 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	1	3	0	0	4	7
06:15 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	6	0	0	6	9
06:30 PM	0	0	0	0	0	0	2	0	0	2	0	0	1	0	1	0	2	0	0	2	5
06:45 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	2	1	0	0	3	5
Total	0	0	0	0	0	0	10	0	0	10	0	0	1	0	1	3	12	0	0	15	26
07:00 PM	0	0	0	0	0	0	4	1	0	5	0	0	1	0	1	0	4	0	0	4	10
07:15 PM	0	0	0	0	0	0	3	0	0	3	1	0	0	0	1	0	1	0	0	1	5
07:30 PM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
07:45 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	1	0	2	3	8
Total	0	0	0	0	0	0	12	2	0	14	1	0	1	0	2	0	6	0	2	8	24
08:00 PM	0	0	0	0	0	0	3	0	0	3	0	0	1	0	1	0	7	0	0	7	11
08:15 PM	0	0	0	0	0	0	4	0	0	4	0	0	1	0	1	0	1	0	0	1	6
08:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:45 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	2
Total	0	0	0	0	0	0	8	0	0	8	0	0	2	0	2	0	9	0	0	9	19



# Bolton & Menk, Inc

## Turning Movement Counts

File Name : Stuart & Grove 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

Grove St and Tracy Ave  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
09:00 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2	0	0	2	0	4
09:15 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	1	0	0	0	1	0	4
09:30 PM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	1	0	0	1	0	5
09:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>9</b>	<b>0</b>	<b>0</b>	<b>9</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>4</b>	<b>13</b>
10:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:15 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	1	0	0	1	0	3
10:30 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
10:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>5</b>
11:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
11:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>
<b>Grand Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>200</b>	<b>104</b>	<b>1</b>	<b>305</b>	<b>19</b>	<b>0</b>	<b>56</b>	<b>8</b>	<b>83</b>	<b>77</b>	<b>212</b>	<b>0</b>	<b>20</b>	<b>309</b>	<b>697</b>	<b>697</b>
Apprch %	0	0	0	0	0	0	65.6	34.1	0.3	30.5	22.9	0	67.5	9.6	25.2	24.9	68.6	0	6.5	21.4	24.9	24.9
Total %	0	0	0	0	0	0	28.7	14.9	0.1	43.8	2.7	0	8	1.1	11.9	11	30.4	0	2.9	44.3	44.3	44.3
Cars +	0	0	0	0	0	0	197	84	1	282	18	0	53	8	79	69	208	0	19	296	296	657
% Cars +	0	0	0	0	0	0	98.5	80.8	100	92.5	94.7	0	94.6	100	95.2	89.6	98.1	0	95	95.8	95.8	94.3
Trucks	0	0	0	0	0	0	3	20	0	23	1	0	3	0	4	8	4	0	1	13	13	40
% Trucks	0	0	0	0	0	0	1.5	19.2	0	7.5	5.3	0	5.4	0	4.8	10.4	1.9	0	5	4.2	4.2	5.7

Benton Ave and East School Entrance  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
12:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:00 AM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
02:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
02:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
02:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	0	1	2
03:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45 AM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	2	0	0	0	2	3
Total	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	2	0	0	0	2	3
06:00 AM	0	0	0	0	0	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	0	2
06:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30 AM	0	0	0	0	0	0	0	5	0	5	0	0	0	0	0	0	0	0	0	0	0	5
06:45 AM	0	0	0	0	0	0	0	9	0	9	1	0	0	0	1	0	0	0	0	0	0	10
Total	0	0	0	0	0	0	0	16	0	16	1	0	0	0	1	0	0	0	0	0	0	17

# Bolton & Menk, Inc

## Turning Movement Counts

File Name : Benton and East Entrance 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 2

Benton Ave and East School Entrance  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total					
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total						
07:00 AM	0	0	0	0	0	0	4	20	0	24	1	0	0	0	1	1	0	0	0	1	1	0	0	0	1	26
07:15 AM	0	0	0	0	0	0	1	33	0	34	2	0	0	0	2	1	6	0	0	7	0	0	0	0	7	43
07:30 AM	0	0	0	0	0	0	14	36	0	50	49	0	1	0	50	0	34	0	0	34	0	0	0	0	34	134
07:45 AM	0	0	0	0	0	0	16	5	0	21	47	0	6	0	53	0	21	0	0	21	0	0	0	0	21	95
Total	0	0	0	0	0	0	35	94	0	129	99	0	7	0	106	2	61	0	0	63	0	0	0	0	63	298
08:00 AM	0	0	0	0	0	0	3	1	0	4	1	0	0	0	1	0	1	0	0	1	0	0	0	0	1	6
08:15 AM	0	0	0	0	0	0	4	1	0	5	0	0	0	0	0	0	1	0	0	1	0	0	0	0	1	6
08:30 AM	0	0	0	0	0	0	1	0	0	1	1	0	1	0	2	0	0	0	0	0	0	0	0	0	0	3
08:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	1	1
Total	0	0	0	0	0	0	8	2	0	10	2	0	1	0	3	0	3	0	0	3	0	0	0	0	3	16
09:00 AM	0	0	0	0	0	0	3	1	0	4	3	0	0	0	3	0	1	0	0	1	0	0	0	0	1	8
09:15 AM	0	0	0	0	0	0	4	3	1	8	3	0	1	0	4	0	1	0	0	1	0	0	0	0	1	13
09:30 AM	0	0	0	0	0	0	2	1	0	3	1	0	0	0	1	0	2	0	0	2	0	0	0	0	2	6
09:45 AM	0	0	0	0	0	0	2	2	0	4	4	0	0	0	4	0	1	0	0	1	0	0	0	0	1	9
Total	0	0	0	0	0	0	11	7	1	19	11	0	1	0	12	0	5	0	0	5	0	0	0	0	5	36
10:00 AM	0	0	0	0	0	0	5	1	0	6	1	0	1	0	2	0	0	0	0	0	0	0	0	0	0	8
10:15 AM	0	0	0	0	0	0	2	0	0	2	3	0	0	0	3	0	1	0	0	1	0	0	0	0	1	6
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	0	3	0	0	0	0	3	3
10:45 AM	0	0	0	0	0	0	2	1	0	3	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	5
Total	0	0	0	0	0	0	9	2	0	11	6	0	1	0	7	0	4	0	0	4	0	0	0	0	4	22
11:00 AM	0	0	0	0	0	0	2	0	0	2	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	3
11:15 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	1
11:30 AM	0	0	0	0	0	0	2	1	0	3	4	0	0	0	4	0	0	0	0	0	0	0	0	0	0	7
11:45 AM	0	0	0	0	0	0	2	1	0	3	0	0	0	0	0	0	4	0	0	4	0	0	0	0	4	7
Total	0	0	0	0	0	0	6	2	0	8	6	0	0	0	6	0	4	0	0	4	0	0	0	0	4	18
12:00 PM	0	0	0	0	0	0	1	1	0	2	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	3
12:15 PM	0	0	0	0	0	0	2	0	0	2	2	0	0	0	2	0	1	0	0	1	0	0	0	0	1	5
12:30 PM	0	0	0	0	0	0	1	2	0	3	6	0	0	0	6	0	1	0	0	1	0	0	0	0	1	10
12:45 PM	0	0	0	0	0	0	2	0	0	2	4	0	0	0	4	0	1	0	0	1	0	0	0	0	1	7
Total	0	0	0	0	0	0	6	3	0	9	13	0	0	0	13	0	3	0	0	3	0	0	0	0	3	25
01:00 PM	0	0	0	0	0	0	4	3	0	7	2	0	0	0	2	0	1	0	0	1	0	0	0	0	1	10
01:15 PM	0	0	0	0	0	0	3	2	0	5	2	0	0	1	3	0	0	0	0	0	0	0	0	0	0	8
01:30 PM	0	0	0	0	0	0	3	5	0	8	2	0	0	1	3	0	1	0	0	1	0	0	0	0	1	12
01:45 PM	0	0	0	0	0	0	6	7	0	13	1	0	0	1	2	1	0	0	0	1	0	0	0	0	1	16
Total	0	0	0	0	0	0	16	17	0	33	7	0	0	3	10	1	2	0	0	3	0	0	0	0	3	46

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and East Entrance 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 3

Benton Ave and East School Entrance  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
02:00 PM	0	0	0	0	0	0	9	8	0	17	5	0	1	2	8	0	2	0	0	2	27
02:15 PM	0	0	0	0	0	0	2	15	0	17	20	0	2	0	22	0	16	0	1	17	56
02:30 PM	0	0	0	0	0	0	3	3	0	6	36	0	7	0	43	0	6	0	0	6	55
02:45 PM	0	0	0	0	0	0	1	0	0	1	7	0	1	1	9	0	0	0	0	0	10
Total	0	0	0	0	0	0	15	26	0	41	68	0	11	3	82	0	24	0	1	25	148
03:00 PM	0	0	0	0	0	0	1	1	0	2	4	0	0	0	4	0	1	0	0	1	7
03:15 PM	0	0	0	0	0	0	8	8	0	16	10	0	1	1	12	2	0	0	0	2	30
03:30 PM	0	0	0	0	0	0	6	4	0	10	35	0	2	1	38	0	3	0	0	3	51
03:45 PM	0	0	0	0	0	0	1	2	0	3	8	0	2	0	10	0	1	0	1	2	15
Total	0	0	0	0	0	0	16	15	0	31	57	0	5	2	64	2	5	0	1	8	103
04:00 PM	0	0	0	0	0	0	11	0	0	11	11	0	2	0	13	1	0	0	0	1	25
04:15 PM	0	0	0	0	0	0	8	1	0	9	13	0	0	0	13	0	1	0	0	1	23
04:30 PM	0	0	0	0	0	0	16	1	0	17	18	0	2	0	20	1	1	0	0	2	39
04:45 PM	0	0	0	0	0	0	15	0	0	15	22	0	3	0	25	0	0	0	0	0	40
Total	0	0	0	0	0	0	50	2	0	52	64	0	7	0	71	2	2	0	0	4	127
05:00 PM	0	0	0	0	0	0	12	0	0	12	22	0	3	0	25	0	0	0	0	0	37
05:15 PM	0	0	0	0	0	0	9	0	0	9	9	0	0	0	9	0	2	0	0	2	20
05:30 PM	0	0	0	0	0	0	9	1	0	10	8	0	0	0	8	0	1	0	0	1	19
05:45 PM	0	0	0	0	0	0	3	2	0	5	12	0	0	0	12	0	1	0	0	1	18
Total	0	0	0	0	0	0	33	3	0	36	51	0	3	0	54	0	4	0	0	4	94
06:00 PM	0	0	0	0	0	0	0	0	0	0	1	0	1	0	2	0	0	0	0	0	2
06:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
06:30 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1
06:45 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	3	0	0	3	4
Total	0	0	0	0	0	0	2	0	0	2	1	0	1	0	2	1	3	0	0	4	8
07:00 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	2
07:15 PM	0	0	0	0	0	0	1	0	0	1	1	0	0	0	1	0	0	0	0	0	2
07:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	0	0	0	1	2
Total	0	0	0	0	0	0	3	0	0	3	1	0	1	0	2	1	0	0	0	1	6
08:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	2
08:15 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1
08:30 PM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	2
08:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	1
Total	0	0	0	0	0	0	4	0	0	4	0	0	1	0	1	0	1	0	0	1	6

# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and East Entrance 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 4

Benton Ave and East School Entrance  
Edina, MN

Groups Printed- Cars + - Trucks

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
09:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
09:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
09:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
10:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	0	0	0	1	2
10:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2	0	0	0	0	0	2
10:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	2	0	1	0	3	1	0	0	0	1	4
11:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Grand Total	0	0	0	0	0	0	215	190	1	406	389	0	40	8	437	11	124	0	2	137	980
Apprch %	0	0	0	0	0	0	53	46.8	0.2		89	0	9.2	1.8		8	90.5	0	1.5		
Total %	0	0	0	0	0	0	21.9	19.4	0.1	41.4	39.7	0	4.1	0.8	44.6	1.1	12.7	0	0.2	14	
Cars +	0	0	0	0	0	0	209	189	1	399	362	0	38	7	407	11	120	0	2	133	939
% Cars +	0	0	0	0	0	0	97.2	99.5	100	98.3	93.1	0	95	87.5	93.1	100	96.8	0	100	97.1	95.8
Trucks	0	0	0	0	0	0	6	1	0	7	27	0	2	1	30	0	4	0	0	4	41
% Trucks	0	0	0	0	0	0	2.8	0.5	0	1.7	6.9	0	5	12.5	6.9	0	3.2	0	0	2.9	4.2

# Bolton & Menk, Inc

Turning Movement Counts

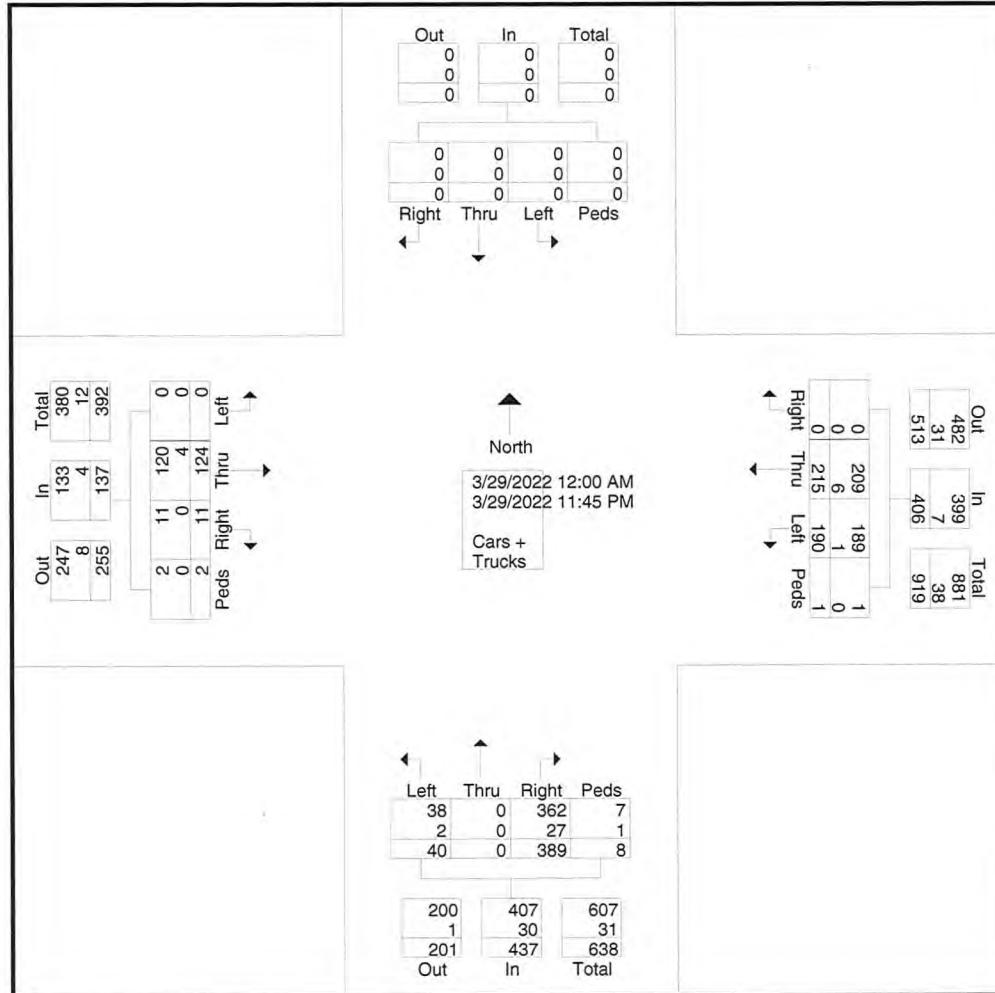
File Name : Benton and East Entrance 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 5

Benton Ave and East School Entrance  
Edina, MN



# Bolton & Menk, Inc

Turning Movement Counts

File Name : Benton and East Entrance 24 hr 2022-03-29

Site Code : 00000000

Start Date : 3/29/2022

Page No : 6

Benton Ave and East School Entrance  
Edina, MN

Start Time	From North					From East					From South					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 12:00 AM to 12:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:00 AM																					
07:00 AM	0	0	0	0	0	0	4	20	0	24	1	0	0	0	1	1	0	0	0	1	26
07:15 AM	0	0	0	0	0	0	1	33	0	34	2	0	0	0	2	1	6	0	0	7	43
07:30 AM	0	0	0	0	0	0	14	36	0	50	49	0	1	0	50	0	34	0	0	34	134
07:45 AM	0	0	0	0	0	0	16	5	0	21	47	0	6	0	53	0	21	0	0	21	95
Total Volume	0	0	0	0	0	0	35	94	0	129	99	0	7	0	106	2	61	0	0	63	298
% App. Total	0	0	0	0	0	0	27.1	72.9	0		93.4	0	6.6	0		3.2	96.8	0	0		
PHF	.000	.000	.000	.000	.000	.000	.547	.653	.000	.645	.505	.000	.292	.000	.500	.500	.449	.000	.000	.463	.556
Cars +	0	0	0	0	0	0	35	94	0	129	85	0	7	0	92	2	61	0	0	63	284
% Cars +	0	0	0	0	0	0	100	100	0	100	85.9	0	100	0	86.8	100	100	0	0	100	95.3
Trucks	0	0	0	0	0	0	0	0	0	0	14	0	0	0	14	0	0	0	0	0	14
% Trucks	0	0	0	0	0	0	0	0	0	0	14.1	0	0	0	13.2	0	0	0	0	0	4.7
Peak Hour Analysis From 12:15 PM to 11:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 01:45 PM																					
01:45 PM	0	0	0	0	0	0	6	7	0	13	1	0	0	1	2	1	0	0	0	1	16
02:00 PM	0	0	0	0	0	0	9	8	0	17	5	0	1	2	8	0	2	0	0	2	27
02:15 PM	0	0	0	0	0	0	2	15	0	17	20	0	2	0	22	0	16	0	1	17	56
02:30 PM	0	0	0	0	0	0	3	3	0	6	36	0	7	0	43	0	6	0	0	6	55
Total Volume	0	0	0	0	0	0	20	33	0	53	62	0	10	3	75	1	24	0	1	26	154
% App. Total	0	0	0	0	0	0	37.7	62.3	0		82.7	0	13.3	4		3.8	92.3	0	3.8		
PHF	.000	.000	.000	.000	.000	.000	.556	.550	.000	.779	.431	.000	.357	.375	.436	.250	.375	.000	.250	.382	.688
Cars +	0	0	0	0	0	0	16	33	0	49	50	0	8	3	61	1	22	0	1	24	134
% Cars +	0	0	0	0	0	0	80.0	100	0	92.5	80.6	0	80.0	100	81.3	100	91.7	0	100	92.3	87.0
Trucks	0	0	0	0	0	0	4	0	0	4	12	0	2	0	14	0	2	0	0	2	20
% Trucks	0	0	0	0	0	0	20.0	0	0	7.5	19.4	0	20.0	0	18.7	0	8.3	0	0	7.7	13.0

# Appendix B: Green Sheet



# Intersection Safety Screening

Intersection: Tracy Ave and Benton Ave

*Statewide Averages based on 2016-2020 crashes*

Crashes by Crash Severity	
Fatal (K)	0
Serious Injury (A)	0
Minor Injury (B)	0
Possible Injury (C)	0
Property Damage (PDO)	2
<b>Total Crashes</b>	<b>2</b>

Intersection Characteristics	
Entering Volume	2,225
Environment	Urban
Lighting	Lit
Traffic Control	All-way Stop

*Annual crash cost* = \$5,200

*Statewide comparison* = All-way STOP

Total Crash Rate	
Observed	0.492
Statewide Average	0.267
Critical Rate	1.050
<b>Critical Index</b>	<b>0.47</b>

Fatal & Serious Injury Crash Rate	
Observed	0.000
Statewide Average	0.221
Critical Rate	15.510
<b>Critical Index</b>	<b>0.00</b>

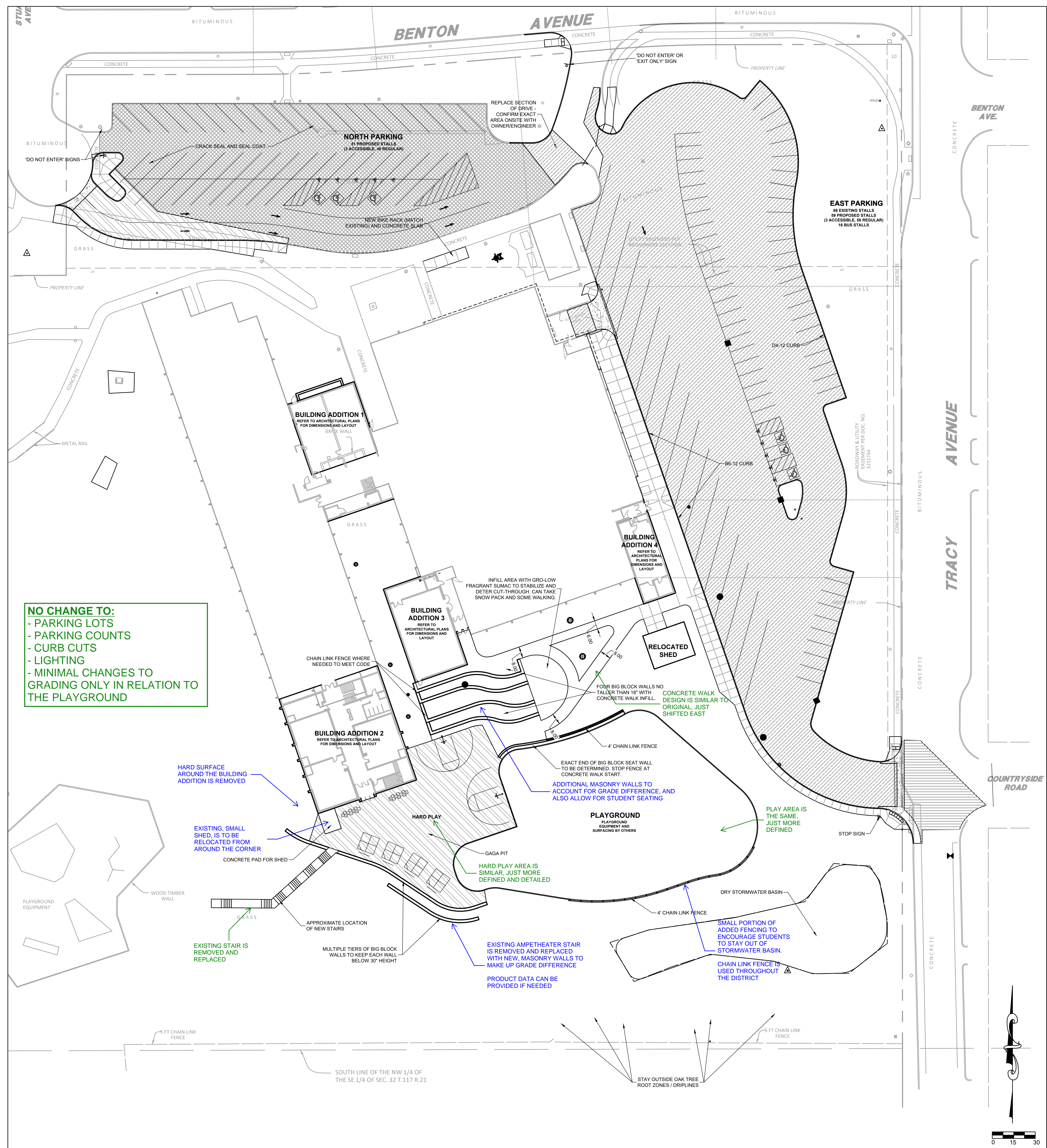
*The observed crash rate is the number of crashes per million entering vehicles (MEV). The critical rate is a statistical comparison based on similar intersections statewide. An observed crash rate greater than the critical rate indicates that the intersection operates outside the expected, normal range. The critical index reports the magnitude of this difference (i.e. observed crash rate ÷ critical crash rate).*

*The observed total crash rate for this period is 0.49 per MEV; this is 53% below the critical rate. Based on similar statewide intersections, an additional 3 crashes over the five years would indicate this intersection operates outside the normal range.*

*The observed fatal and serious injury crash rate for this period is 0.00 per 100 MEV; this is 100% below the critical rate. The intersection operates within the normal range.*

1. The first part of the document discusses the importance of maintaining accurate records of all transactions and activities. It emphasizes the need for transparency and accountability in financial reporting.

