

Agenda
Edina Housing and Redevelopment Authority
City of Edina, Minnesota
City Hall, Council Chambers
Thursday, January 6, 2022
8:15 AM

**Watch the meeting on cable TV or at EdinaMN.gov/LiveMeetings or
[Facebook.com/EdinaMN](https://www.facebook.com/EdinaMN).**

To participate in Community Comment:

Call 800-374-0221.

Enter Conference ID 5491415.

Give the operator your name, street address and telephone number.

Press *1 on your telephone keypad when you would like to get in the queue to speak.

A City staff member will introduce you when it is your turn.

**Or attend the meeting to provide testimony, City Hall Council Chambers, 4801 W.
50th St.**

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance
- IV. Approval of Meeting Agenda
- V. Community Comment

During "Community Comment," the Edina Housing and Redevelopment Authority (HRA) will invite residents to share new issues or concerns that haven't been considered in the past 30 days by the HRA or which aren't slated for future consideration. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on today's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Commissioners to respond to their comments today. Instead the Commissioners might refer the matter to staff for consideration at a future meeting.

- VI. Adoption of Consent Agenda

All agenda items listed on the consent agenda are considered routine and will be enacted by one motion. There will be no separate discussion of such

items unless requested to be removed from the Consent Agenda by a Commissioner of the HRA. In such cases the item will be removed from the Consent Agenda and considered immediately following the adoption of the Consent Agenda. (Favorable rollcall vote of majority of Commissioners present to approve.)

- A. Draft Minutes of Special Meeting December 7, 2021
 - B. Draft Minutes of Regular Meeting December 9, 2021
 - C. Election of Officers
 - D. Appointment of the Executive Director of the HRA
 - E. HRA 2022 Meeting Dates and Location
 - F. Resolution No. 2022-01: Designating Official Newspaper
 - G. Resolution No. 2022-02: Designating Official Depositories
- VII. Reports/Recommendations: (Favorable vote of majority of Commissioners present to approve except where noted)
- A. Approve Resolution 2022-03 Finding that Parcel is Occupied by Substandard Building and Requesting the City Council of the City of Edina call for a Public Hearing on the proposed establishment of the 70th and France Tax Increment Financing District
- VIII. HRA Commissioners' Comments
- IX. Executive Director's Comments
- A. Year in Review- 2021
 - B. By-Law Review
- X. Adjournment

The Edina Housing and Redevelopment Authority wants all participants to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



Edina Housing and Redevelopment
Authority
Established 1974

CITY OF EDINA
HOUSING & REDEVELOPMENT
AUTHORITY
4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: January 6, 2022

Agenda Item #: VI.A.

To: Chair & Commissioners of the Edina HRA

Item Type:
Minutes

From: Liz Olson, Administrative Support Specialist

Item Activity:
Action

Subject: Draft Minutes of Special Meeting December 7, 2021

ACTION REQUESTED:

Approve the special minutes of December 7, 2021.

INTRODUCTION:

See attached meeting minutes of December 7, 2021.

ATTACHMENTS:

12-7-21 Draft Special Minutes

**MINUTES
OF THE REGULAR MEETING OF THE
EDINA HOUSING AND REDEVELOPMENT AUTHORITY
DECEMBER 7, 2021
IMMEDIATELY FOLLOWING THE REGULAR MEETING**

I. CALL TO ORDER

Chair Hovland called the meeting to order at 11:50 p.m. then explained the processes created for public comment.

II. ROLL CALL

Answering rollcall were Commissioners Anderson, Jackson, Pierce, Staunton, and Chair Hovland.

Absent: None.

III. MEETING AGENDA APPROVED AS PRESENTED

Member Staunton made a motion, seconded by Member Anderson, to approve the meeting agenda as presented.

Rollcall:

Ayes: Anderson, Jackson, Pierce, Staunton, Hovland

Motion carried.

IV. PUBLIC HEARINGS - Affidavits of Notice presented and ordered placed on file.

IV.A. RESOLUTION 2021-15; SETTING 2022 HRA TAX LEVY AND ADOPTING THE 2022 BUDGET – ADOPTED

Executive Director Neal said this item pertained to the HRA as a separate taxing authority formed by the City Council in 1974. He said the purpose of the levy was to pay a portion of the administrative expenses and other economic initiatives necessary to operate the HRA. Historically those expenses have been paid using TIF funds and continuing with the plan to reduce the reliance on TIF funds, the levy for 2022 was proposed as a modest increase from \$230,400 in 2021 to \$237,300, or an increase of \$6,900 or 3%. He said HRA adoption of this final levy resolution was required to establish the HRA levy for 2022 and funds would be used to support economic development and affordable housing programs.