MN



**NO CHANGE TO:**  
 - PARKING LOTS  
 - PARKING COUNTS  
 - CURB CUTS  
 - LIGHTING  
 - MINIMAL CHANGES TO GRADING ONLY IN RELATION TO THE PLAYGROUND

**NOTES:**

1. REFER TO SHEET C1.31, COUNTRYSIDE GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

**SITE STATISTICS:**

**EXISTING PARKING COUNTS (94 TOTAL STALLS):**  
 CAR PARKING = 94 STALLS  
 BUS PARKING = 12 STALLS

**PROPOSED PARKING COUNTS (110 TOTAL CAR STALLS):**  
 CAR PARKING = 110 STALLS  
 BUS PARKING = 16 BUS STALLS

**ACCESSIBLE PARKING STALL REQUIREMENTS = 6 STALLS**  
**ACCESSIBLE PARKING STALLS PROVIDED = 6 STALLS**

**LEGEND**

- REFERENCE KEY TO SITE DETAILS**  
 DETAIL I.D NUMBER (TOP)  
 DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
  - PROPOSED CONCRETE SLAB
  - PROPOSED BITUMINOUS PAVEMENT CRACKSEAL / SEALCOAT
  - PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
  - PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
  - PROPOSED STREET BITUMINOUS PAVEMENT
  - PROPOSED TRAFFIC CONTROL SIGN
  - PAINTED ACCESSIBLE SYMBOL
  - PROPOSED MANHOLE (MH)
  - PROPOSED CATCH BASIN (CB)
  - PROPOSED SURGE BASIN (SB)
  - PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
  - PROPERTY LINE

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMANDALE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
 332 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101

woldac.com | 651.227.7773



**BOLTON & MENK**  
 Real People. Real Solutions.  
 7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 Phone: (763) 544-7129  
 Email: goldenvally@bolton-menk.com  
 www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DAVID A. REY  
 Registration Number 40180 Date 06/27/2022

Description	Revisions	
	Date	Num

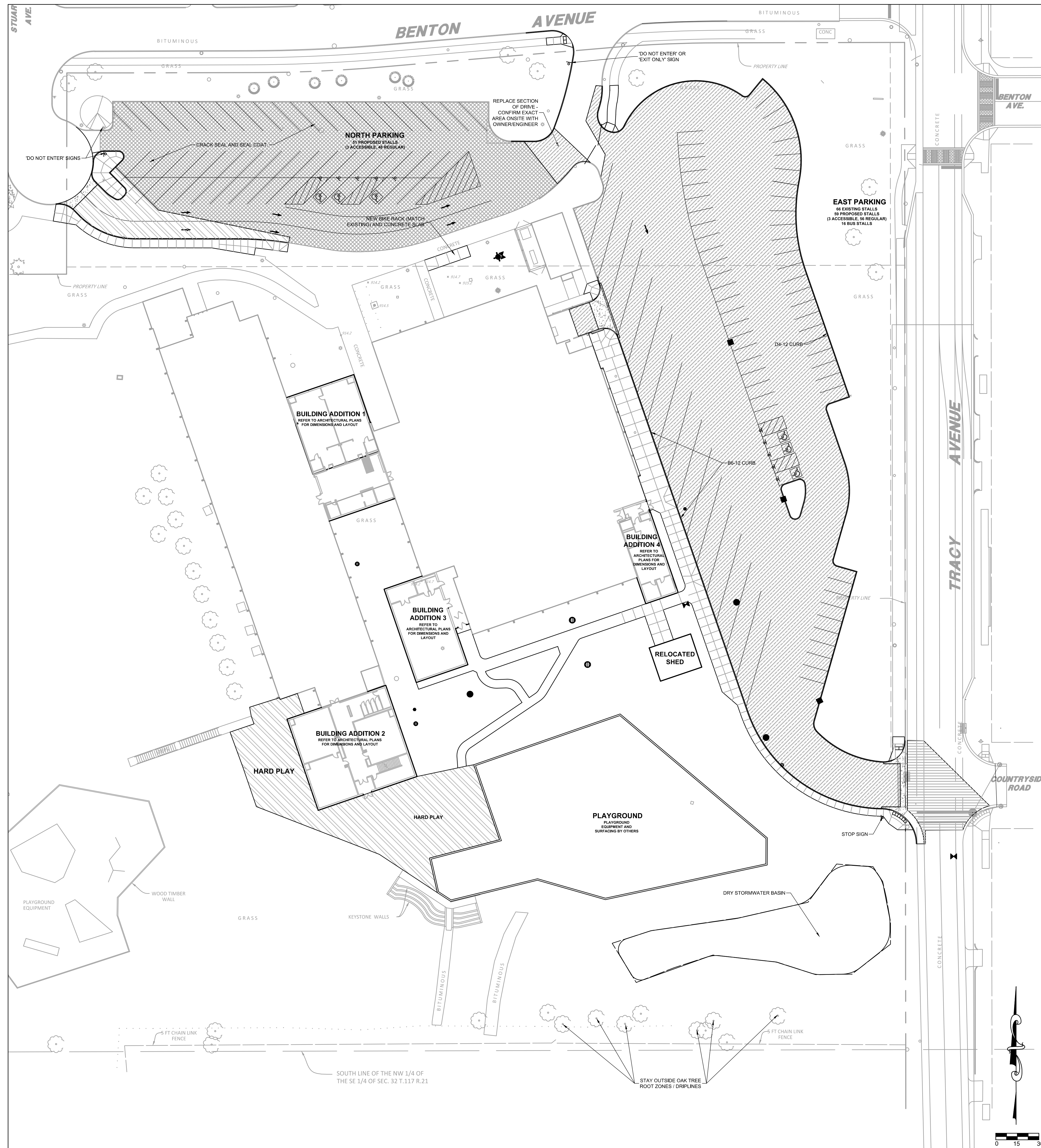
Comm: XXXXXXXX  
 Date: 05-27-2022  
 Drawn: LJD  
 Check: DAR

**COUNTRYSIDE FINISHING PLAN**

CITY SUBMITTAL  
 NOT FOR CONSTRUCTION

Scale: 1"=30'  
**C1.21**

MN



**NOTES:**

1. REFER TO SHEET C1.31, COUNTRYSIDE GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

**SITE STATISTICS:**

EXISTING PARKING COUNTS (84 TOTAL STALLS):  
 CAR PARKING = 84 STALLS  
 BUS PARKING = 12 STALLS

PROPOSED PARKING COUNTS (110 TOTAL CAR STALLS):  
 CAR PARKING = 94 STALLS  
 BUS PARKING = 16 BUS STALLS

ACCESSIBLE PARKING STALL REQUIREMENTS = 6 STALLS  
 ACCESSIBLE PARKING STALLS PROVIDED = 6 STALLS

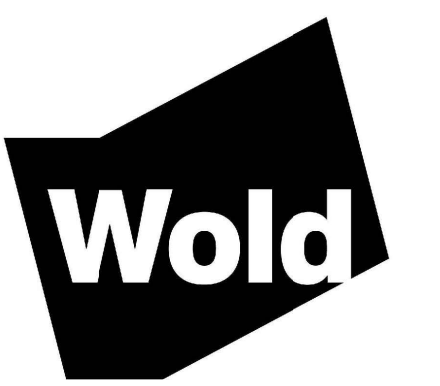
**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
 DETAIL I.D NUMBER (TOP)  
 DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
  - PROPOSED CONCRETE SLAB
  - PROPOSED BITUMINOUS PAVEMENT CRACKSEAL / SEALCOAT
  - PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
  - PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
  - PROPOSED STREET BITUMINOUS PAVEMENT
  - PROPOSED TRAFFIC CONTROL SIGN
  - PAINTED ACCESSIBLE SYMBOL
  - PROPOSED MANHOLE (MH)
  - PROPOSED CATCH BASIN (CB)
  - PROPOSED SURGE BASIN (SB)
  - PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
  - PROPERTY LINE

ORIGINAL SUBMITTAL SHEET

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
 5701 BENTON AVENUE SOUTH  
 EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
 5701 NORMANDELE ROAD  
 EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
 332 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101

woldae.com | 651.227.7773



Real People. Real Solutions.

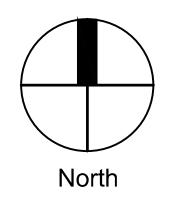
7575 GOLDEN VALLEY ROAD, SUITE 200  
 GOLDEN VALLEY, MINNESOTA 55427  
 Phone: (763) 544-7129  
 Email: goldenvally@bolton-menk.com  
 www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DAVID A. REY  
 Registration Number 40190 Date 06/27/2022

Description	Revisions	
	Date	Num.

Comm: XXXXXX  
 Date: 05-27-2022  
 Drawn: LJD  
 Check: DAR

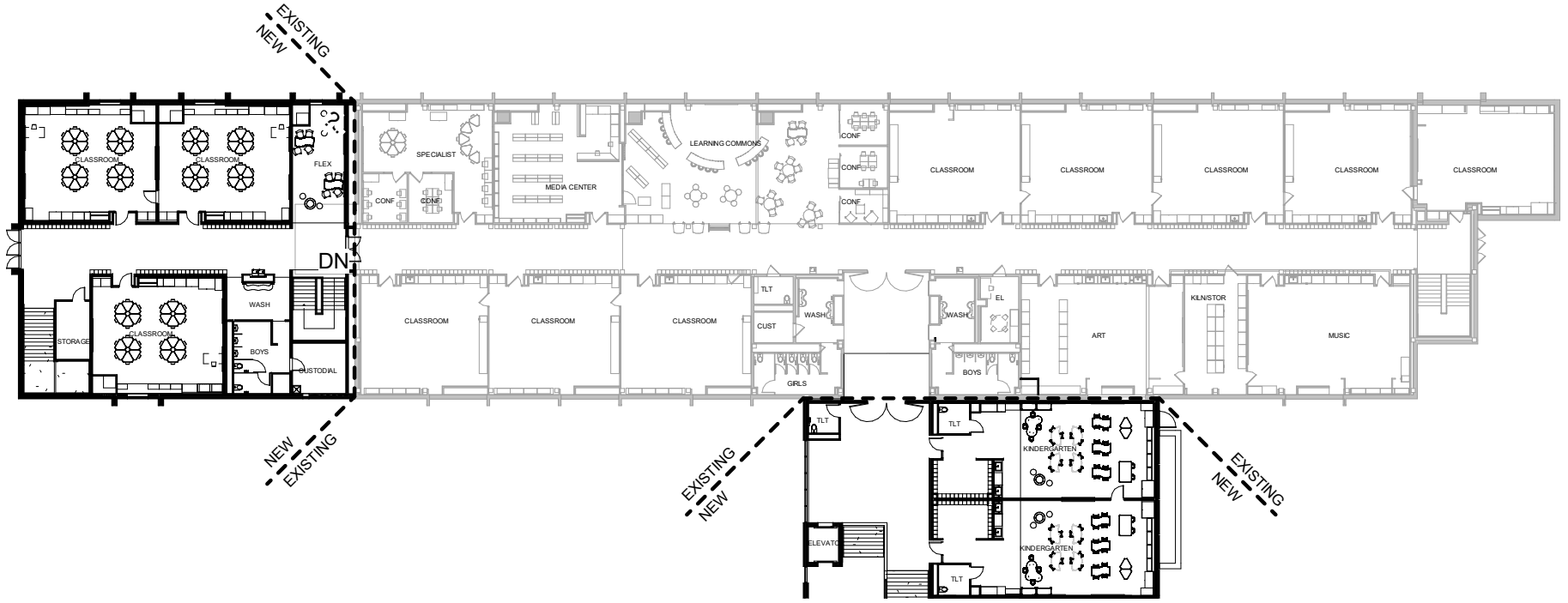


**COUNTRYSIDE FINISHING PLAN**

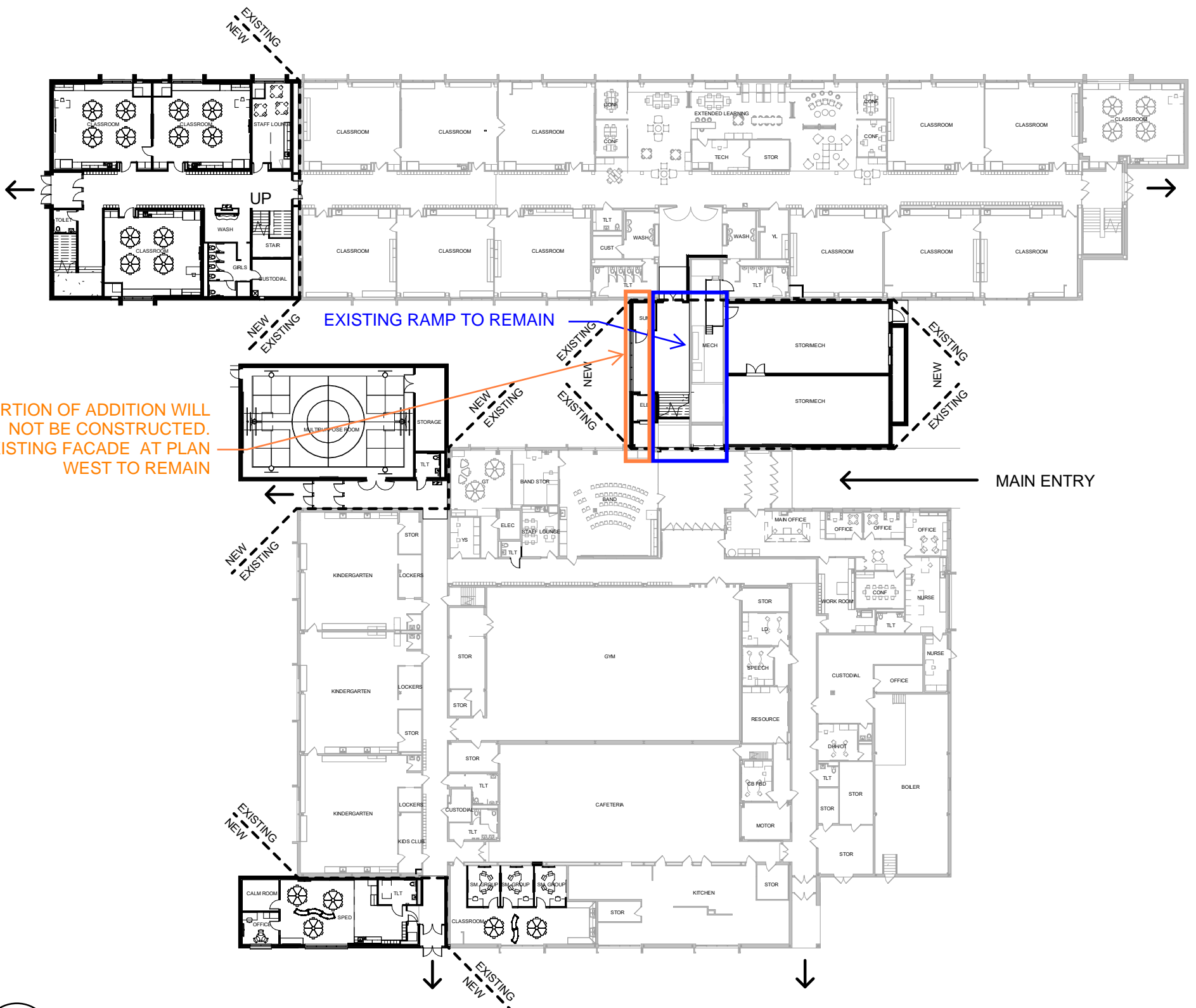
Scale: 1"=30'

**CITY SUBMITTAL NOT FOR CONSTRUCTION**

**C1.21**



**1** UPPER LEVEL FLOOR PLAN  
1" = 40'-0"  
0 30' 60'

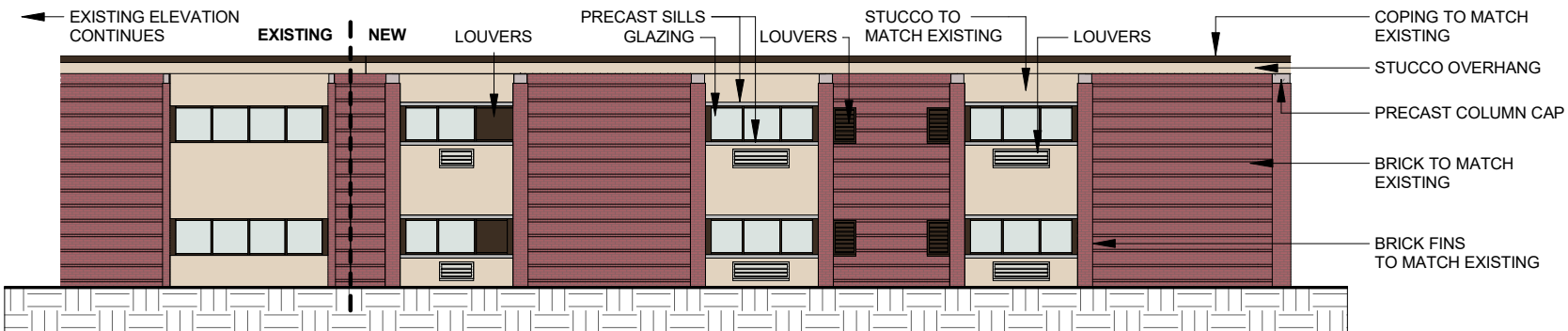
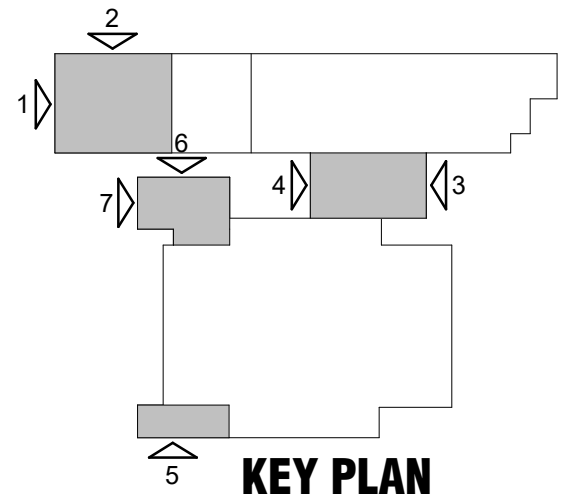


**2** MAIN LEVEL FLOOR PLAN  
1" = 40'-0"  
0 30' 60'



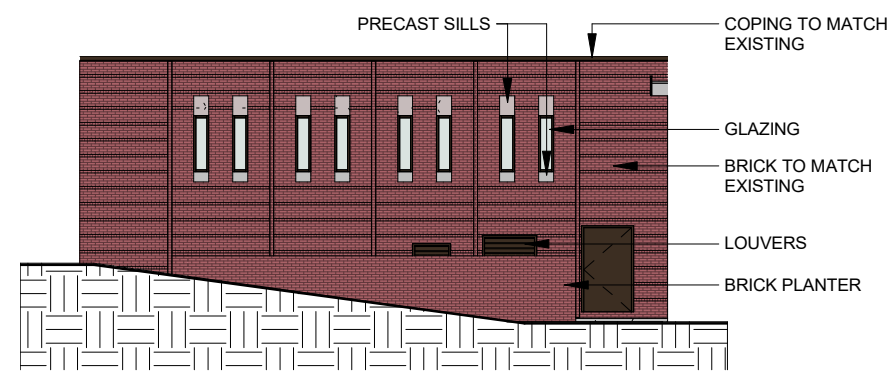
**1 CLASSROOM SOUTH ELEVATION**

1/16" = 1'-0"  
0 12' 24'



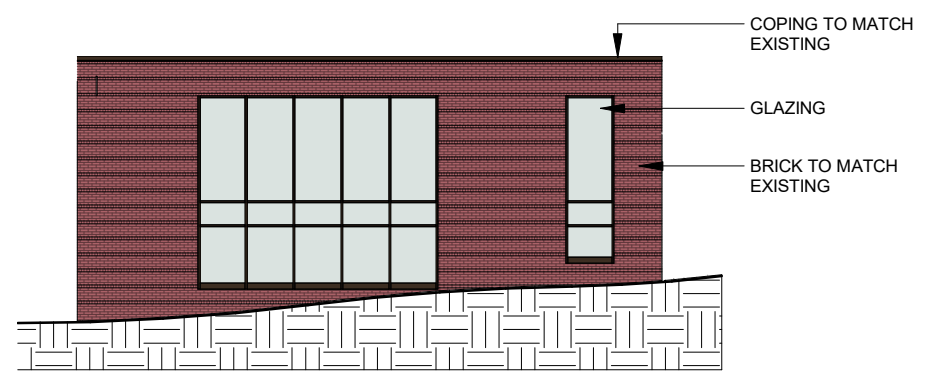
**2 CLASSROOM WEST ELEVATION**

1/16" = 1'-0"  
0 12' 24'



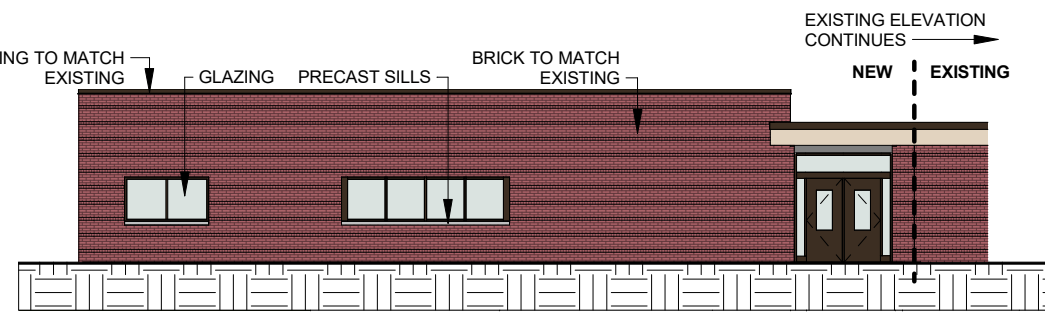
**3 LINK NORTH ELEVATION**

1/16" = 1'-0"  
0 12' 24'



**4 LINK SOUTH ELEVATION**

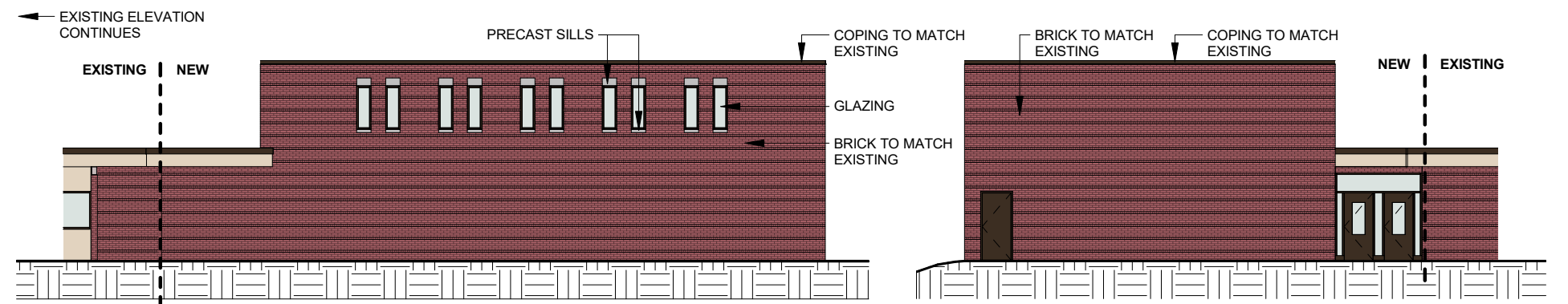
1/16" = 1'-0"  
0 12' 24'



**5 SPED EAST ELEVATION**

1/16" = 1'-0"  
0 12' 24'

THIS ELEVATION IS NO LONGER NEW AND WILL REMAIN AS EXISTING



**6 MULTI-PURPOSE WEST ELEVATION**

1/16" = 1'-0"  
0 12' 24'

**7 MULTI-PURPOSE SOUTH ELEVATION**

1/16" = 1'-0"  
0 12' 24'



## CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

[www.edinamn.gov](http://www.edinamn.gov)

**Date:** June 29, 2022

**Agenda Item #:** VI.C.

**To:** Planning Commission

**Item Type:**  
Report and Recommendation

**From:** Cary Teague, Community Development Director

**Item Activity:**

**Subject:** PUBLIC HEARING: CUP for Concord Elementary School at 5900 Concord Ave.

Action

---

### **ACTION REQUESTED:**

Approve the CUP request as submitted.