Mayor Hovland opened the public hearing at 11:54 p.m.

Public Testimony

No one addressed the Council.

Member Jackson moved to close the public hearing, introduce and adopt Resolution 2021-15 adopting the 2022 budget and establishing the tax levy payable in 2022. Member Pierce seconded the motion.

Roll call:

Ayes: Commissioners Anderson, Jackson, Pierce, Staunton, and Chair Hovland

Motion carried.

V. HRA COMMISSIONERS' COMMENTS – Received

VI. EXECUTIVE DIRECTOR'S COMMENTS – Received

VII. ADJOURNMENT

Motion made by Commissioner Staunton, seconded by Commissioner Anderson, to adjourn the meeting at 11:59 p.m.

Roll call:

Ayes: Anderson, Jackson, Pierce, Staunton, and Hovland

Motion carried.

Respectfully submitted,

Scott Neal, Executive Director



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Date: January 6, 2022

Agenda Item #: VI.B.

To: Chair & Commissioners of the Edina HRA

Item Type:
Minutes

From: Liz Olson, Administrative Support Specialist

Item Activity:
Action

Subject: Draft Minutes of Regular Meeting December 9, 2021

ACTION REQUESTED:

Approve the regular minutes of December 9, 2021.

INTRODUCTION:

See attached meeting minutes of December 9, 2021.

ATTACHMENTS:

12-9-21 Draft Regular Minutes

**MINUTES
OF THE REGULAR MEETING OF THE
EDINA HOUSING AND REDEVELOPMENT AUTHORITY
DECEMBER 9, 2021
7:30 A.M.**

I. CALL TO ORDER

Chair Hovland called the meeting to order at 7:30 a.m. then explained the processes created for public comment.

II. ROLL CALL

Answering roll call were Commissioners Anderson, Jackson, Staunton, and Chair Hovland.

Absent: Commissioner Pierce.

III. PLEDGE OF ALLEGIANCE

IV. MEETING AGENDA APPROVED - AS PRESENTED

Motion by Commissioner Jackson, seconded by Commissioner Anderson, approving the meeting agenda as presented.

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

V. COMMUNITY COMMENT

No one appeared.

VI. CONSENT AGENDA ADOPTED - AS PRESENTED

Member Jackson made a motion, seconded by Member Staunton, approving the consent agenda as presented:

VI.A. Approve minutes of the Regular Meeting November 18, 2021

VI.B. Approve Payment of Claims for Check Register October 2021-November 2021 totaling \$1,471,714.30

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

VII. REPORTS/RECOMMENDATIONS

VII.A. RESOLUTION 2021-14; APPROVING DECERTIFICATION OF THE SOUTHDAL 2 TAX INCREMENT FINANCING DISTRICT – ADOPTED

Economic Development Manager Neuendorf said this item pertained to the Southdale 2 TIF District. He said the District was established in 2012 and was scheduled to terminate in 2021 and the resolution would formally decertify the District. He presented a summary of the redevelopment outcomes achieved with this TIF District that included a massive investment in the City in 2011 as we emerged from the great recession. He said the District encouraged redevelopment, job creation, and reinvestment that focused on the mall and surrounding properties then reviewed economic decline and growth of Southdale Center and how market value decreased by half due to its condition, aging and how that hurt surrounding properties. Mr. Neuendorf shared the 18 massive projects that resulted as part of the District that included new offices, housing, fitness, medical office, restaurants, senior housing, and major expansion at the Galleria, plus many tenant remodels and more to come. He outlined the spending plan approved to use unobligated funds that created jobs, filled financial gaps, and had approximately \$8.6 million available which would expire December 2025. He said

staff recommended decertifying this District at the end of December 2021 and declare a surplus of \$195,000 that would be redistributed to the schools, County, and City.

The Board asked questions and provided feedback.

Member Jackson introduced and moved adoption of Resolution 2021-14 approving the decertification of the Southdale 2 Tax Increment Financing District. Member Anderson seconded the motion.

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

VII.B. 7001 FRANCE AVENUE – PROJECT UPDATE REGARDING TAX INCREMENT FINANCING – RECEIVED

Mr. Neuendorf said this item pertained to the potential use of tax increment financing (TIF) to support redevelopment of the underutilized commercial site at 7001 France Avenue. He said the developer had revised the site plan to better align with the current marketplace and an updated site plan was granted preliminary zoning approvals on November 16, 2021. As discussion with the HRA on August 12, 2021, the use of tax increment financing continued to be an essential part of the project financing, staff had been meeting with the developer to better understand the financing pro forma and the long-term public benefits that could be delivered with the construction of this project. Mr. Neuendorf said staff prepared a general strategy for preliminary review and discussion and that no formal action was required at this time but staff was seeking input regarding the potential use of public financing on this project. He shared revised site plans and how the first project to subdivide the superblock would be done per the new Southdale Design Experience Guidelines for a walkable street grid, public sidewalks, street furniture, art, landscaping and easements and the goal to be the first project to abide by new Sustainability Policy with LEED and ParkSmart, EV chargers, and PV solar energy. He spoke about parking needs would likely change over 50 years but in order to finance a project and put tenants in place parking needs to be available but could include the need for an easement for public use. He outlined the strategy as proposed and said staff would be back next year with a term sheet to get this project in the market and begin work on construction contracts. He summarized the public benefit that included having the first new Class A office building constructed in over 20 years and built in a post-pandemic world and how expectations would likely be different as well as new structured parking for shared use and limited public easement and possible conversion to fee title ownership if parking is no longer needed. He shared other project contributions such as property tax base, park dedication fees, and a housing trust fund then outlined eligible expenses that would total \$20-25 million and summarized that staff was seeking if the Commission was supportive of using TIF to achieve compliance with the Southdale Design Guideline.

The Board asked questions and provided feedback.

VII.C. MOTION TO CLOSE SESSION AS PERMITTED BY MS 13D.05 SUBDIVISION 3 TO DISCUSS THE POTENTIAL SALE OF REAL PROPERTY LOCATED AT 5146 EDEN AVENUE

Mr. Neuendorf said this item pertained to the potential sale of a portion of the vacant property to be used as a restaurant with indoor and outdoor seating. He said the HRA's land broker, Frauenshuh Companies, would update the HRA Board on negotiations with Jester Concepts and that due to the sensitive nature of real estate negotiations, this discussion would take place in a closed session as permitted by Minnesota Statute 13D.05 subdivision 3. No action will take place during this closed meeting.

Motion by Commissioner Staunton, seconded by Commissioner Anderson, to move into closed session to discuss the potential sale of real property at 5146 Eden Avenue as permitted by State Statute.

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

VII.D. MOTION TO MOVE BACK INTO OPEN SESSION

Motion by Commissioner Staunton, seconded by Commissioner Anderson, to move back into open session.

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

VIII. HRA COMMISSIONERS' COMMENTS – Received

IX. EXECUTIVE DIRECTOR'S COMMENTS – Received

X. ADJOURNMENT

Motion made by Commissioner Staunton, seconded by Commissioner Anderson, to adjourn the meeting at 9:36 a.m.

Roll call:

Ayes: Commissioners Anderson, Jackson, Staunton, and Chair Hovland

Motion carried.

Respectfully submitted,

Scott Neal, Executive Director



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Date: January 6, 2022

Agenda Item #: VI.C.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Scott H. Neal, City Manager

Item Activity:
Action

Subject: Election of Officers

ACTION REQUESTED:

Motion to approve the election of officers as stated with, Mayor as Chair, Anderson Vice, Pierce as Secretary of the HRA.

INTRODUCTION:

The by-laws of the HRA provide for the designation of officers. The Chair presides at the meetings and executes all contracts. The Vice Chair steps in during times when the Chair is unavailable. The Secretary co-signs all contracts.



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Date: January 6, 2022

Agenda Item #: VI.D.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Scott H. Neal, City Manager

Item Activity:
Action

Subject: Appointment of the Executive Director of the HRA

ACTION REQUESTED:

Motion to appoint City Manager Scott Neal as Executive Director of the HRA.