### **INTRODUCTION:**

Edina Public Schools are requesting a Conditional Use Permit for a small building addition to add a classroom at Concord Elementary School at 5900 Concord Avenue.

### **ATTACHMENTS:**

Staff Report

Applicant Narrative

Engineering Review Memo

Better Together Public Hearing Comment Report

Proposed Plans 1 of 2

Proposed Plans 2 of 2

Site Location and Zoning



**Date:** June 29, 2022

**To:** Planning Commission

**From:** Cary Teague, Community Development Director

**Subject:** Conditional Use Permit – (Concord School), 5900 Concord Ave.

## **Information / Background:**

The Edina Public Schools are proposing an addition to the east side of Concord School located at 5900 Concord Ave. The conditional use permit request is to add one additional SPED room, and one additional general classroom to the east side of the building. The goal of the school's addition is to support the growing SPED program at Concord, provide classroom flexibility for the school and improve accessibility to the building. The entries on the east side of the school are elevated approximately two (2) feet above the first-floor level, making entry to the school difficult for those with accessibility requirements. The accessible route added at this entry would allow opportunity to those entering the building from the parking lot, the parent drop off loop, and the playground, all of which are located on the east side of the site.

The building addition at Concord and reconfigured entrance conform to the conditional use permit requirements within the R-1 zoning district. The number of parking spaces required for the site including new improvements is 80 spaces with the site providing 118 spaces.

The request requires a conditional use permit for building expansion.

## **SUPPORTING INFORMATION**



## Surrounding Land Uses

Northerly: ISD 273 athletic fields; zoned and guided low-density residential.  
Easterly: Single-family homes; zoned and guided low-density residential.  
Southerly: Single-family homes; zoned and guided low-density residential.  
Westerly: Single-family homes; zoned and guided low-density residential.

## Existing Site Features

The existing site contains the school, parking areas, playground/athletic fields, and mature trees.

## Planning

Guide Plan designation: Public/semi-public  
Zoning: R-1, Single Dwelling Unit District

## Conditional Use Permit

Per Section 36-305, the City Council shall not grant a Conditional Use Permit unless it finds that the establishment, maintenance, and operation of the use:

***1. Does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.***

The project would not have an adverse impact on the above. The existing utilities are adequate to serve the proposed use.

***2. Will generate traffic within the capacity of the streets serving the property.***

The improvements would not generate any increase in traffic or increase usage of school facilities. The application would not require larger infrastructure improvements related to the streets around the school. Engineering staff has reviewed the plans.

***3. Does not have an undue adverse impact on the public health, safety, or welfare.***

Staff does not believe the project would have an adverse impact on public health, safety, or welfare. The addition with access modifications will improve on-site safety. Engineering staff does not believe any right of way improvements would be necessary.

***4. Will not impede the normal and orderly development and improvement of other property in the vicinity.***

The proposed improvements would not impede development in the area.

**5. *Conforms to the applicable restrictions and special conditions of the district in which it is located as imposed by this Section.***

The proposed project meets all city code provisions. Schools with building expansions and access improvements are conditionally permitted uses within the R-I Zoning District.

**6. *Is consistent with the Comprehensive Plan.***

As mentioned previously, building expansions are a conditionally permitted use within the R-I zoning district. The proposed use is consistent with the Comprehensive Plan.

### **Landscaping**

The city forester has reviewed the proposed plan and determined the existing trees and landscaping are adequate and conform to zoning given the small addition.

### **Grading/Drainage/Utilities**

The city engineer has reviewed the proposed plans and found them to be generally acceptable. An engineering memorandum is attached requesting submissions for permit application. Any approvals of this project would be subject to review and approval of the Minnehaha Creek Watershed Districts, as they are the City's review authority over the grading of the site.

**Compliance Table**

	<b>City Standard</b>	<b>Proposed</b>
North setback	50 feet	+50 feet (existing)
East setback	50 feet	370 feet (existing)
South setback	50 feet	125 feet (existing)
West setback	50 feet	168 feet (existing)
Parking Stalls	80 stalls	118 stalls (existing)
Over-story Trees	trees required (number is based on the perimeter of the site)	Conforming trees existing on the site

## PRIMARY ISSUES/STAFF RECOMMENDATION

### Primary Issue

- **Is the Conditional Use Permit (CUP) criteria met?**

Yes, staff believes the criteria is met.

1. The proposal meets the Conditional Use Permit findings. As demonstrated on pages 2-3 of this report, the findings for a conditional use permit would be met.
2. The proposal meets all minimum Zoning Ordinance standards. All setback requirements would be met.
3. The proposal would improve access to door openings on the site. The number of parking stalls remains in compliance the Zoning Ordinance.

### Staff Recommendation

Recommend that the City Council approve the Conditional Use Permit for an addition to Concord school at 5900 Concord Ave.

Approval is based on the following findings:

1. The proposal meets the Conditional Use Permit conditions per Chapter 36 Sec. 36-305 of the Edina Zoning Ordinance.
2. The proposal meets all applicable Zoning Ordinance requirements.
3. The proposed project meets all city code provisions and is consistent with the Comprehensive Plan. Public schools and associated parking lots are a conditionally permitted use within the R-I Zoning District.

Approval is subject to the following conditions:

1. The site must be developed and maintained in conformance with the following plans:
  - Site plan date stamped, May 22, 2022.
  - Grading and drainage plan date stamped, May 22, 2022.
  - Landscaping plan date stamped, May 22, 2022.
  - Geometric plan date stamped, May 22, 2022.
  - Utility and erosion control plan date stamped, May 22, 2022.

2. A building and grading permit is required for the improvements. Compliance with the engineer's memorandum dated June 13, 2022.
3. Submit a copy of the Nine Mile Creek Watershed District permit. The city may require revisions to the approved plans to meet the district's requirements.

**Deadline for a city decision:** July 30, 2022



CITY OF EDINA

MAY 27 2022

PLANNING DEPARTMENT

May 27, 2022

**Cary Teague**  
Community Development Director  
City of Edina Planning Division  
4801 W. 50th Street  
Edina, Minnesota 55424

Re: Edina Public Schools – ISD #273  
Concord Elementary 2022 Additions  
**Written Description for Conditional Use Permit Submittal**  
Commission No. 222026

Dear Cary:

Independent School District #273 school board approved the funding for additional SPED and classroom spaces at Concord Elementary in the Fall of 2021. This additional funding allowed the school to add one additional SPED room, and one additional general classroom to the east side of the building. The goal of the school's addition is to support the growing SPED program at Concord, provide classroom flexibility for the school in the future with the addition of the all grade or Kindergarten room, and improve accessibility to the building.

The entries on the east side of the school are all elevated approximately two (2) feet above the first floor level, making entry to the school difficult for those with accessibility requirements. The accessible route added at this entry would allow equal opportunity to those entering the building from the parking lot, the parent drop off loop, and the playground, all of which are located on the east side of the site.

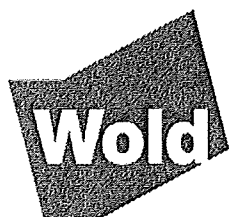
The design language of these additions is intended to match the existing exterior design, using matching brick blends, matching coursing, glazing, and coping colors. These materials can be referenced on the material board. The total added square footage of this addition is approximately 2,900 square feet. The existing building was constructed in 1951, with renovations and additions completed in 1954 and 2016.

We have been in conversation with the Minnehaha Creek Watershed District in regards to the impacts of this project on stormwater, and are working through stormwater management requirements. Once this coordination is completed, the stormwater design will be finalized and can be submitted to the City as a deferred submittal to this application.

Wold Architects and Engineers is a client and public environment focused firm that has worked in the community for over 50 years. Our firm has worked on a large variety of additions at schools across the state, including those that require storm shelter construction, such as this one. We've worked on projects with the district for over 10 years, including the previous addition and renovation at Concord Elementary in 2016.

**Wold Architects and Engineers**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

**PLANNERS  
ARCHITECTS  
ENGINEERS**



Please feel free to call or email with any questions. We appreciate your time.

Sincerely,

Wold Architects and Engineers

A handwritten signature in black ink that reads "Maria Kennedy".

Maria Kennedy | AIA  
Associate  
Telephone: 920-344-6485

cc: Eric Hamilton, ISD #273  
Dave Rey, Bolton & Menk  
Laura Detzler, Bolton & Menk  
Makayla Lakeman, Wold  
Vaughn Dierks, Wold

SS/ISD\_273/222026/crsp/may22



**DATE:** 6/13/2022

**TO:** 5900 Concord Avenue, Concord Elementary School, Development Team

**CC:** Cary Teague – Community Development Director

**FROM:** Mattias Oddsson, Engineering Intern  
Zuleyka Marquez, PE, Graduate Engineer

**RE:** 5900 Concord Ave – Conditional Use Permit Review

The Engineering Department has reviewed the subject property for pedestrian facilities, utility connections, grading, flood risk, and storm water. Plans reviewed included civil, landscape, and survey drawings stamped 5/27/2022. Note, work completed in 2021 and in progress under permits ED189263 and ED196060 includes playground updates and mitigation via a filtration basin, respectively.

**Review Comment**

**Required For**

<b>General</b>		
1.	Deliver as-built records of public and private utility infrastructure post construction.	Certificate of Occupancy
2.	Maintenance of sidewalks to be responsibility of property owner.	General Comment
<b>Survey</b>		
3.	An existing and proposed site condition survey is required.	Grading/Building Permit
3.1	Show all existing and proposed public and private easements.	Grading/Building Permit
<b>Living Streets</b>		
4.	Design sidewalks to meet ADA requirements.	Grading/Building Permit
<b>Traffic and Street</b>		
5.	Review fire access requirements with fire department. Fire truck turning template attached.	Grading/Building Permit
6.	(a) Concord Avenue was reconstructed in 2008. (b) School Rd and Ruth Dr were milled and overlaid in 2017. Avoid any damage. Damage to be repaired per standard plates 540 and 543 for (a) and 542 for (b).	Certificate of Occupancy
<b>Sanitary and Water Utilities</b>		
7.	Verify fire demand and hydrant locations.	Grading/Building Permit
8.	Domestic water shall be sized by the developer's engineer.	Grading/Building Permit
9.	Domestic sanitary shall be sized by the developer's engineer.	Grading/Building Permit
10.	Apply for a sewer & water connection permit with Public Works.	Prior to Starting Utility Work

**ENGINEERING DEPARTMENT**



10.1	Meter required for building service line and combined lines. No meter required for fire only service line.	Grading/Building Permit
10.2	Public Works to determine acceptable installation methods.	Grading/Building Permit
11.	Disconnected sanitary and water services to be capped at main.	
12.	A SAC determination will be required by the Metropolitan Council. The SAC determination will be used by the City to calculate sewer and water connection charges.	Grading/Building Permit
13.	Single connection from main for fire and domestic, split after main connection.	Grading/Building Permit
14.	Site overlaps with inner wellhead management zone. Infiltration must be outside of zone.	Certificate of Occupancy
<b>Storm Water Utility</b>		
15.	Provide final geotechnical report with soil borings.	Grading/Building Permit
16.	Local 1% annual chance floodplain with an elevation of 883.2' located onsite. Provide the proposed lowest opening elevation for the new structure. Must not be less than 885.2'.	Grading/Building Permit
17.	Provide net cut/fill calculations for any grade changes below 883.2'.	Grading/Building Permit
18.	Provide hydraulic and hydrologic report meeting watershed and state construction site permit requirements. Note, not yet provided for this review. Applicant indicated deferred submittal (after WD has reviewed).	Grading/Building Permit
19.	Submit watershed district permit and copies of private maintenance agreement in favor of watershed.	Grading/Building Permit
<b>Grading Erosion and Sediment Control</b>		
20.	A SWPPP consistent with the State General Construction Site Stormwater Permit is required.	Grading/Building Permit
<b>Constructability and Safety</b>		
21.	Construction staging, traffic control, and pedestrian access plans will be required.	Grading/Building Permit
<b>Other Agency Coordination</b>		
22.	MDH, MPCA and MCES permits required as needed.	Grading/Building Permit
23.	Minnehaha Creek Watershed District permit is required.	Grading/Building Permit
<b>Sustainability</b>		

**ENGINEERING DEPARTMENT**





24.	Consider installation of electric vehicle chargers for a minimum of 5% of additional proposed parking and wiring an additional 10% for EV conversion in the future.	General Comment
25.	See Sustainable Design Questionnaire for additional considerations, including: <ul style="list-style-type: none"><li>• Utilize Xcel Energy's <a href="#">Energy Design Assistance or Energy Efficient Buildings</a>, and/or CenterPoint Energy's <a href="#">Builder and Developer programs</a> for this development to optimize building performance.</li><li>• Install appliances and equipment that are Energy Star or EPA WaterSense certified.</li><li>• Consider rooftop solar. Use <a href="#">UMN's Solar Suitability map</a> to assess solar opportunity, and the <a href="#">National Renewable Energy Lab's calculator</a> to assess solar production.</li></ul>	General Comment

---

**ENGINEERING DEPARTMENT**

# Survey Responses

30 January 2019 - 23 June 2022

## Public Hearing Comments-Concord

# Better Together Edina

Project: Public Hearing: 5900 Concord Ave., Concord Elementary CUP



VISITORS					
1					
CONTRIBUTORS			RESPONSES		
0			0		
0	0	0	0	0	0
Registered	Unverified	Anonymous	Registered	Unverified	Anonymous

No Responses

DESCRIPTION OF PROPERTY SURVEYED

PLAT RECORDING INFORMATION

TITLE COMMITMENT

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion. Legal description used is a compilation of several documents and should not be utilized for documents.

GENERAL NOTES

- 1.) Survey coordinate basis: Hennepin County Coordinate System
2.) Adjacent ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site.

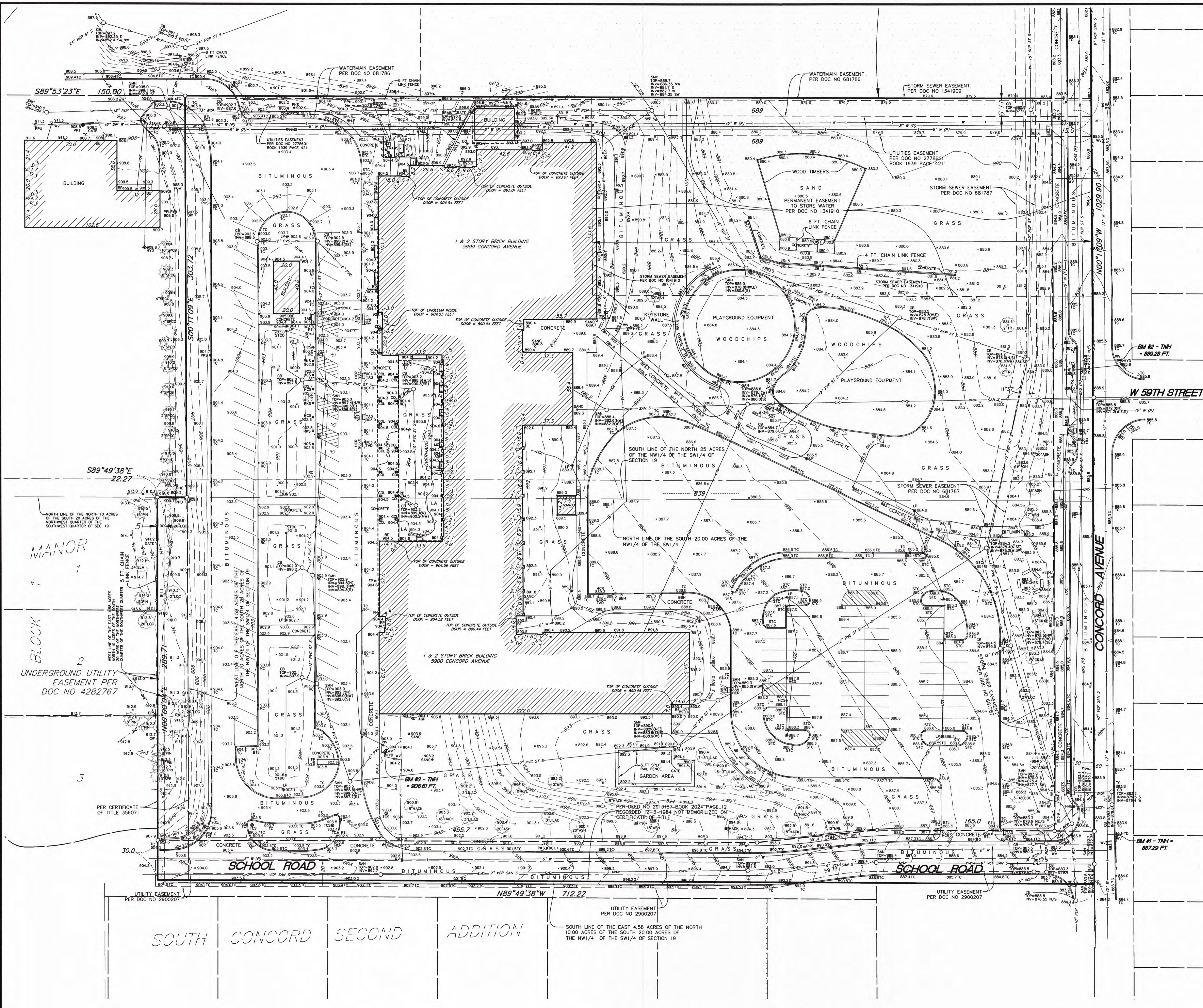
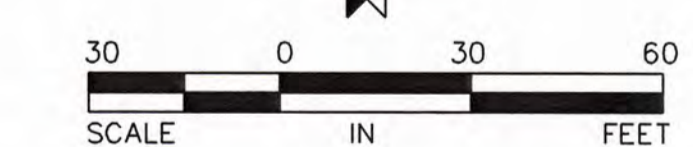
UTILITY NOTES

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
3.) Some underground utility locations are shown as marked onsite by those utility companies whose locate responded to our Gopher State One Call, ticket numbers 221081884 and 221081921.
4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
5.) Private utilities are shown as marked by Hance Locating Services, Inc. on April 27, 2022. Private utilities are those utilities installed for the use of their owner, typically by someone other than a Gopher State One Call registered utility operator.