INTRODUCTION:

The City Council previously designated me as Executive Director of the HRA. I request the Council affirm this designation with the requested motion. The proposed term of this appointment will be concurrent with my employment as City Manager.



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Date: January 6, 2022

Agenda Item #: VI.E.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Liz Olson, Administrative Support Specialist

Item Activity:
Information

Subject: HRA 2022 Meeting Dates and Location

ACTION REQUESTED:

No action.

INTRODUCTION:

HRA Bylaws requires designation of a fixed place and determination of dates for regular meetings. Meeting location and dates are:

- Most regular meeting location is in the Council Chambers, City Hall, 7:30-9 a.m.
- Meetings dates for 2022 are:
 - January 6 only
 - February 10 only
 - March 3 only
 - April 7 and 28
 - May 19 only
 - June 9 and 30
 - July 21 only
 - August 18 only
 - September 15 only
 - October 13 only
 - November 17 only
 - December 8 only
- Work Session meetings are scheduled as needed and meeting location is the Community Room, City Hall, 7:30-8:15 a.m., generally. The work session adjourns in the Community Room and the regular meeting

begins in the Council Chambers.



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Date: January 6, 2022

Agenda Item #: VI.F.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Liz Olson, Administrative Support Specialist

Item Activity:
Action

Subject: Resolution No. 2022-01: Designating Official
Newspaper

ACTION REQUESTED:

Adopt Resolution No. 2022-01 designating the Edina Sun-Current as the official newspaper for the Housing and Redevelopment Authority (HRA) for 2022.

INTRODUCTION:

Staff recommends Council designate the Edina Sun Current as the official newspaper of the HRA for 2022.

The Sun-Current rates for public notices for 2022 is the same as 2021.

All published public notices are posted on the Sun-Current's website www.current.mnsun.com, at no additional charge.

ATTACHMENTS:

Resolution No. 2022-01: Designating Official Newspaper

RESOLUTION NO. 2022-01
DESIGNATING OFFICIAL NEWSPAPER

BE IT RESOLVED by the Edina Housing & Redevelopment Authority of the City of Edina, Minnesota, that the Edina Sun-Current is hereby designated as the Official Newspaper for the Edina Housing & Redevelopment Authority for the year 2022.

Passed and adopted this 6th day of January 2022.

Attest:_____

James Pierce, Secretary

James B. Hovland, Chair

STATE OF MINNESOTA)
COUNTY OF HENNEPIN) SS
CITY OF EDINA)

CERTIFICATE OF EXECUTIVE DIRECTOR

I, the undersigned duly appointed and acting Executive Director for the Edina Housing & Redevelopment Authority do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina Housing & Redevelopment Authority at its Regular Meeting of January 6, 2022, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____,
_____.

Executive Director



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AUTHORITY

4801 West 50th Street
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Date: January 6, 2022

Agenda Item #: VI.G.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Liz Olson, Administrative Support Specialist

Item Activity:
Action

Subject: Resolution No. 2022-02: Designating Official
Depositories

ACTION REQUESTED:

Adopt Resolution No. 2022-02 designating official depositories for the Housing and Redevelopment Authority (HRA) for 2022.

INTRODUCTION:

See Resolution No. 2022-02 designating official depositories for 2022.

ATTACHMENTS:

Resolution No. 2022-02: Designating Official Depositories

RESOLUTION NO. 2022-02
DESIGNATING OFFICIAL DEPOSITORIES

BE IT RESOLVED, that U.S. Bank, Crown Bank and Tradition Capital Bank, are hereby authorized to do banking business in Minnesota, be and are hereby designated as Official Depositories for the Public Funds of the Edina Housing and Redevelopment Authority, City of Edina, County of Hennepin, Minnesota until January 1, 2023.

Dated: January 6, 2022

Attest: _____

James Pierce, Secretary

James B. Hovland, Chair

STATE OF MINNESOTA)
COUNTY OF HENNEPIN) SS
CITY OF EDINA)

CERTIFICATE OF EXECUTIVE DIRECTOR

I, the undersigned duly appointed and acting Executive Director for the Edina Housing and Redevelopment Authority do hereby certify that the attached and foregoing Resolution was duly adopted by the Edina Housing and Redevelopment Authority at its Regular Meeting of January 6, 2022, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____,
_____.

Executive Director



Edina Housing and Redevelopment
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4801 West 50th Street
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Date: January 6, 2022

Agenda Item #: VII.A.

To: Chair & Commissioners of the Edina HRA

Item Type:

Report / Recommendation, Request For
Purchase

From: Bill Neuendorf, Economic Development Manager

Item Activity:

Subject: Approve Resolution 2022-03 Finding that Parcel is
Occupied by Substandard Building and Requesting
the City Council of the City of Edina call for a Public
Hearing on the proposed establishment of the 70th
and France Tax Increment Financing District

Action

ACTION REQUESTED:

Approve Resolution 2022-03 Finding that parcel is occupied by substandard building and requesting the City Council of the City of Edina call for a Public Hearing on the proposed establishment of the 70th and France Tax Increment Financing District.

INTRODUCTION:

This item pertains to the potential use of Tax Increment Financing (TIF) to support full redevelopment of property located at 7001-7025 France Avenue.

The site has been inspected by Braun Intertec and found to meet the thresholds established in Minnesota TIF statutes to be considered a Renewal and Renovation TIF District.

The developer has secured preliminary zoning approval to redevelop the commercial site with a combination of commercial and residential uses. This proposal includes a private investment of approximately \$249 million.

The developer has requested that the City consider issuing TIF Note(s) in order to make this project financially viable. Staff is currently negotiating the general terms by which TIF can be considered for this project. That Term Sheet will be presented to the HRA before a final decision is made regarding the establishment of a new TIF District.

The HRA legal advisors have prepared this Resolution to recognize that the parcel is eligible for inclusion in a new

TIF District. This Resolution also recommends that the City Council schedule a future Public Hearing to consider the new TIF District.

Staff recommends that this Resolution be approved.

ATTACHMENTS:

Staff Report

Resolution 2022-03

Braun Intertec condition report



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Resolution 2022-03

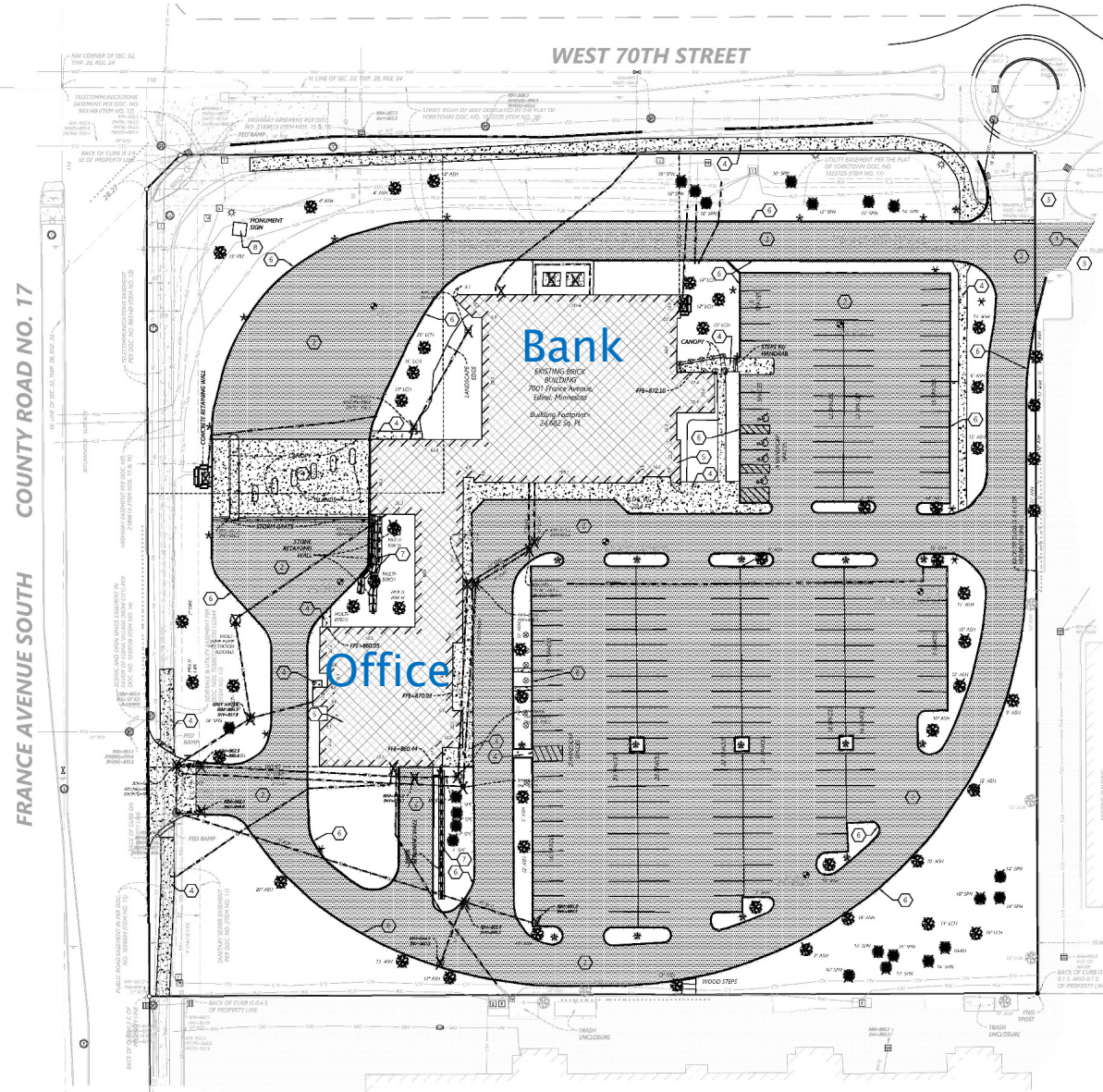
Finding that 700I France is Occupied by
Substandard Building and Requesting Public
Hearing for Consideration of new TIF District