LEGEND

- AGP Denotes above ground pipe
BBH Denotes basketball hoop
BE Denotes building entrance
BR Denotes bike rack
BTL Denotes beaver tail curb
CB Denotes catch basin
CBX Denotes communication box
COL Denotes building column
CST Denotes concrete step
CWB Denotes concrete wall bottom
DG Denotes drain grate
DIP Denotes ductile iron pipe
EB Denotes electric box
FH Denotes fire hookup
FF Denotes flag pole
G Denotes gutter
GP Denotes guard post
GW Denotes guy wire
HCR Denotes handicap ramp
HCS Denotes handicap sign
HHE Denotes handicap hand hole
HHF Denotes fiber optic hand hole
HYD Denotes fire hydrant
INV Denotes structure invert
LA Denotes landscaped area
LP Denotes light pole
MG Denotes metal grate
OD Denotes overhead door
OHE Denotes overhead electric line
OHU Denotes overhead utility line
OPC Denotes outdoor power center
PEP Denotes polyethylene pipe
PKS Denotes parking sign
PORC Denotes portable curb
PIV Denotes post indicator valve
PPT Denotes power pole with transformer
PPU Denotes power pole with utility
PVC Denotes polyvinylchloride pipe
RC Denotes ribbon curb
RCP Denotes reinforced concrete pipe
RD Denotes roof drain
SAR Denotes sanitary manhole
SANC Denotes sanitary cleanout
SAN S Denotes sanitary sewer
SMH Denotes storm manhole
ST S Denotes storm sewer
STC Denotes surmountable top of curb
TAD Denotes truncated domes
TC Denotes top of concrete curb
TCS Denotes traffic control sign
TRANS Denotes transformer
UCC Denotes underground communication line
UGE Denotes underground electric line
VCP Denotes vitrified clay pipe
W Denotes water line
WV Denotes water valve
GRAB Denotes Crabapple tree
HACK Denotes Hackberry tree
LOC Denotes Locust tree
MPL Denotes Maple tree
PIN Denotes Pine tree
SPCB Denotes Colorado Blue Spruce tree
SPCC Denotes Colorado Green Spruce tree
SPR Denotes spruce tree
TR Denotes deciduous tree

CITY OF EDINA
MAY 27 2022
PLANNING DEPARTMENT



BENCHMARKS (BM)

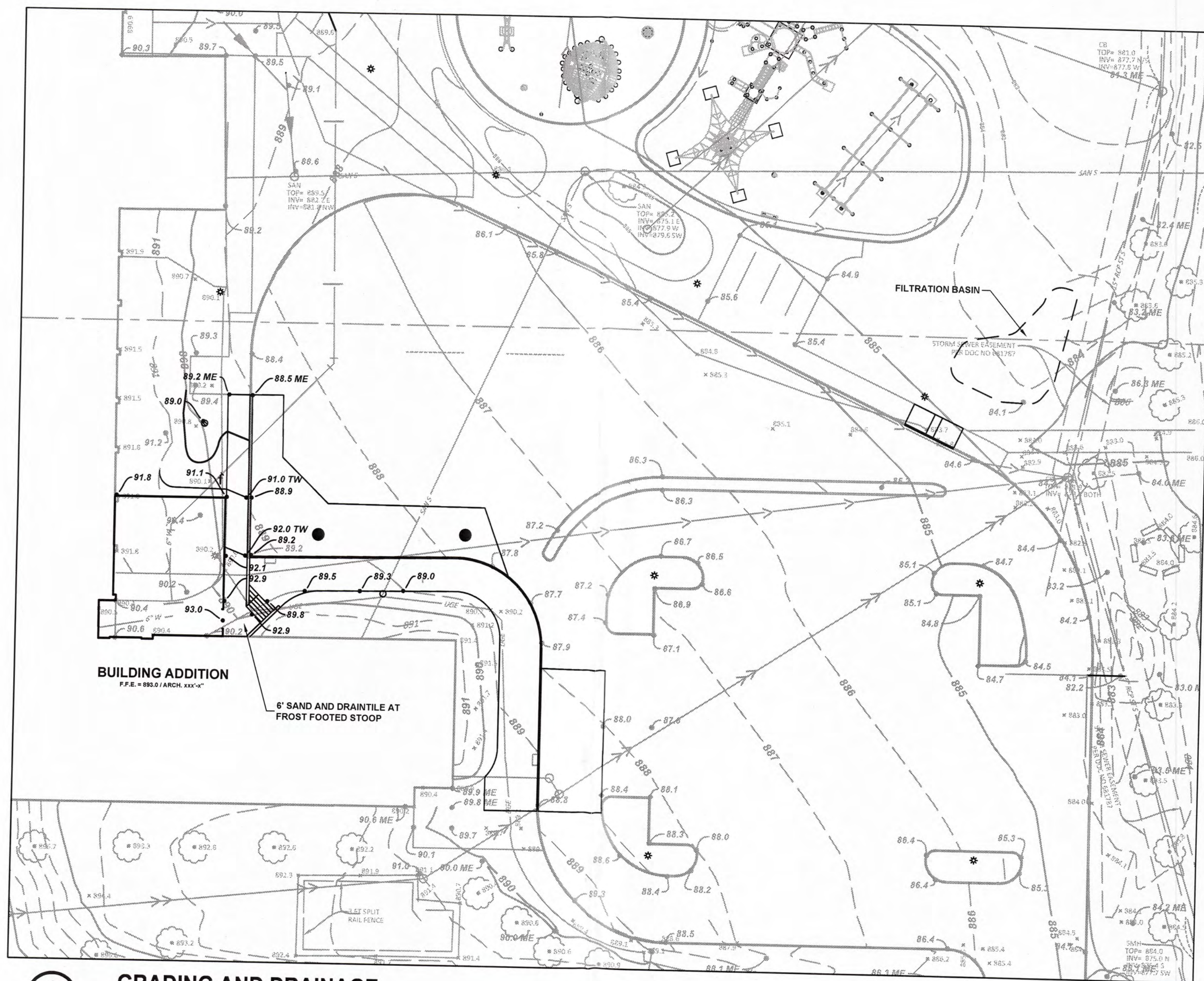
- 1.) Top of top nut of fire hydrant at the northeast quadrant of School Road and Concord Avenue. Elevation = 887.29 feet
2.) Top of top nut of fire hydrant at the northeast quadrant of 59th Street W and Concord Avenue. Elevation = 889.28 feet
3.) Top of top nut of fire hydrant 30 feet +/- south of southwest corner of Concord Elementary School. Elevation = 906.61 feet

LEGEND

- o Denotes iron monument set marked with P.L.S. No. 44900
• Denotes found iron monument
□ Denotes area encumbered by storm water easements. Easements labeled on survey.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 27th day of May, 2022.
PRELIMINARY
SUBJECT TO REVISION
By: Arlee J. Carlson, P.L.S. Minn. Lic. No. 44900

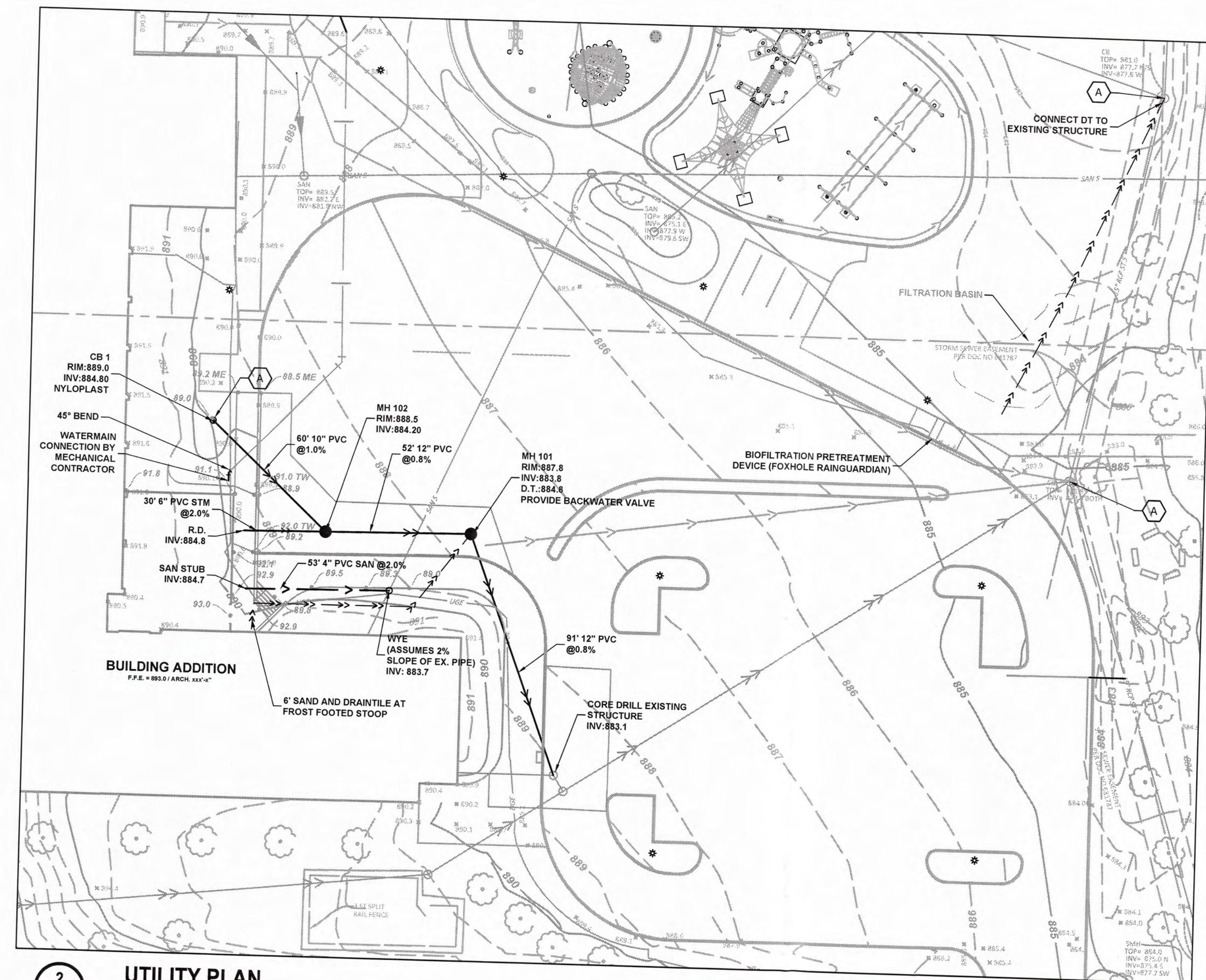
Revision table with columns for 'Revision' and 'By'. Includes drawing title 'BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR: EDINA PUBLIC SCHOOLS (ISD 27) CONCORD ELEMENTARY SCHOOL' and logo for SUNDE LAND SURVEYING with contact information.



**1**  
C1.72  
**GRADING AND DRAINAGE  
PLAN**

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL I.D NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION  
ME = MATCH EXISTING  
EOF = EMERGENCY OVERFLOW  
TW = FINISH GRADE AT HIGH SIDE OF WALL  
BW = FINISH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED SAND SUBBASE AT FROST FOOTED STOOPS
- APPROXIMATE SOIL BORING / TEST PIT LOCATION
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED DRAINTILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED GATE VALVE (GV)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING - PROVIDE VERTICAL BENDS AS REQUIRED TO ACCOMPLISH. CENTER ONE LENGTH WATERMAIN PIPE ON CROSSING.
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE



**2**  
C1.72  
**UTILITY PLAN**

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL I.D NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION  
ME = MATCH EXISTING  
EOF = EMERGENCY OVERFLOW  
TW = FINISH GRADE AT HIGH SIDE OF WALL  
BW = FINISH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED DRAINTILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED GATE VALVE (GV)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING - PROVIDE VERTICAL BENDS IN WATERMAIN AS REQUIRED TO ACCOMPLISH. CENTER ONE LENGTH WATERMAIN PIPE ON CROSSING.
- INLET PROTECTION DEVICE AT STORM SEWER INLET
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

CITY OF EDINA  
MAY 27 2022  
PLANNING DEPARTMENT

**COUNTRYSIDE  
AND CONCORD  
ELEMENTARY  
SCHOOLS  
ADDITIONS**  
5701 BENTON AVENUE SOUTH  
EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
5701 NORMANDEAU ROAD  
EDINA, MN 55424



**WOLD ARCHITECTS  
AND ENGINEERS**  
332 Minnesota Street, Suite W.2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773



**BOLTON  
& MENK**  
Real People. Real Solutions.  
7575 GOLDEN VALLEY ROAD, SUITE 500  
GOLDEN VALLEY, MINNESOTA 55416  
Phone: (763) 544-7129  
Email: goldenvalley@bolton-menk.com  
www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.  
*David A. Rey*  
DAVID A. REY  
Registration Number 40180 Date 06/27/2022

Revisions	
Description	Date

Comm: XXXXXX  
Date: 05-27-2022  
Drawn: LJD  
Check: DAR



**CONCORD  
GRADING AND  
DRAINAGE AND  
UTILITY PLANS**

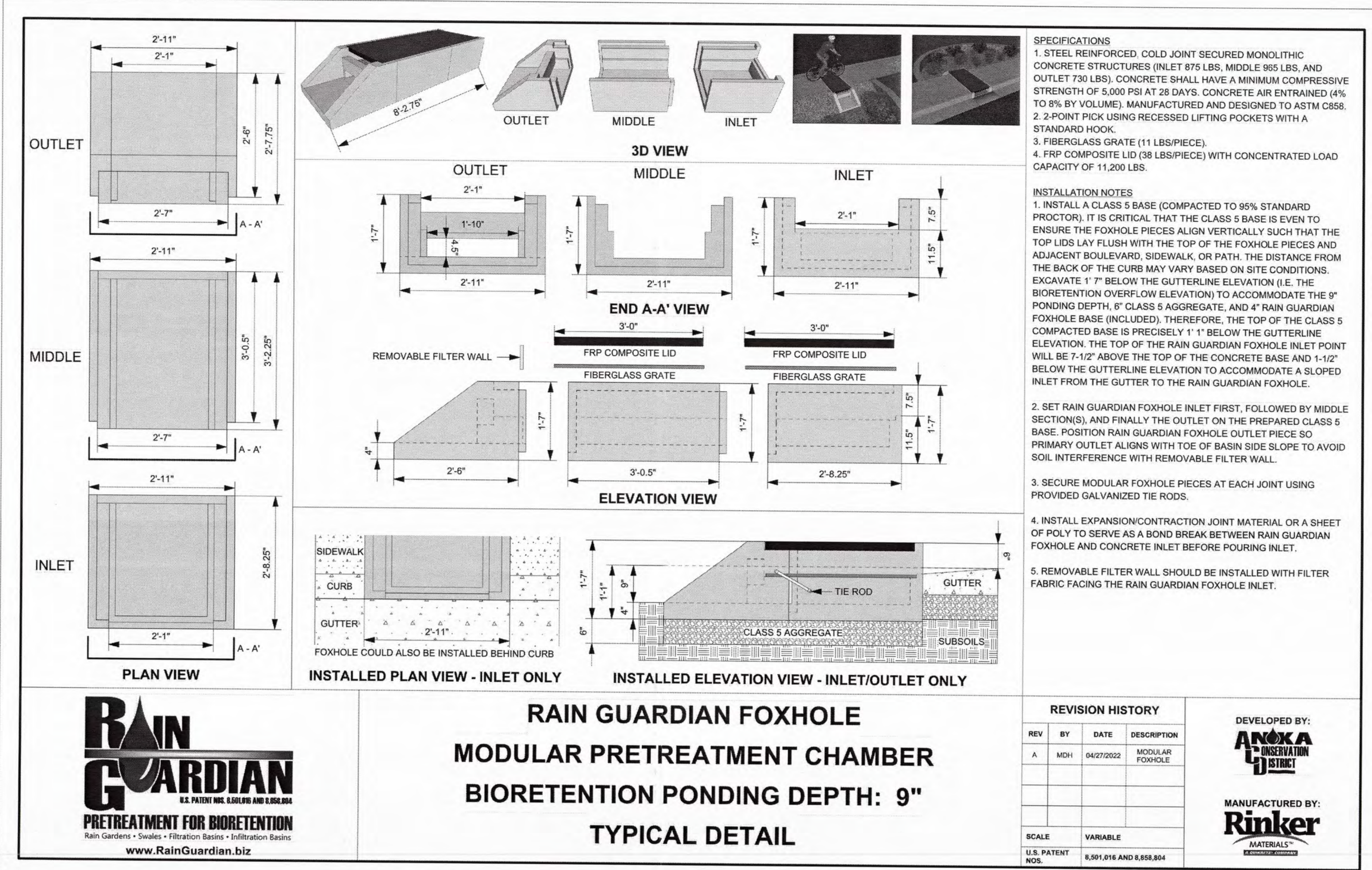
Scale: 1"=30'

**CITY SUBMITTAL  
NOT FOR CONSTRUCTION**

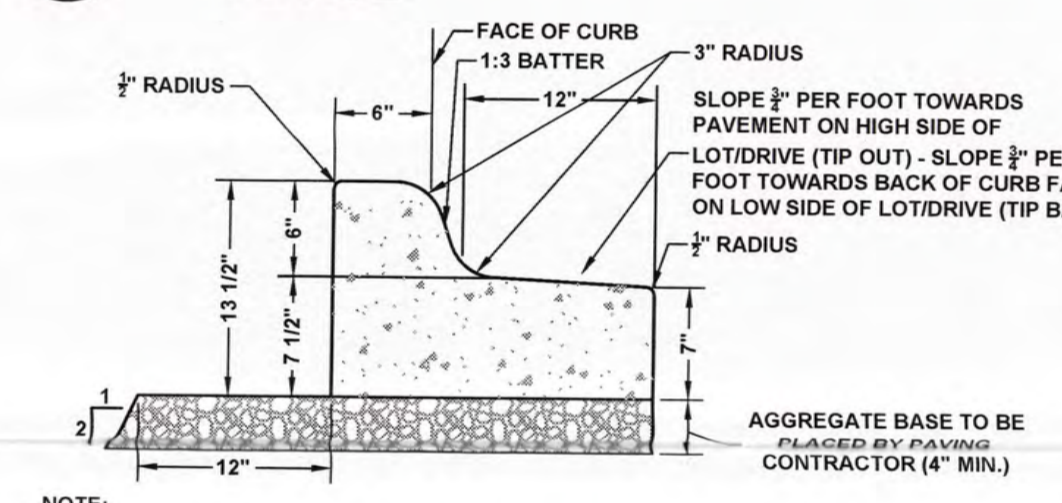
**C1.72**



MN

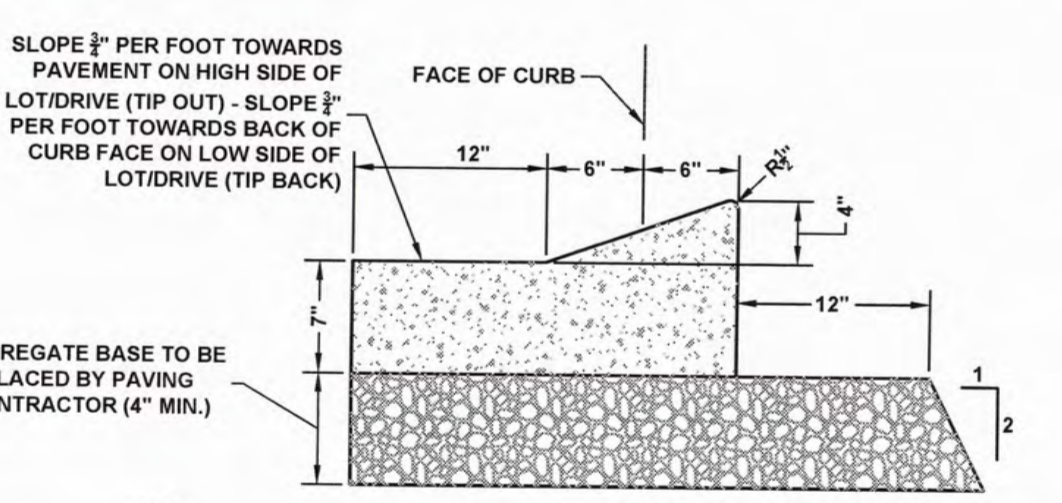


**1** BIORETENTION PRETREATMENT DEVICE



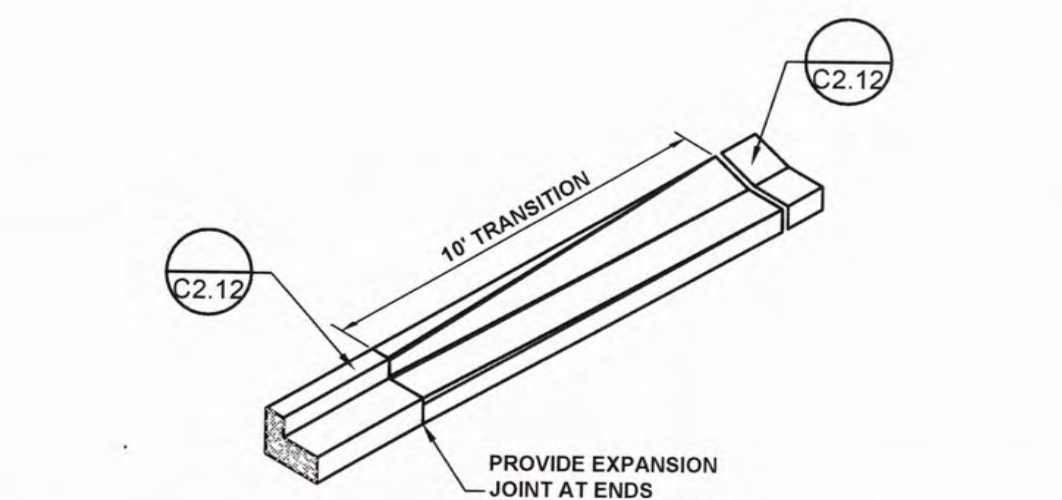
NOTE: 1. DIRECTION OF TRANSVERSE GUTTER SLOPE TO MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE. CONSTRUCT WITH CURBING MACHINE. 2. AT CURB INLET CATCH BASINS, ADJUST CASTING TO BE 1" BELOW GUTTER GRADE. SLOPE GUTTER 2" EACH SIDE OF CATCH BASIN. PROVIDE POSITIVE DRAINAGE TO CATCH BASINS.

**X** B-612 CURB AND GUTTER

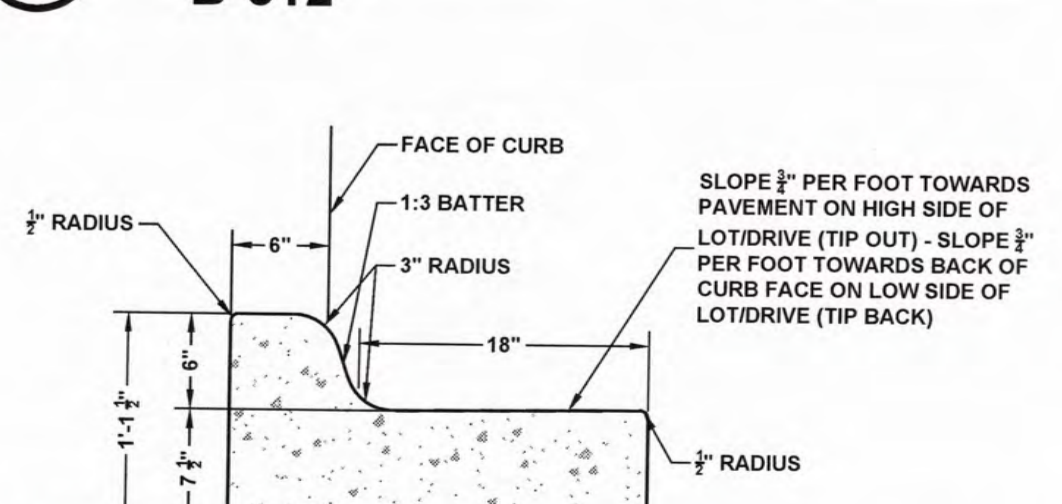


NOTE: 1. DIRECTION OF TRANSVERSE GUTTER SLOPE TO MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE. CONSTRUCT WITH CURBING MACHINE.