Project Update to:
Edina Housing & Redevelopment Authority
January 6, 2022

Recognize TIF-eligible site conditions



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Recognize TIF-eligible site conditions



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Summary of findings were as follows:

US Bank Branch at 7001 France Avenue South

Replacement cost estimate	\$10,780,000
Repair cost estimate	\$1,003,900
Percentage	9.3%

Deficiencies at 7001 France Ave S included roof and insulation per Energy Code, exterior repairs, boiler replacement and related controls, elevator replacement, ADA rest rooms, sprinkler piping and firestopping, asbestos remediation during repairs, and non-compliant stairs and entry walks. Please also see the attached photos, which illustrate.

Office Building at 7025 France Avenue South

Replacement cost estimate	\$4,620,000
Repair cost estimate	\$876,500
Percentage	19.0%

Deficiencies at 7025 France Avenue South included roof and insulation per Energy Code, exterior repairs, boiler replacement and related controls, elevator controls, ADA rest rooms, sprinkler piping and firestopping, asbestos remediation during repairs, and non-compliant entry walks. Also see the attached photos, which illustrate.

To meet the criteria, there is a “blight test”, as detailed in the Minnesota Statute Section 469.174, Subdivision 10 and Subdivision 10a (Minnesota Statute.) Our findings are summarized as follows:

Blight Criterion	Redevelopment District (Subdivision 10)	Renewal and Renovation District (Subdivision 10a)
Coverage tests	Meets	Meets
Substandard buildings	Does not meet	Meets
Obsolete building, incompatible land use, etc.	Not applicable	Meets
Summary finding	Does not meet	Meets

Please see the following report for details of the above findings.

Based on our observations and interviews, we found the subject property in need of numerous substantial repairs and remodeling, including structural, light and ventilation, plumbing, electrical, access, and fire protection issues. In our professional opinion, the property meets the requirements for Renewal and Renovation of Minnesota Statute 469.174, Subdivision 10a.

BRAUN
INTERTEC

Public process for TIF District



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MN Statute requires multi-step process to consider a new TIF District

- HRA calls for Public Hearing
- City Council schedules Public Hearing
- Staff notifies taxing authorities
- Staff notifies general public
- City Council holds Public Hearing – tentatively March 1st
- City Council takes action – tentatively March 15th

Redevelopment Overview



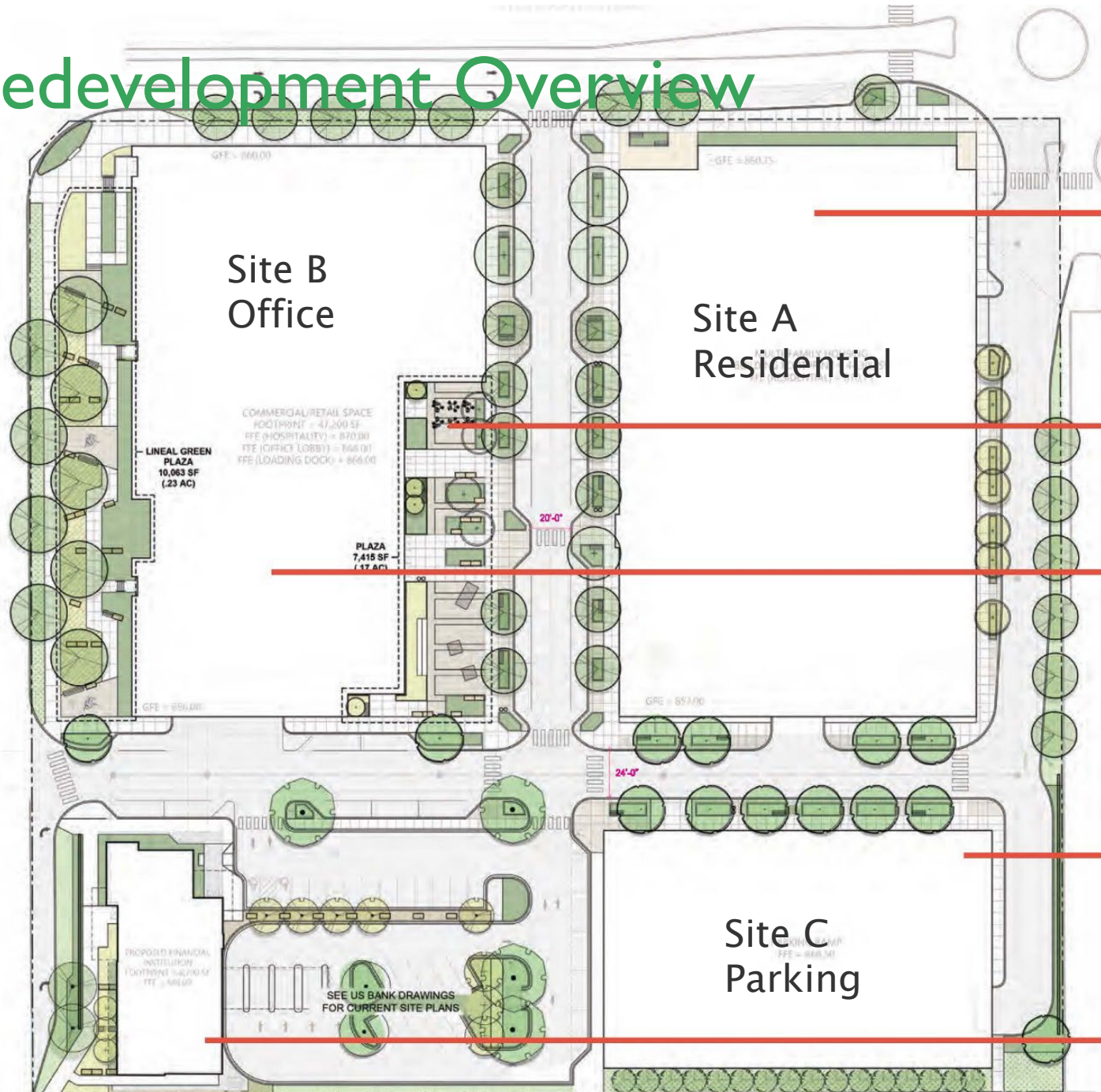
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Redevelopment Overview



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SITE A
~490,000 GROSS SF
~267 DWELLING UNITS
317 RESIDENTIAL PARKING STALLS
127 COMMERCIAL PARKING STALLS