**X** D-412 CURB & GUTTER



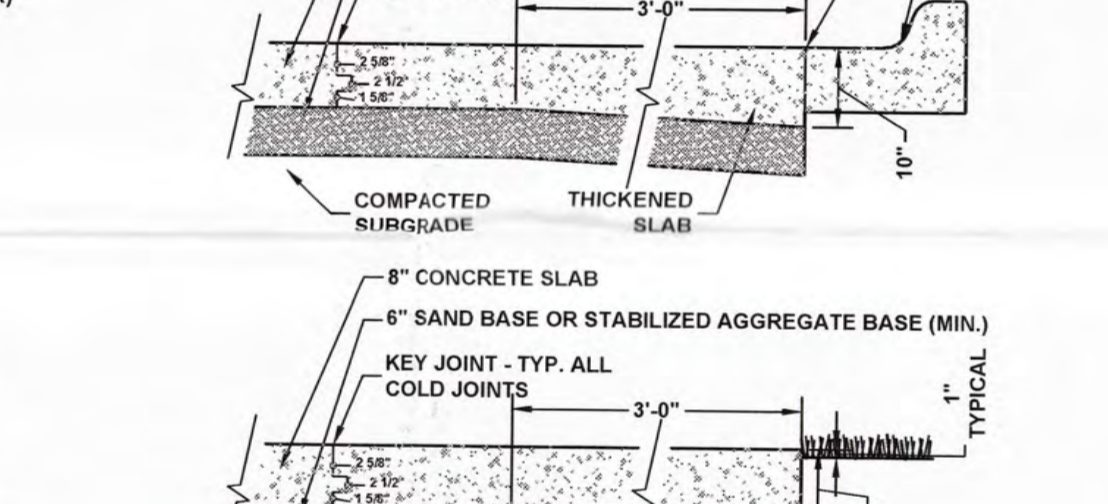
**X** CURB TRANSITION D-412 TO B-612



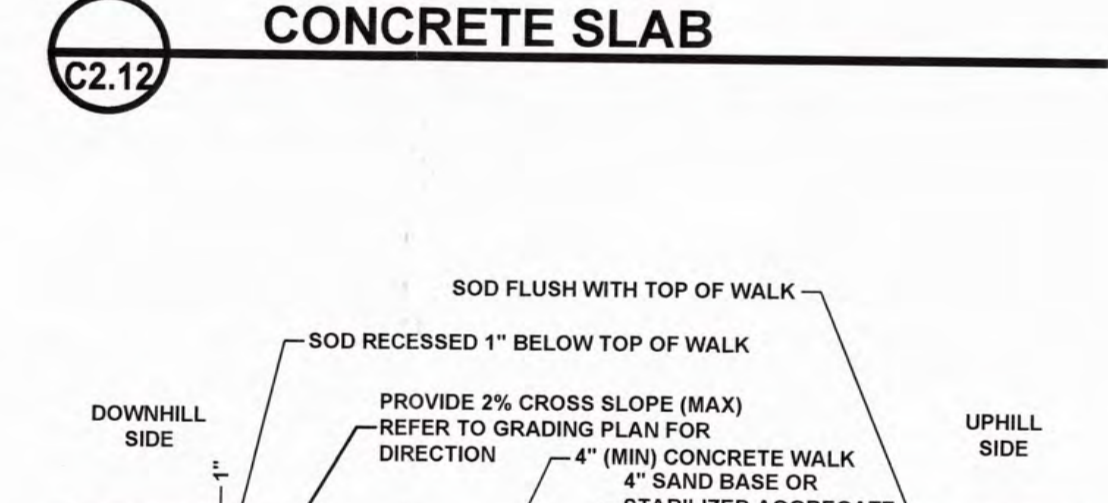
**X** B-618 CURB AND GUTTER



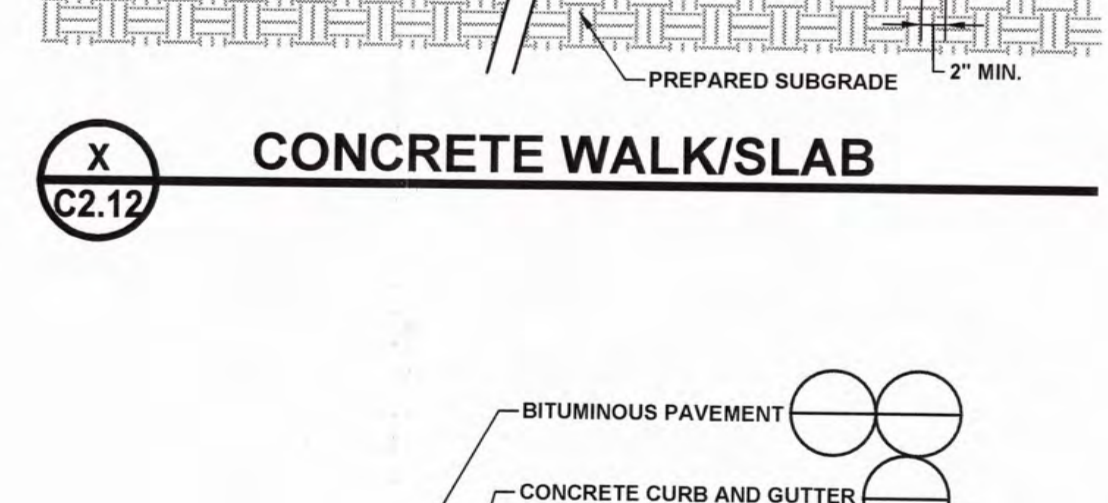
**C2.12** CONCRETE SLAB



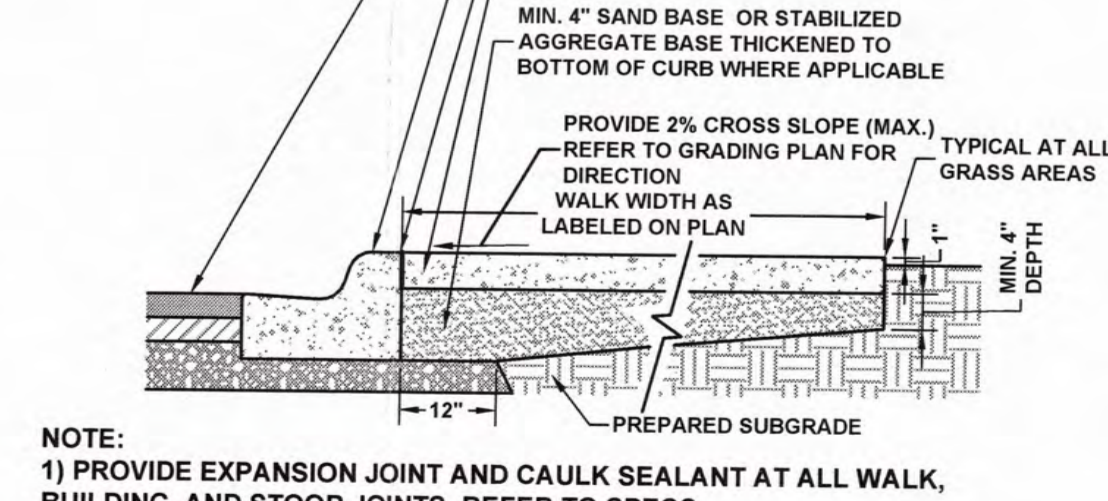
**C2.12** CONCRETE WALK/SLAB



**X** CONCRETE WALK



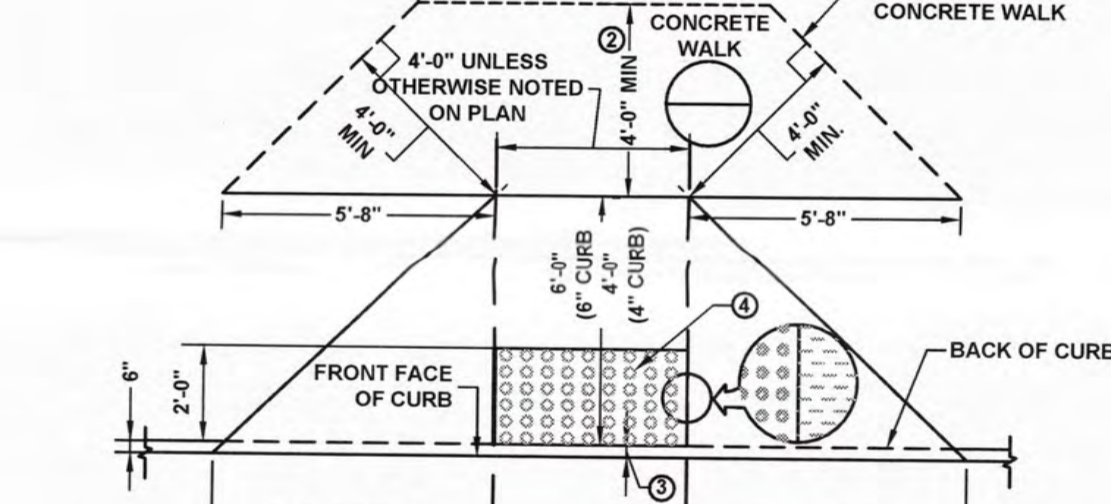
**X** PEDESTRIAN CURB RAMP



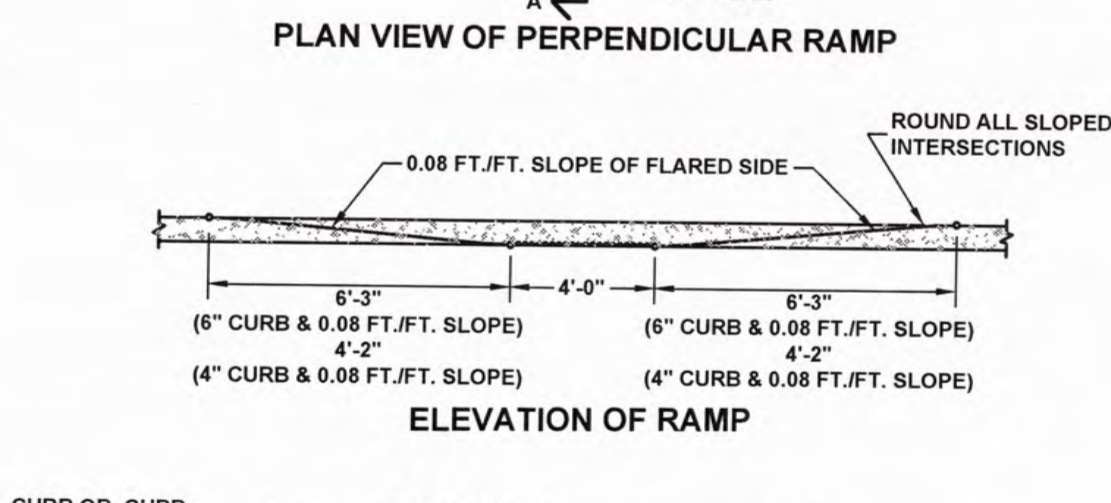
**X** CONCRETE WALK



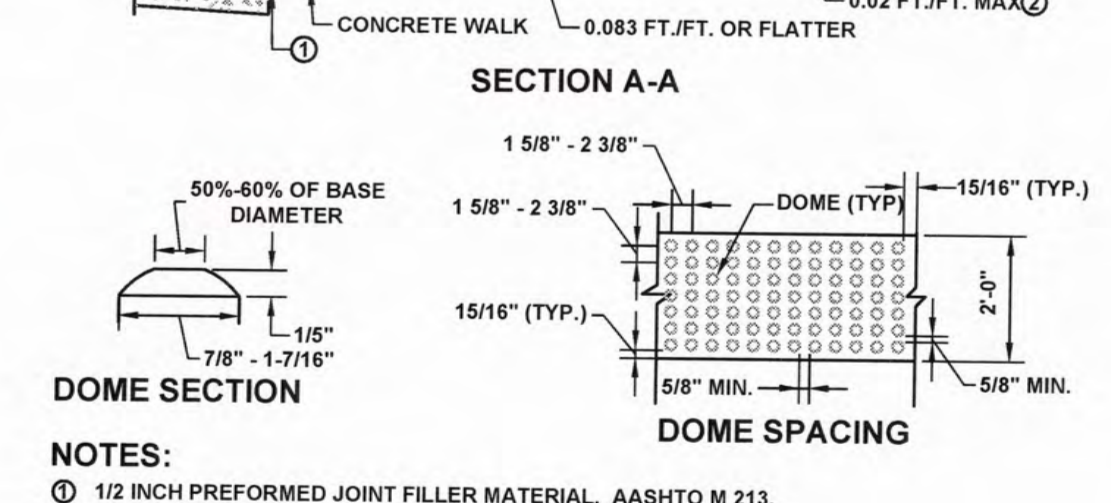
**C2.12** PLAN VIEW OF PERPENDICULAR RAMP



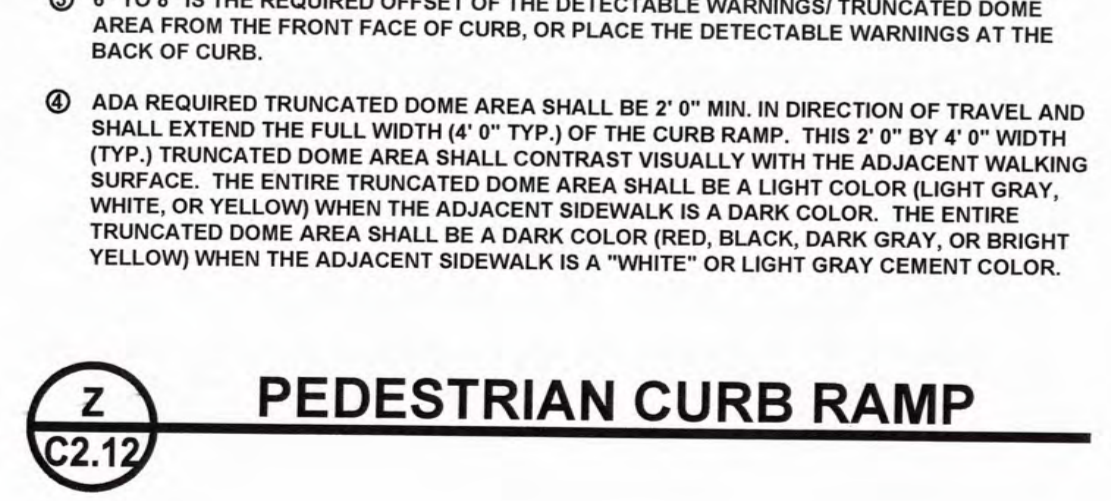
**C2.12** ELEVATION OF RAMP



**C2.12** SECTION A-A



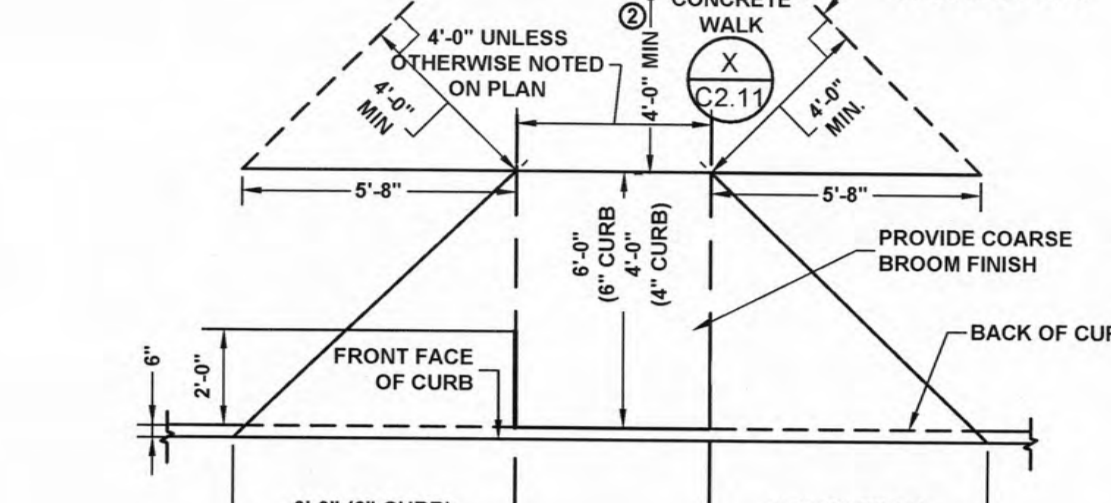
**C2.12** DOMED SECTION



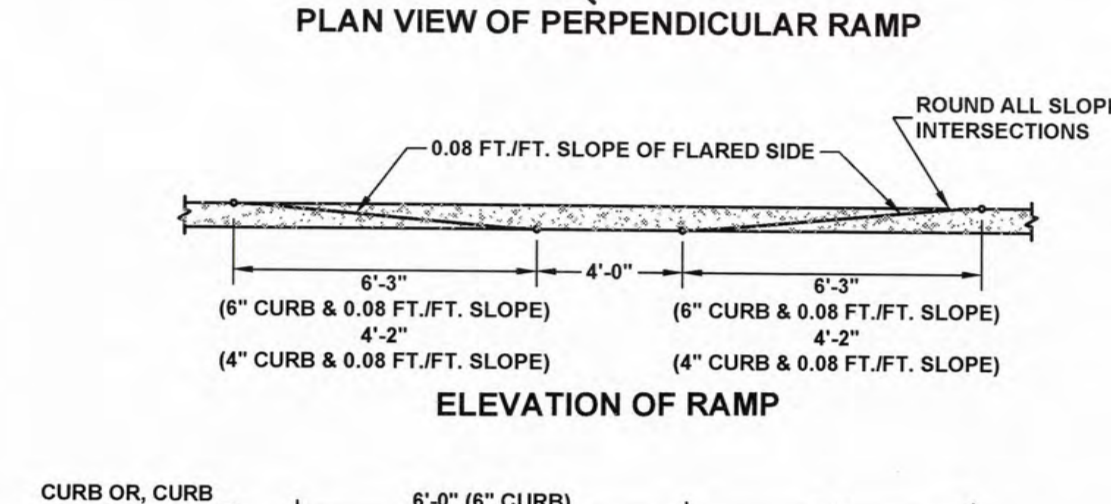
**C2.12** PEDESTRIAN CURB RAMP



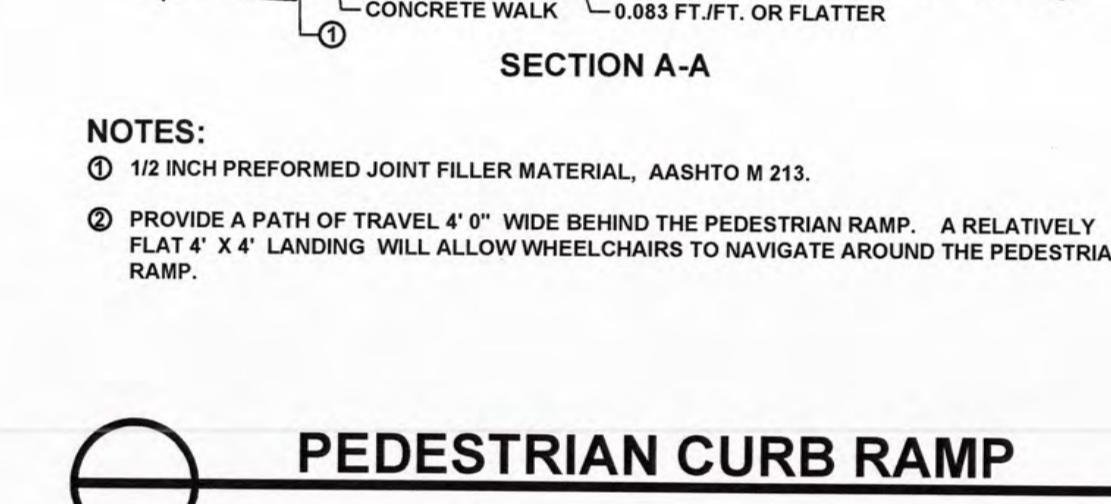
**C2.12** PLAN VIEW OF PERPENDICULAR RAMP



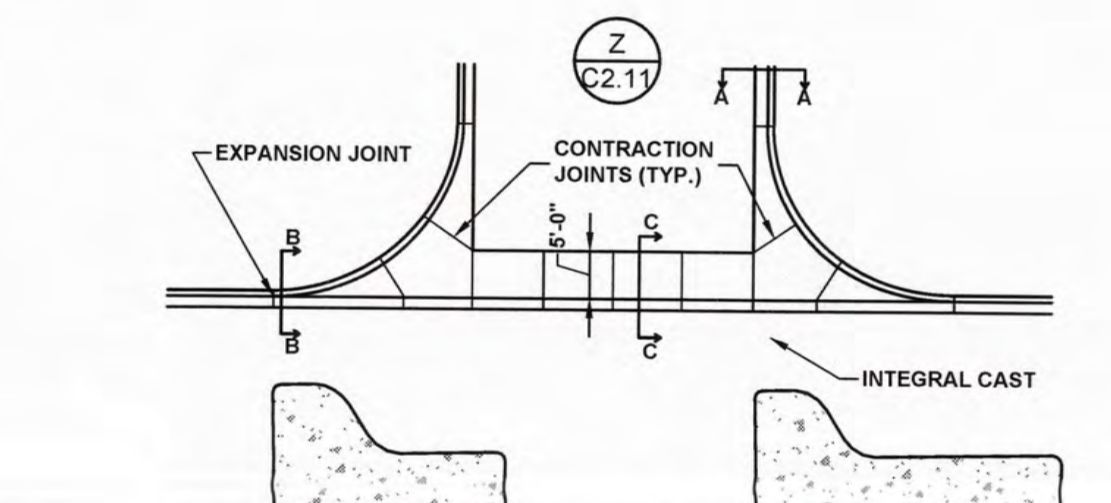
**C2.12** ELEVATION OF RAMP



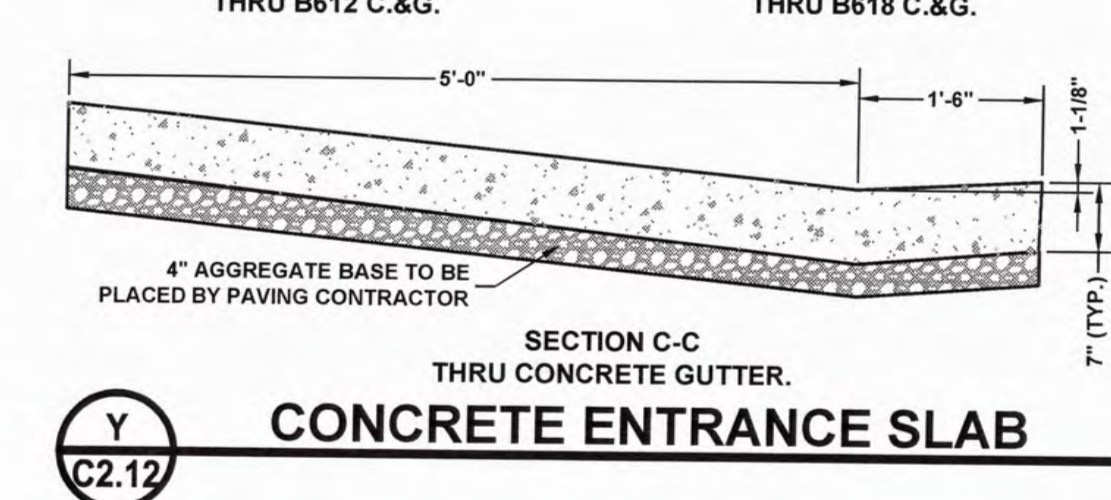
**C2.12** SECTION A-A



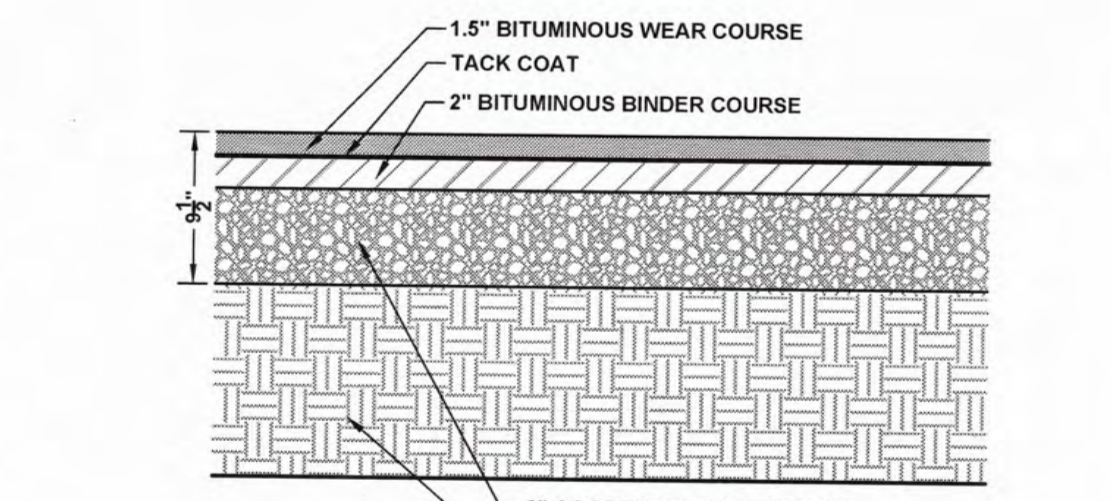
**C2.12** PEDESTRIAN CURB RAMP



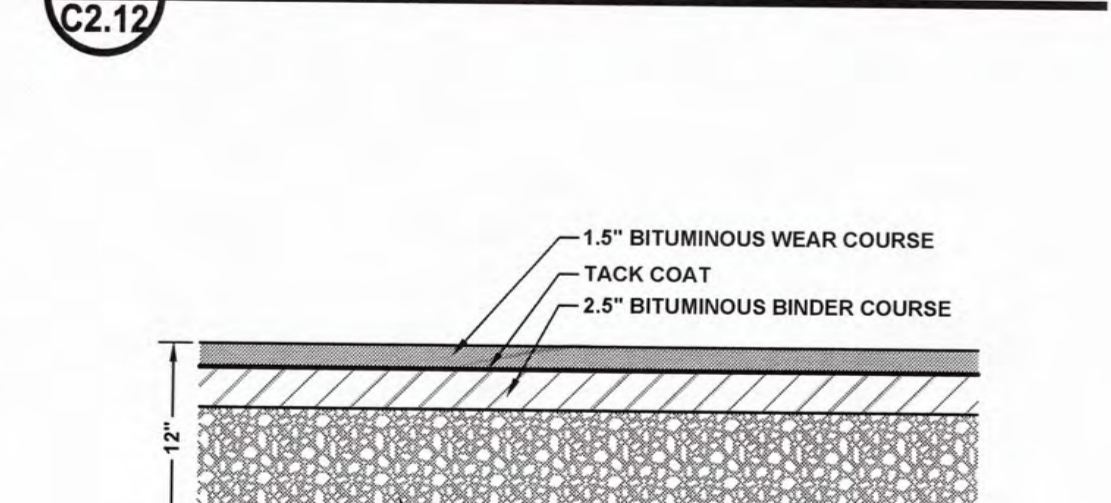
**C2.12** SECTION A-A THRU B612 C.&G.



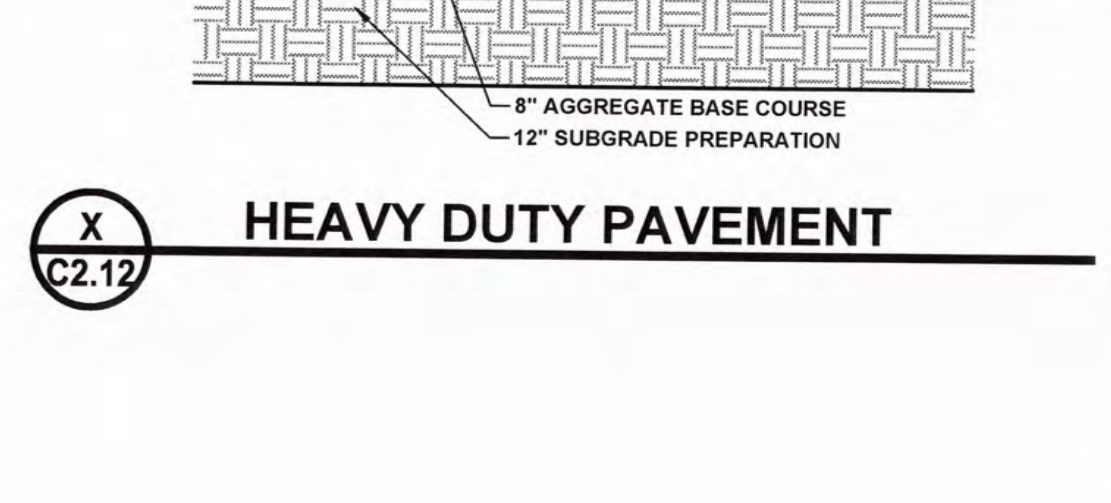
**C2.12** SECTION B-B THRU B618 C.&G.



**C2.12** SECTION C-C THRU CONCRETE GUTTER.



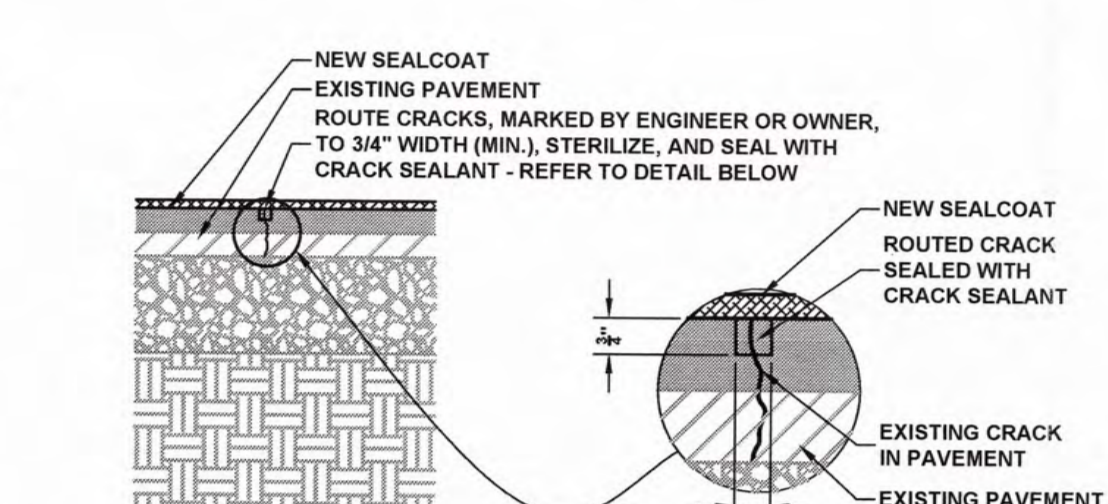
**C2.12** MEDIUM DUTY PAVEMENT



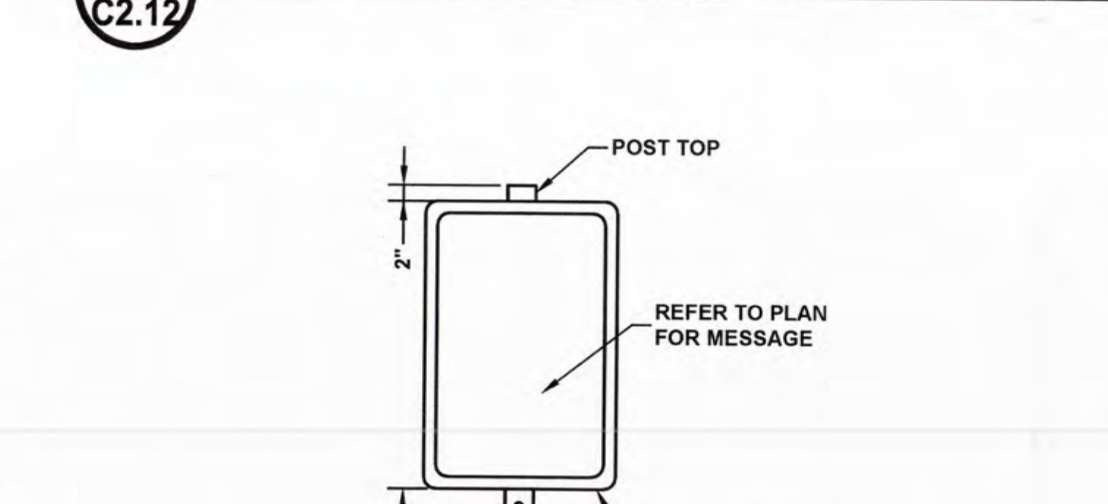
**C2.12** CRACK SEAL AND SEAL COAT



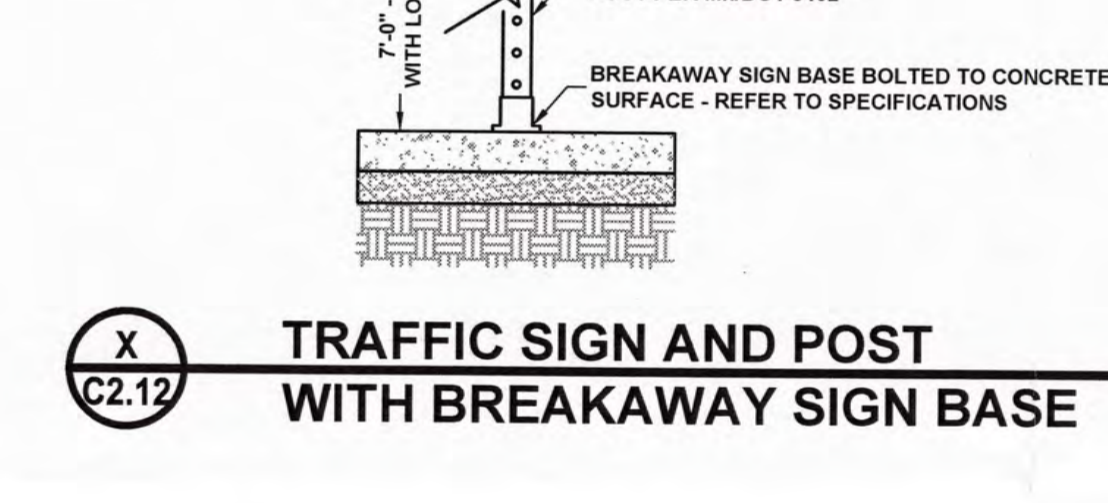
**C2.12** PEDESTRIAN CURB RAMP



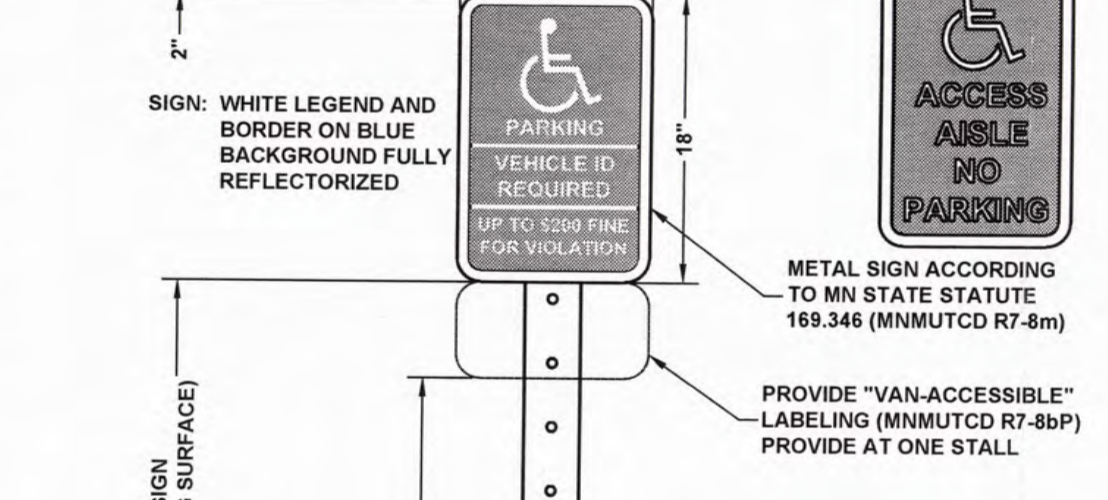
**C2.12** TRAFFIC SIGN AND POST WITH BREAKAWAY SIGN BASE



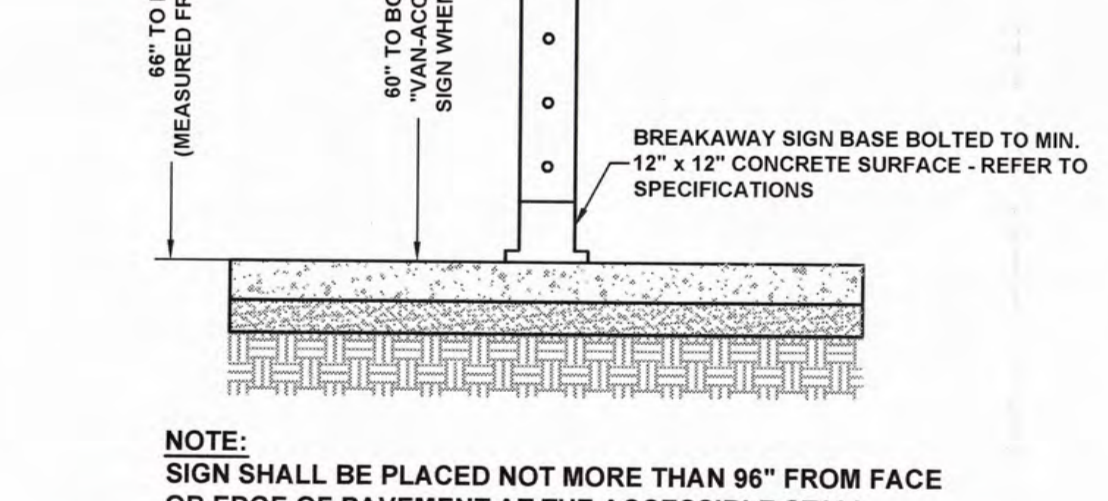
**C2.12** CONIFEROUS TREE



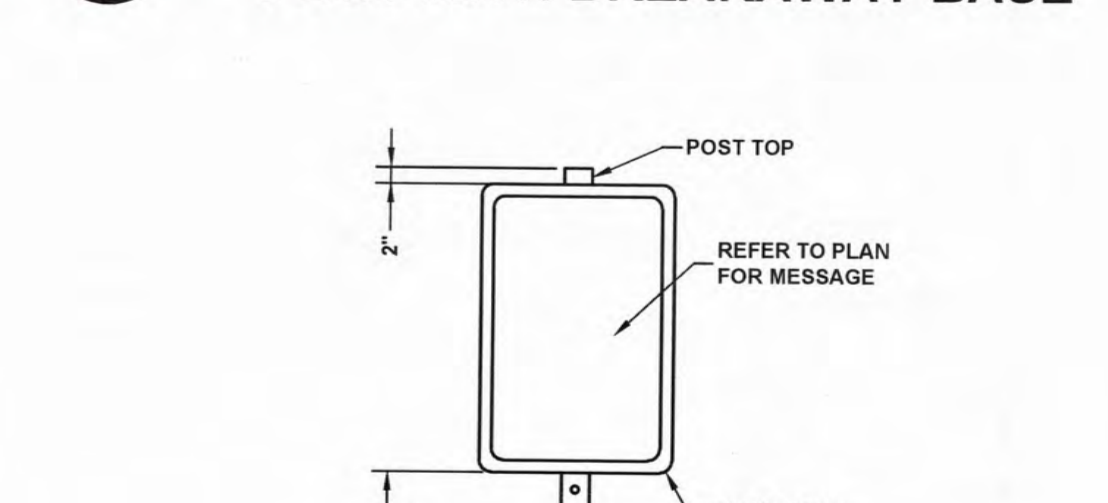
**C2.12** SHRUB



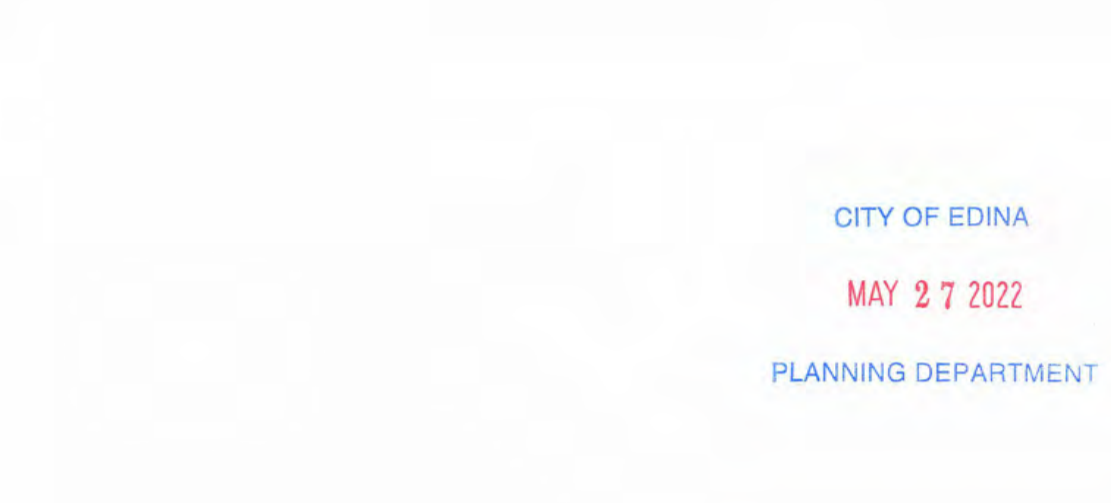
**C2.12** SHRUB BED EDGING



**C2.12** TRAFFIC SIGN AND POST IN GRASS



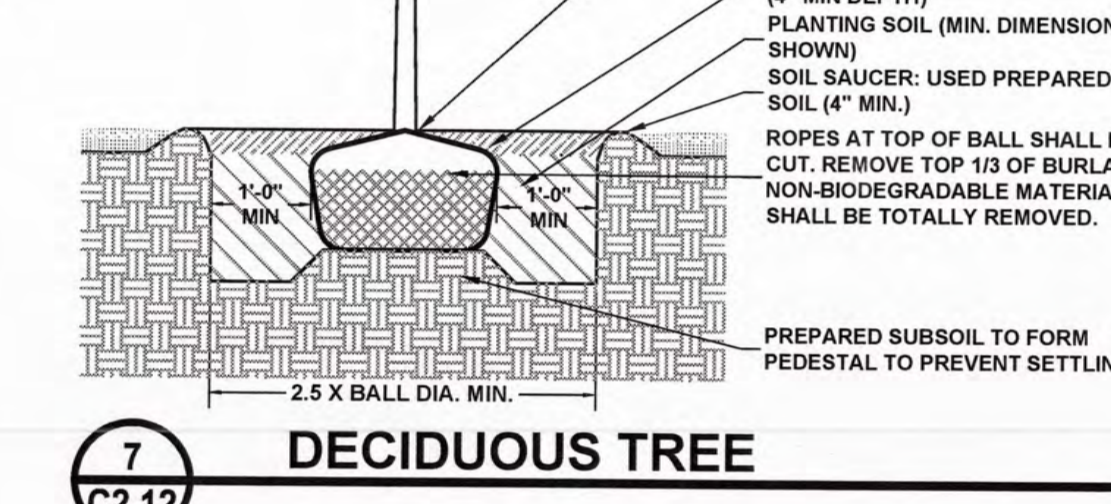
**C2.12** DECIDUOUS TREE



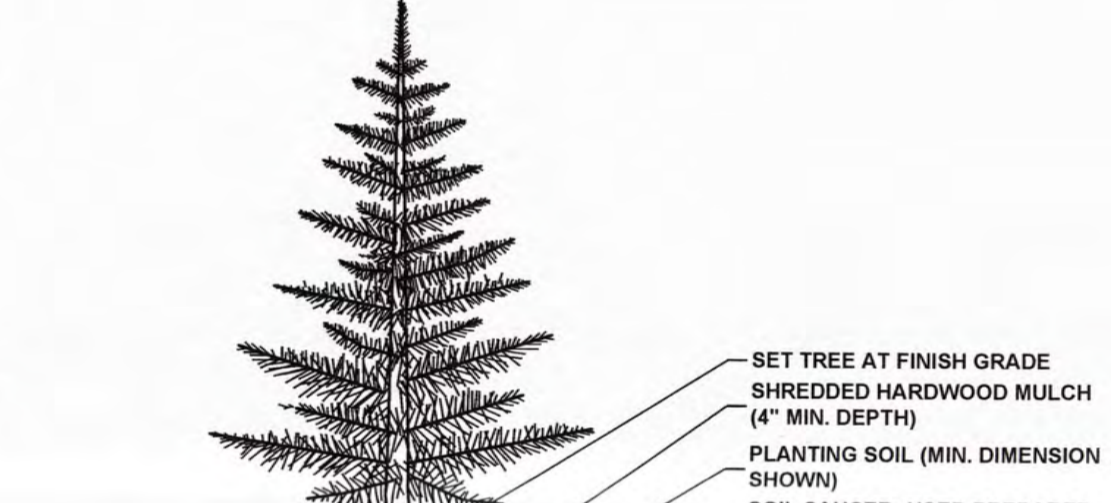
**C2.12** CONIFEROUS TREE



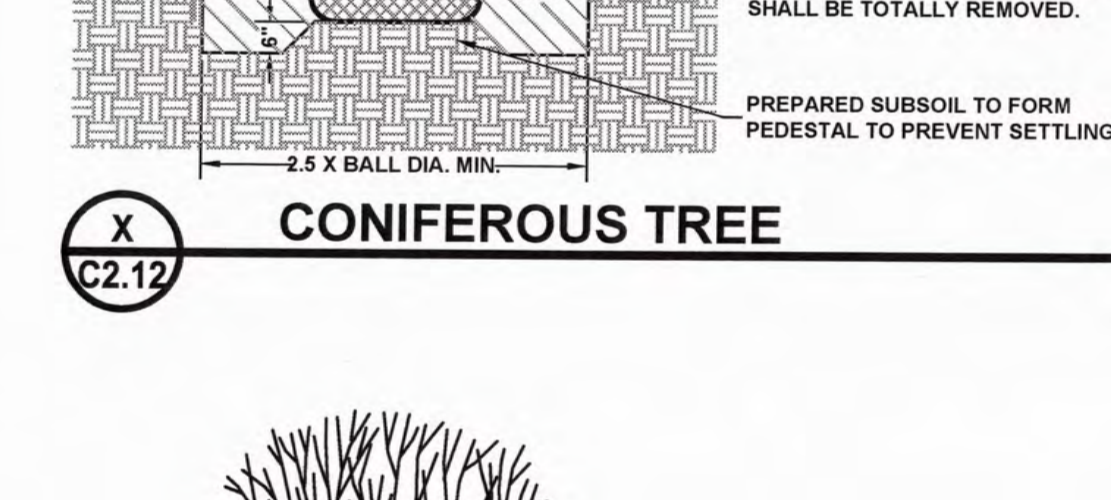
**C2.12** SHRUB



**C2.12** SHRUB BED EDGING



**C2.12** TRAFFIC SIGN AND POST IN GRASS



**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**  
5701 BENTON AVENUE SOUTH  
EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
5701 NORMANDEAU ROAD  
EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
wolda.com | 651.227.7773

**BOLTON & MENK**  
Real People. Real Solutions.  
7575 GOLDEN VALLEY ROAD, SUITE 200  
GOLDEN VALLEY, MINNESOTA 55427  
Phone: (763) 544-7129  
Email: goldenvale@bolton-menk.com  
www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA  
**LAURA J. DETZLER**  
Registration Number: 53753 Date: 06/27/2022

Revisions	Date	Num

Comm: XXXXXX  
Date: 06-27-2022  
Drawn: LJD  
Check: LJD

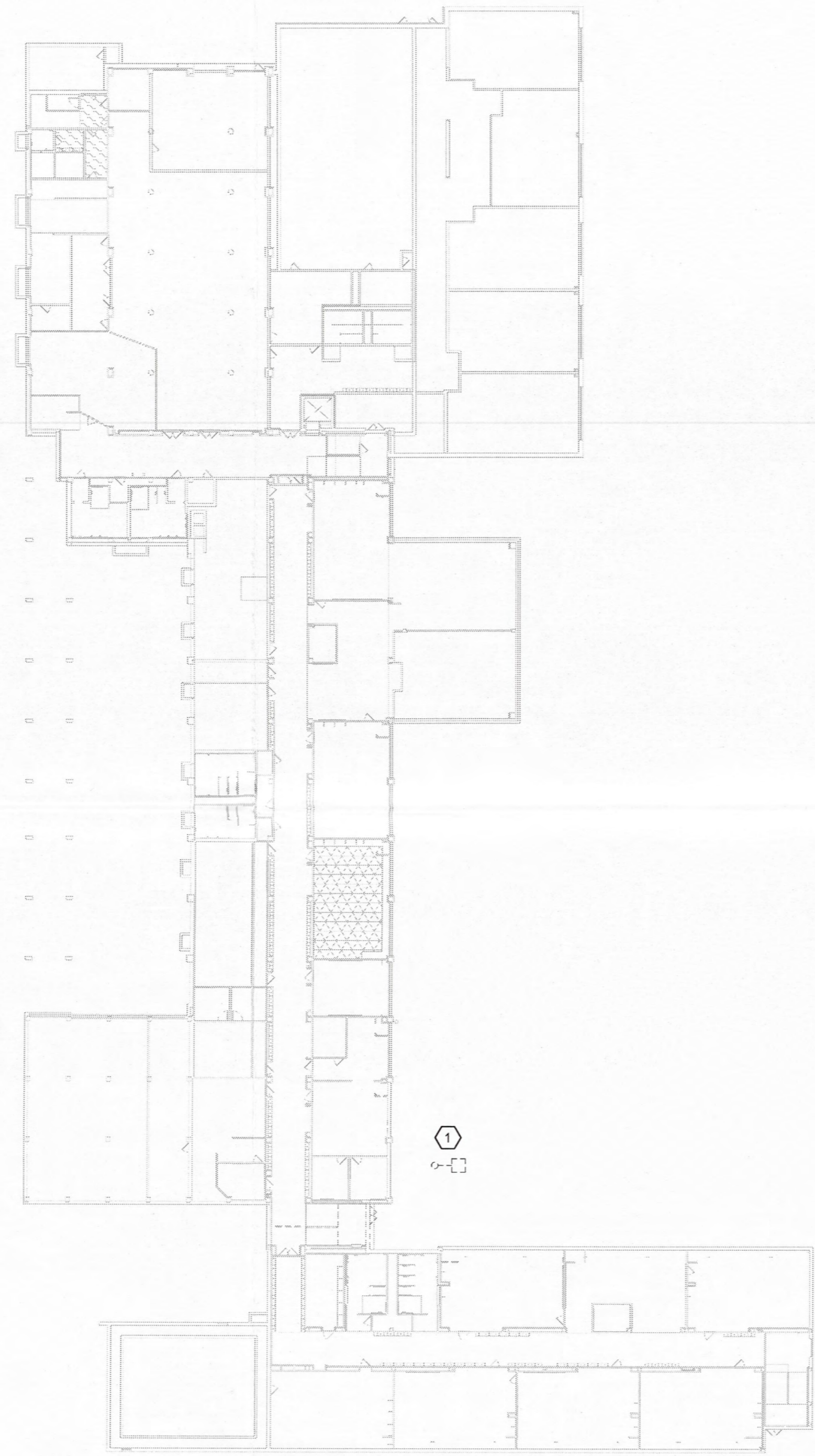
**DETAILS**

Scale: 1"=30'

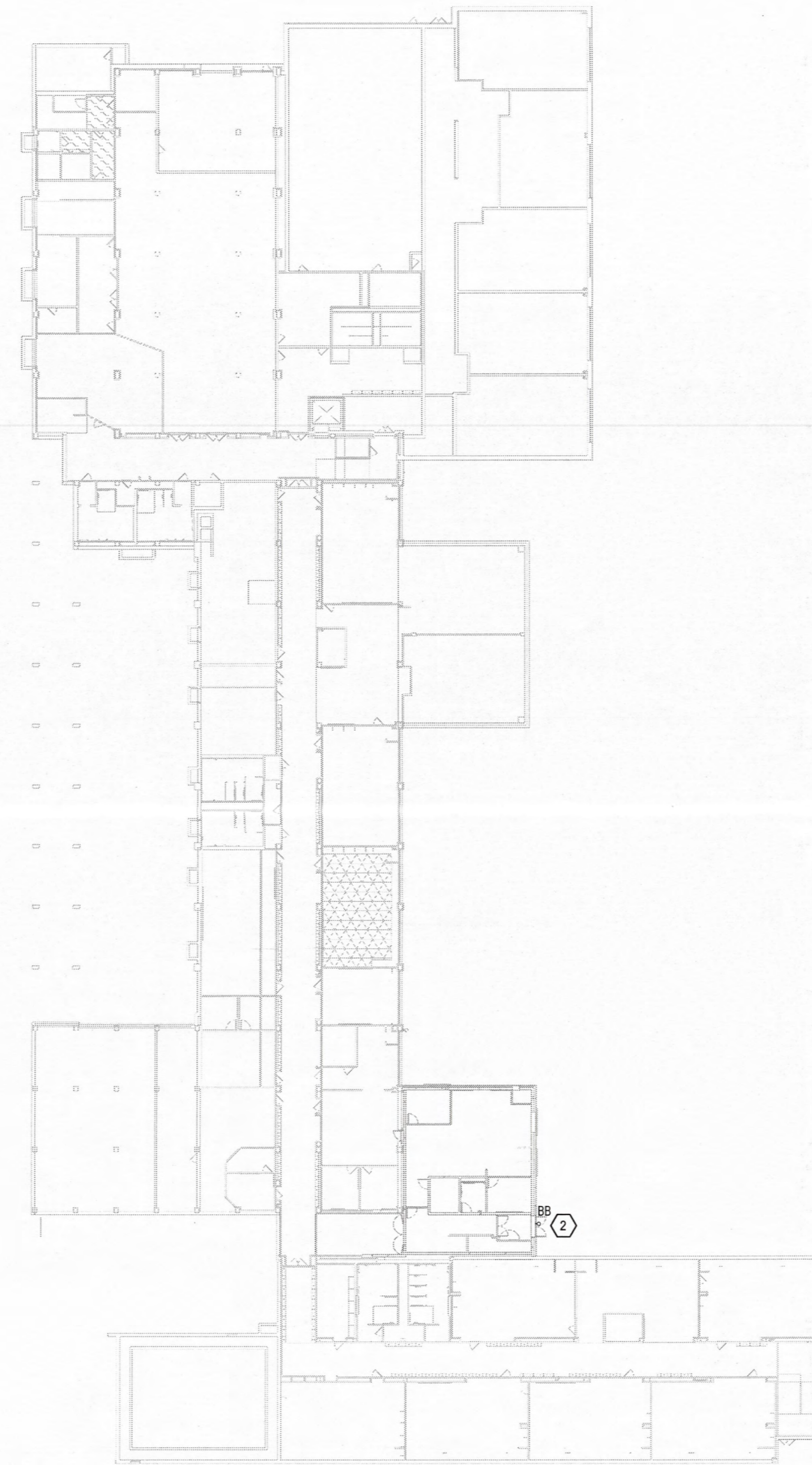
**CITY SUBMITTAL NOT FOR CONSTRUCTION**

**C2.12**

MN



**E2** CONCORD ELECTRICAL SITE PLAN - DEMO  
1" = 30'-0"



**E5** CONCORD ELECTRICAL SITE PLAN - NEW  
1" = 30'-0"

BB	LED EXTERIOR WALLPACK	LED 3000 LUMENS	MVOLT	WALL MOUNTED	FORWARD THROW DISTRIBUTION, CLEAR TEMPERED GLASS LENS	DIE CAST ALUMINUM HOUSING DARK BRONZE FINISH MIN 5 YEAR WARRANTY DLC CERTIFIED	LITHONIA WST SERIES SPAULDING TRP SERIES MCGRAW-EDISON SERIES GARCCO 101L SERIES	BB
----	-----------------------	-----------------	-------	--------------	-------------------------------------------------------	--------------------------------------------------------------------------------	----------------------------------------------------------------------------------	----

CITY OF EDINA  
MAY 27 2022  
PLANNING DEPARTMENT

- KEYED SHEET NOTES**
1. DEMOLISH EXISTING LIGHT POLE CONFLICTING WITH NEW ADDITION.
  2. PROVIDE NEW LED WALLPACK.

**COUNTRYSIDE AND CONCORD ELEMENTARY SCHOOLS ADDITIONS**

5701 BENTON AVENUE S  
EDINA, MN 55436

**INDEPENDENT SCHOOL DISTRICT #273**  
5701 NORMANDEALE ROAD  
EDINA, MN 55424



**WOLD ARCHITECTS AND ENGINEERS**

332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

License Number: **BRADLEY R. JOHANSEN** 43936 Date Issue Date

Description	Revisions		Num
	Date		

Comm: 222095G  
Date: 5-17-2022  
Drawn: Author  
Check: Checker

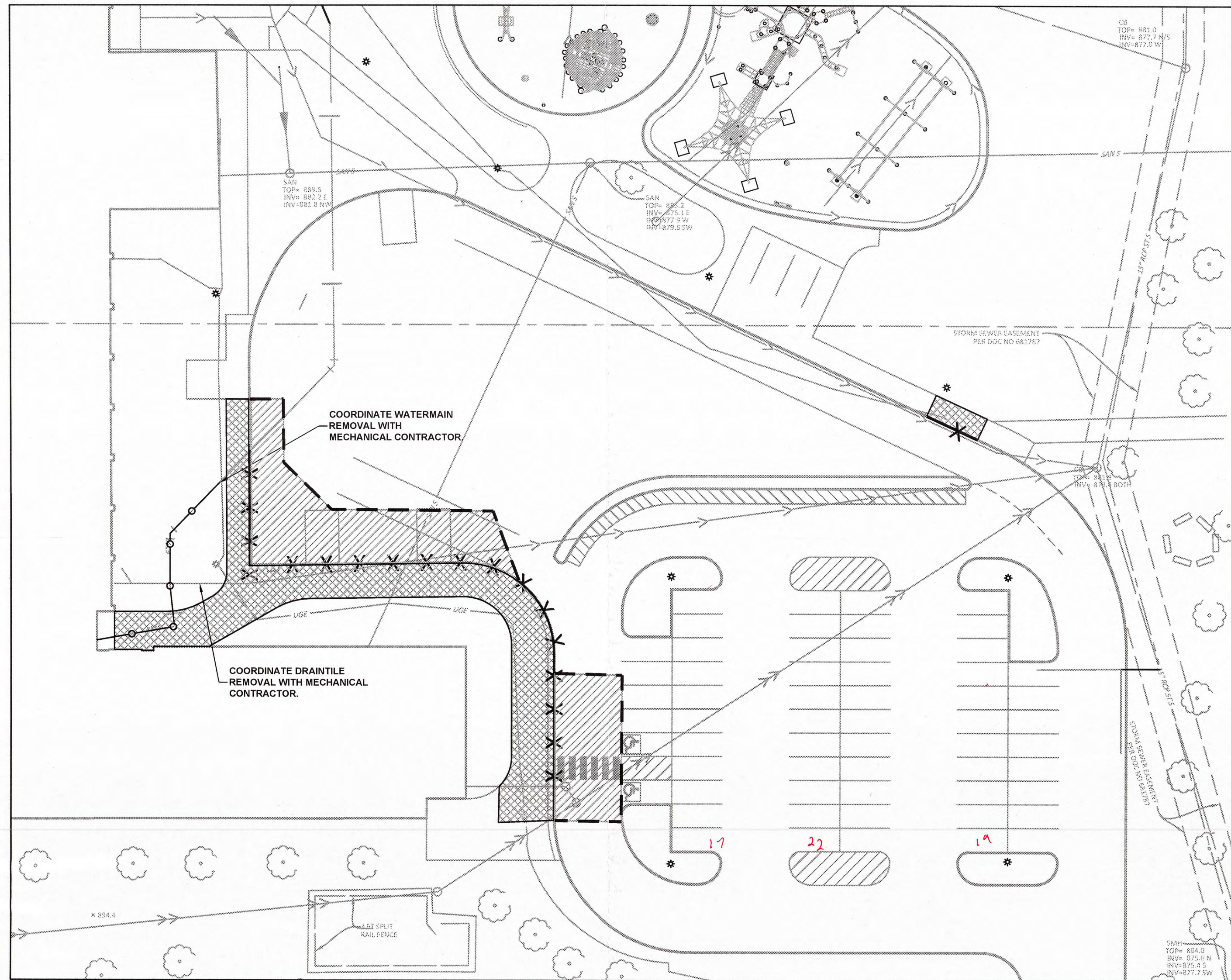


**CONCORD ELECTRICAL SITE PLAN**

Scale: As Indicated

**E0.03**

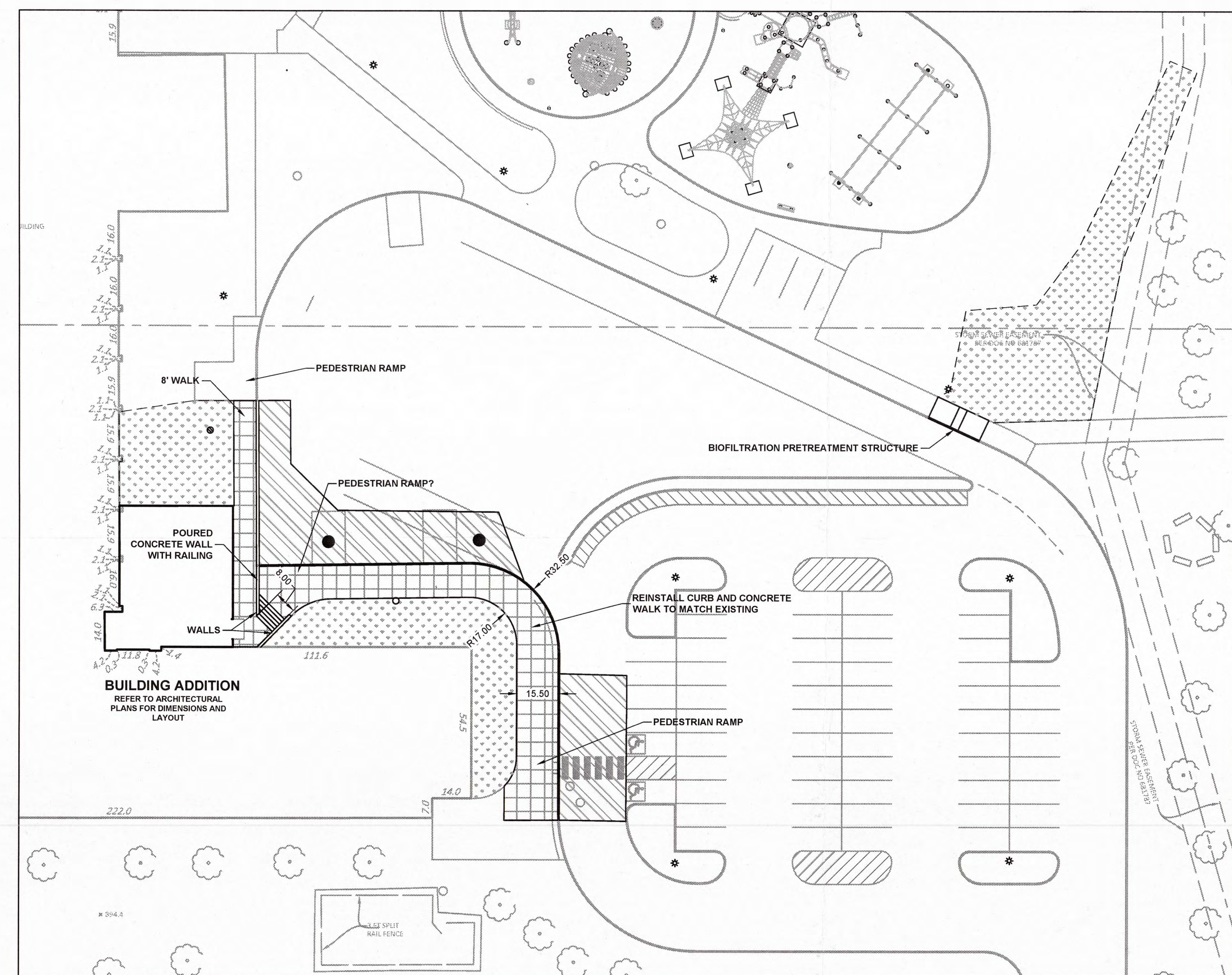
MN



1  
C1.71  
REMOVALS PLAN

LEGEND

- CONCRETE PAVEMENT REMOVALS
- CONCRETE CURB AND GUTTER REMOVALS
- BITUMINOUS PAVEMENT REMOVALS
- UTILITY REMOVALS
- SAWCUT
- PROPERTY LINE



2  
C1.71  
FINISHING AND LANDSCAPE PLAN

LEGEND

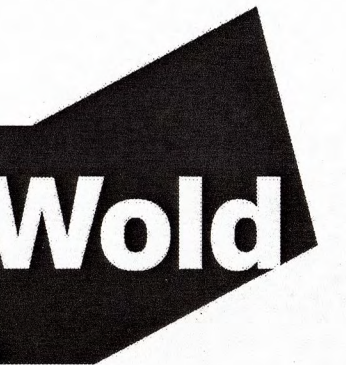
- REFERENCE KEY TO SITE DETAILS  
DETAIL ID NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED RETAINING WALL
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- APPROXIMATE SOD LIMITS
- PROPERTY LINE

C

CITY OF EDINA  
MAY 27 2022  
PLANNING DEPARTMENT

**COUNTRYSIDE  
AND CONCORD  
ELEMENTARY  
SCHOOLS  
ADDITIONS**  
5701 BENTON AVENUE SOUTH  
EDINA, MN 55436

**INDEPENDENT SCHOOL  
DISTRICT #273**  
5701 NORMANDELE ROAD  
EDINA, MN 55424



**WOLD ARCHITECTS  
AND ENGINEERS**  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773



**BOLTON  
& MENK**  
Real People. Real Solutions.  
7575 GOLDEN VALLEY ROAD, SUITE 200  
GOLDEN VALLEY, MINNESOTA 55427  
Phone: (763) 544-7129  
Email: goldenvally@bolton-menk.com  
www.bolton-menk.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA  
  
DAVID A. REY  
Registration Number 40180 Date 06/27/2022

Revisions		
Description	Date	Num

Comm: XXXXXX  
Date: 05-27-2022  
Drawn: LJD  
Check: DAR



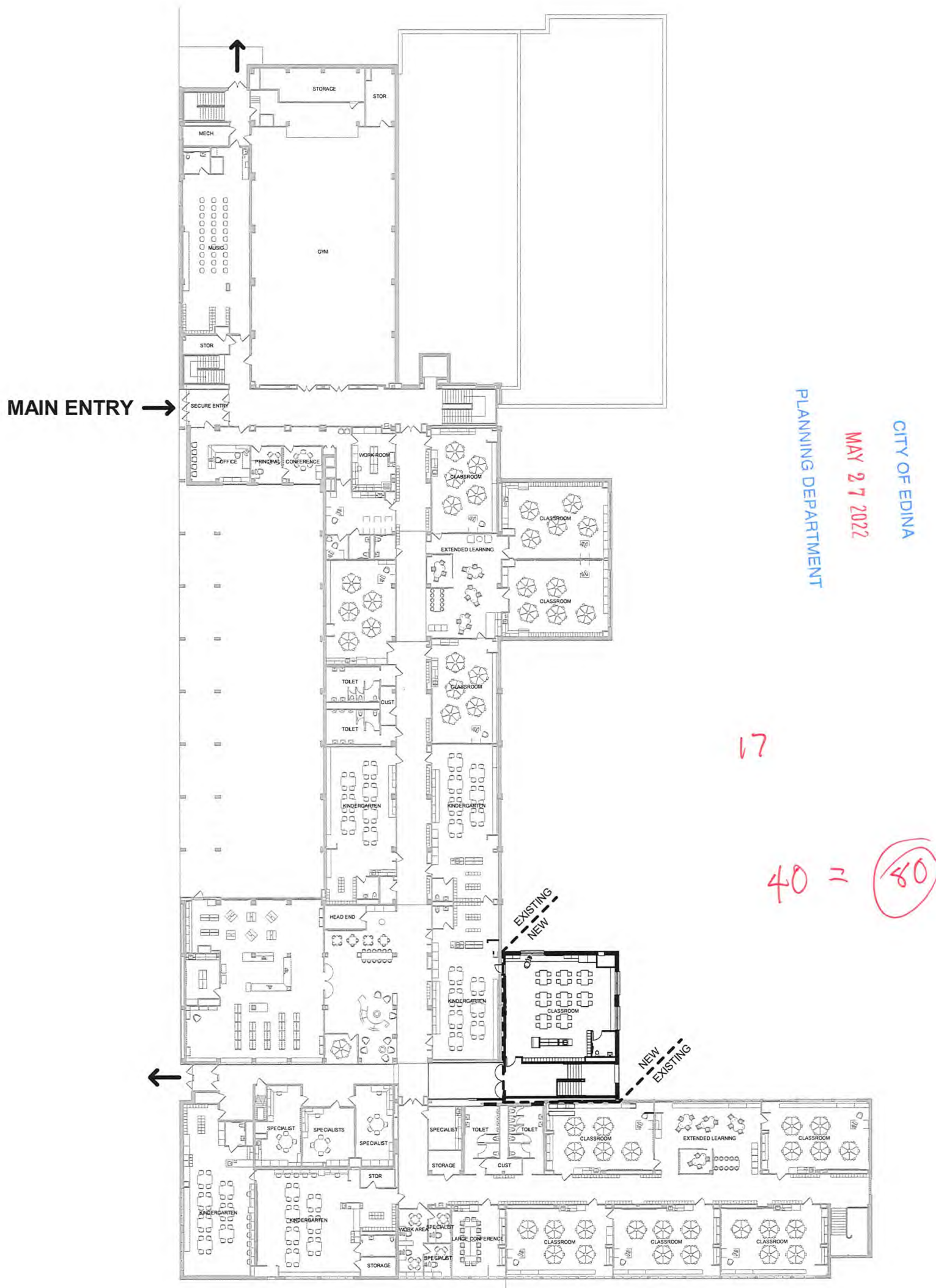
**CONCORD  
REMOVALS AND  
FINISHING AND  
LANDSCAPE  
PLANS**

Scale: 1"=30'

**CITY SUBMITTAL  
NOT FOR CONSTRUCTION**

**C1.71**





CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT

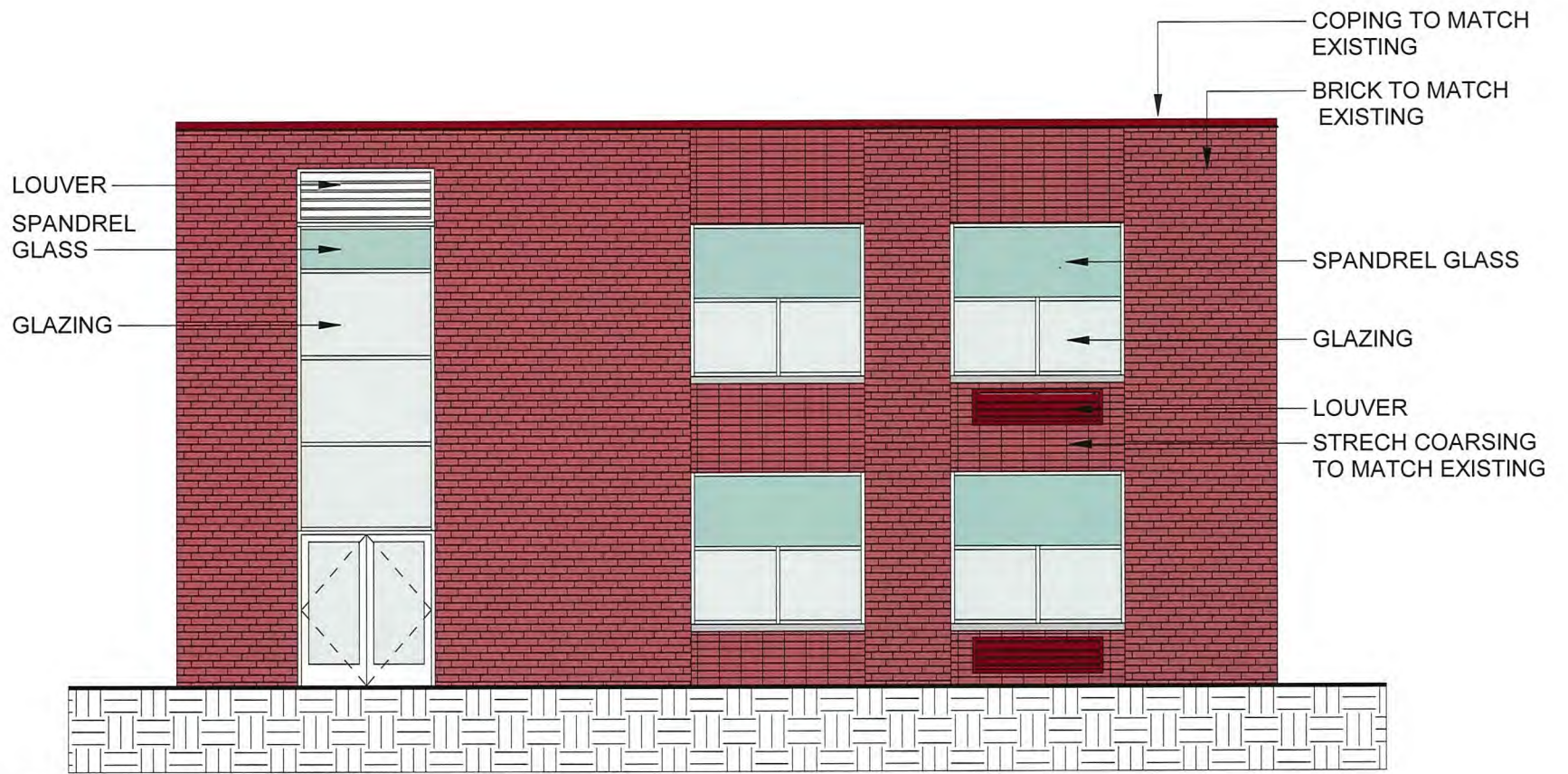
**1** UPPER LEVEL FLOOR PLAN  
 1" = 40'-0"  
 0 30' 60'



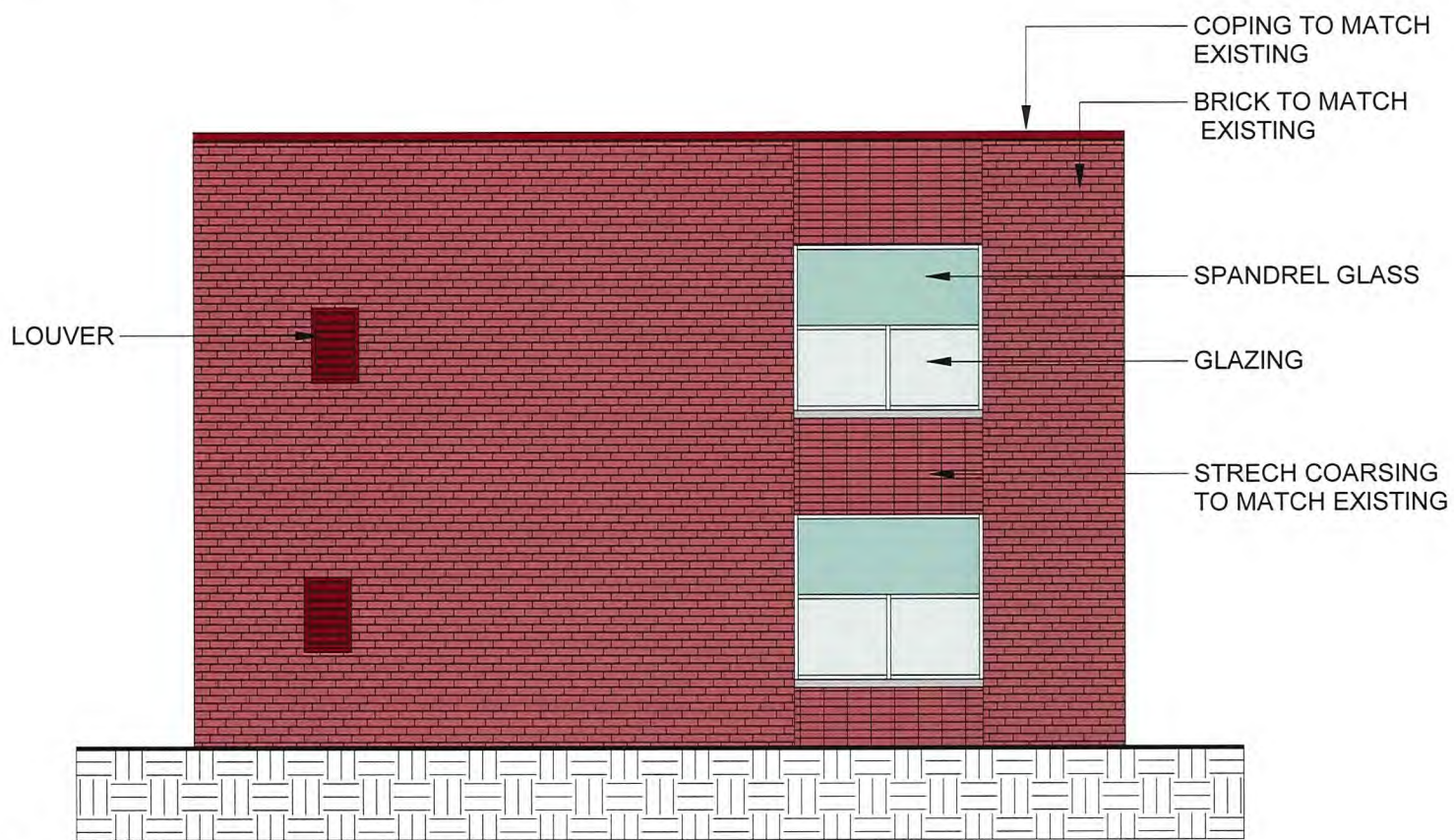
CONCORD UPPER  
 FLOOR PLAN  
 CUP CC A1.2



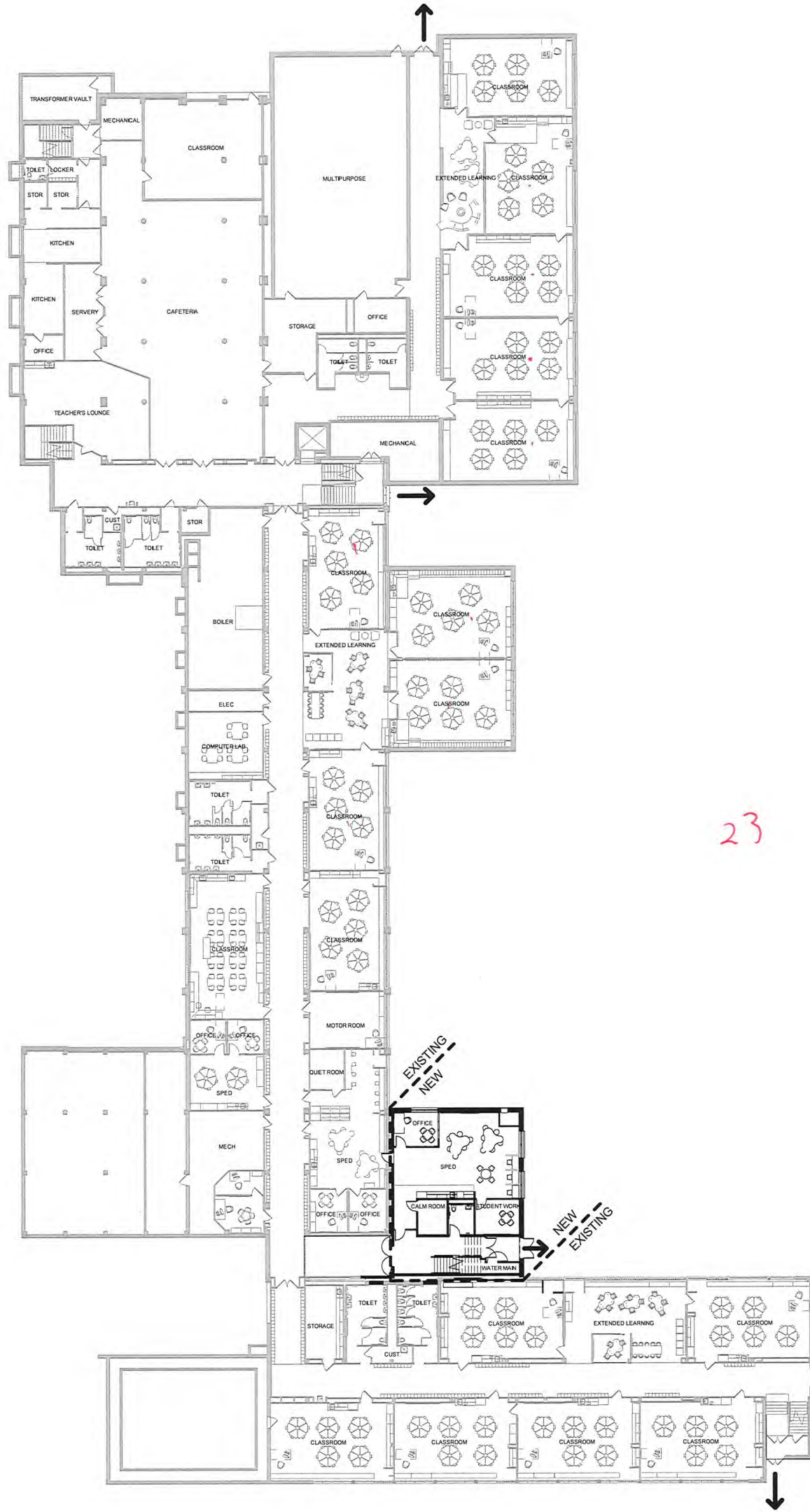
CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT



**1 EAST SIDE ELEVATION**  
 1/8" = 1'-0"  
 0 6' 12'

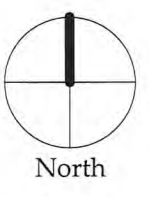


**2 NORTH SIDE ELEVATION**  
 1/8" = 1'-0"  
 0 6' 12'



CITY OF EDINA  
 MAY 27 2022  
 PLANNING DEPARTMENT

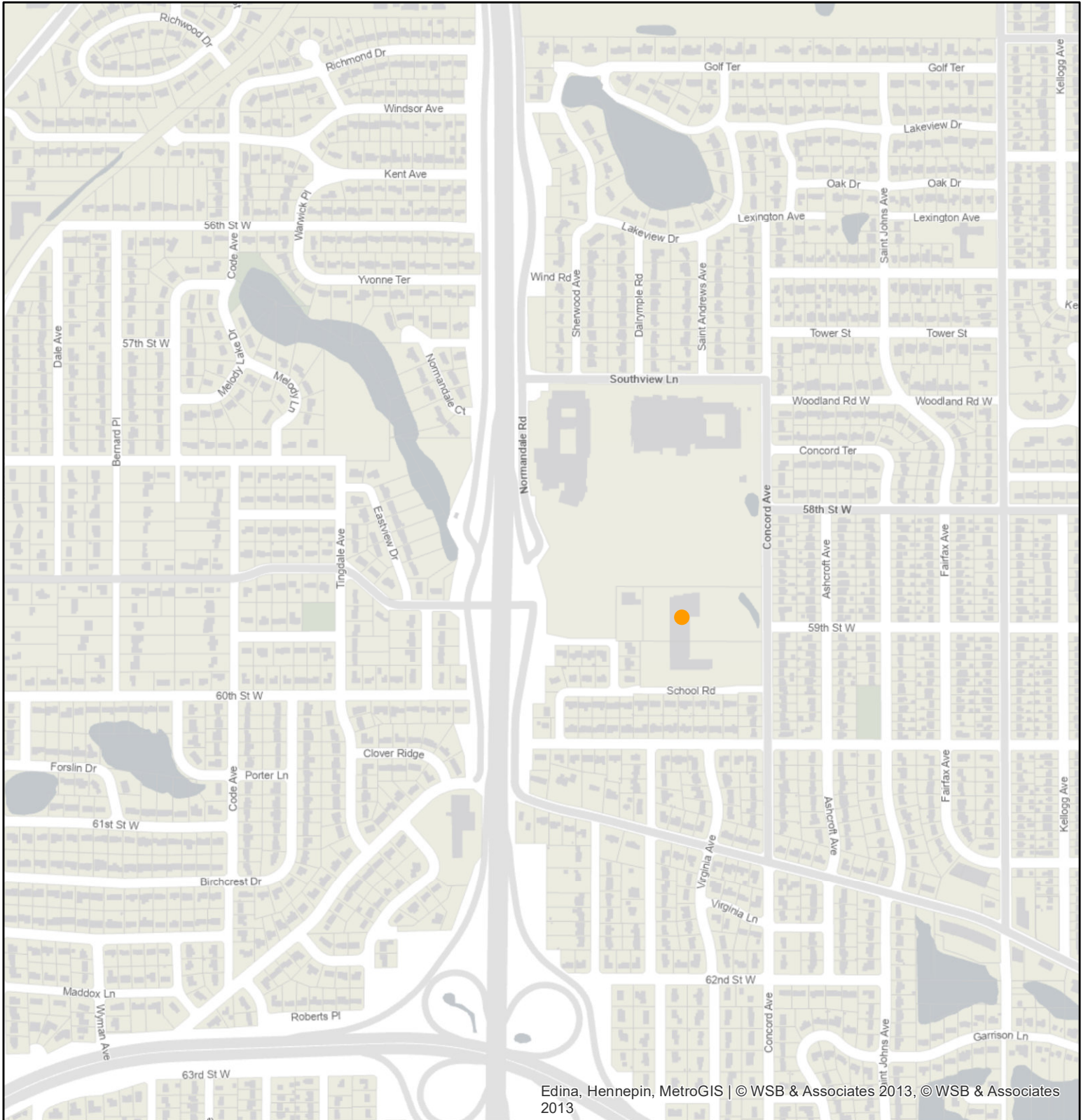
**1 LOWER LEVEL FLOOR PLAN**  
 1" = 40'-0"



CONCORD LOWER  
 FLOOR PLAN  
 CUP CC A1.1

Comm No: 222005/222026

# Concord School - 5900 Concord



1 in = 752 ft



The CITY of  
**EDINA**



June 23, 2022

# Concord School - 5900 Concord



1 in = 376 ft

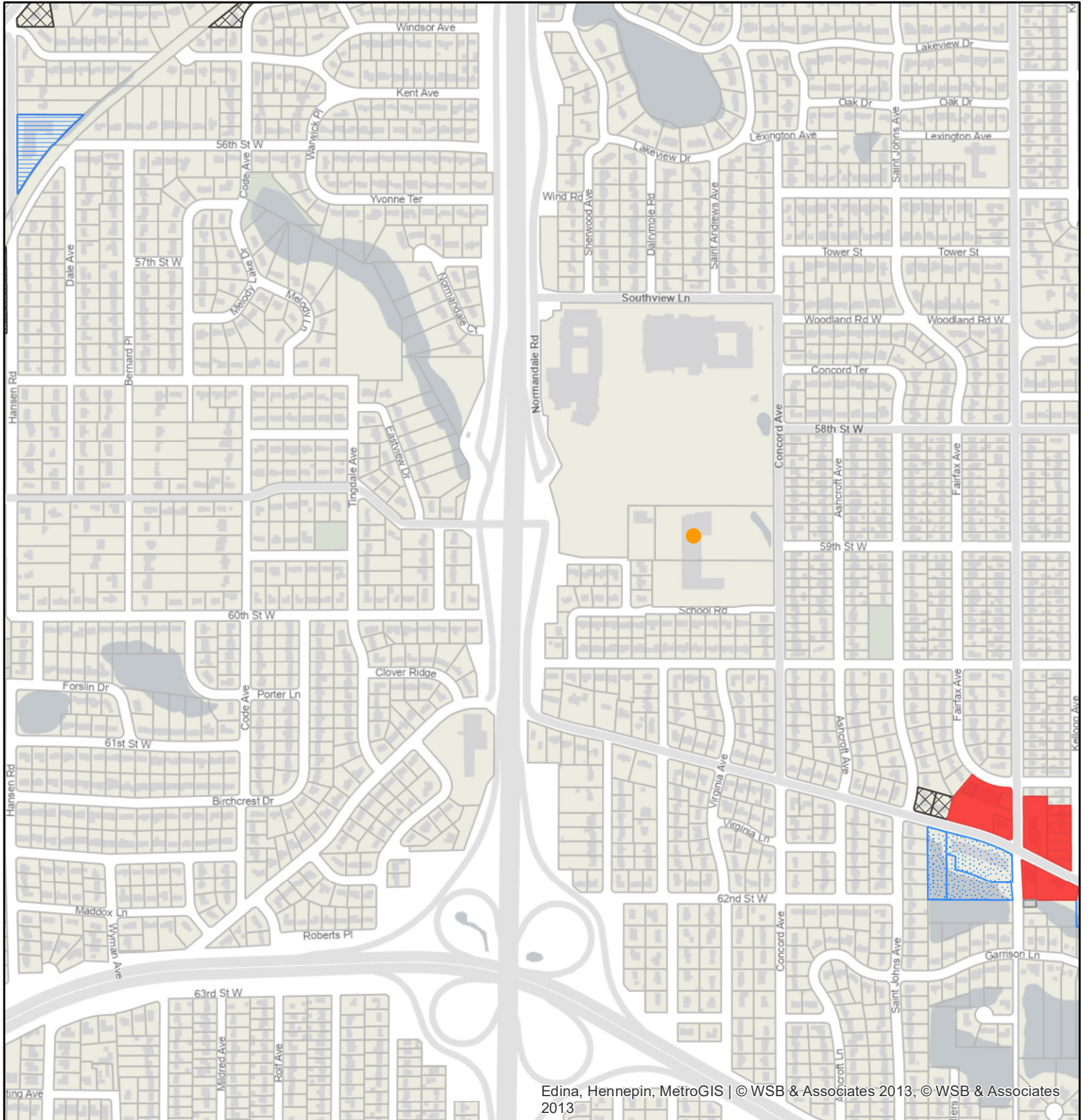


The CITY of  
**EDINA**



June 23, 2022

# Zoning Map (R-1, Single Dwelling Unit District) - 5900 Concord



1 in = 752 ft



The CITY of  
**EDINA**



June 23, 2022