PLAZA & POCKET PARK
~7,500 SF

SITE B
~275,000 GROSS SF
~165,000 SF OFFICE
~35,000 SF COMMERCIAL OFFICE
128 BELOW GRADE PARKING STALLS

SITE C
~170,000 GROSS SF
~1,300 SF BICYCLE FACILITY
540 PARKING STALLS

SITE D - US BANK (PHASE 1)
- SITE PLAN APPROVED

Redevelopment Overview



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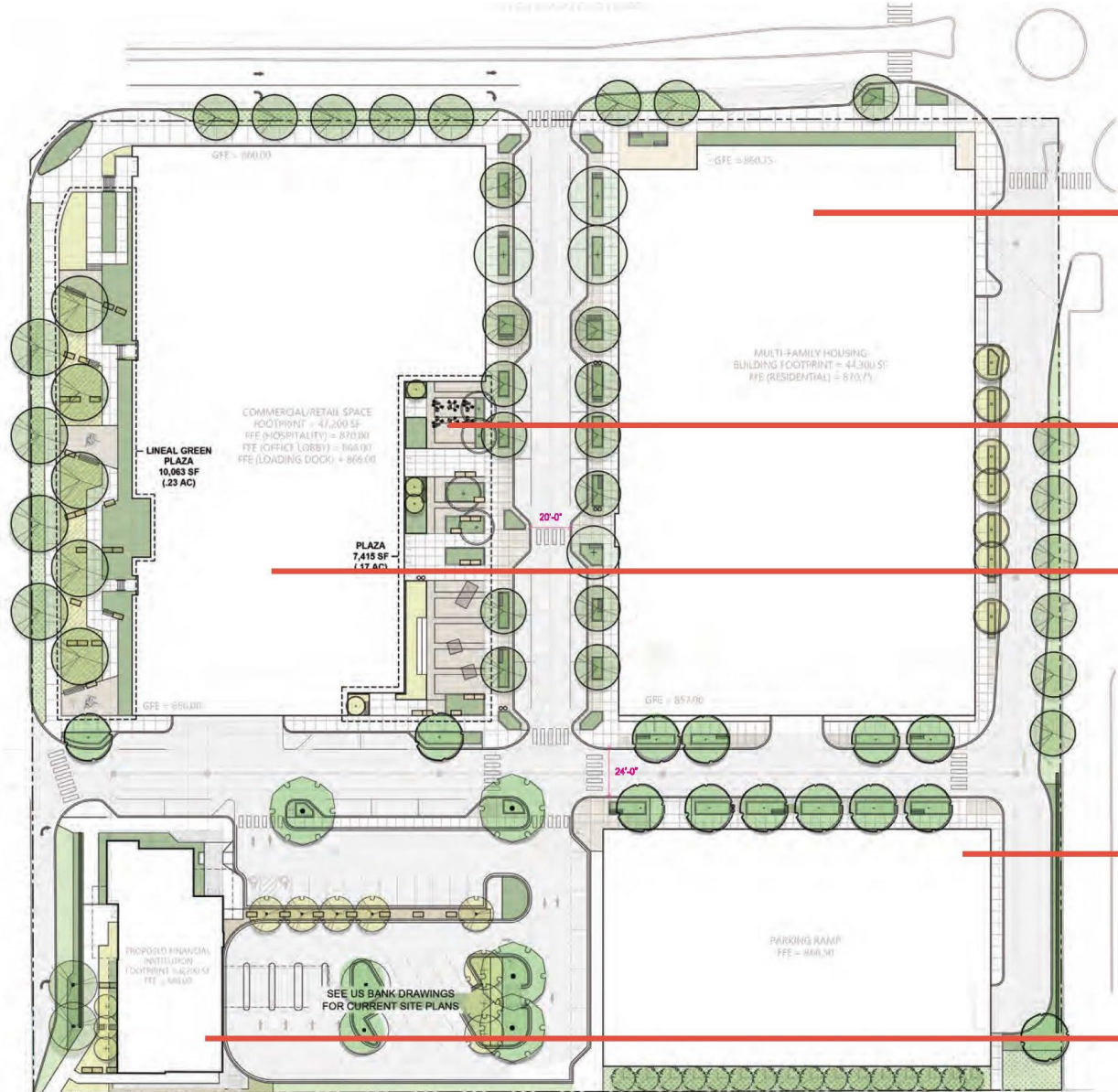
- **FIRST** project to subdivide superblock
 - walkable street grid
 - public easements on private roads and sidewalks
 - public street furniture
 - public art
 - public landscaping

- **FIRST** project to abide by new Sustainability Policy
 - LEED and ParkSmart certified
 - EV chargers installed
 - PV solar energy installed

Public Benefits – Public Realm



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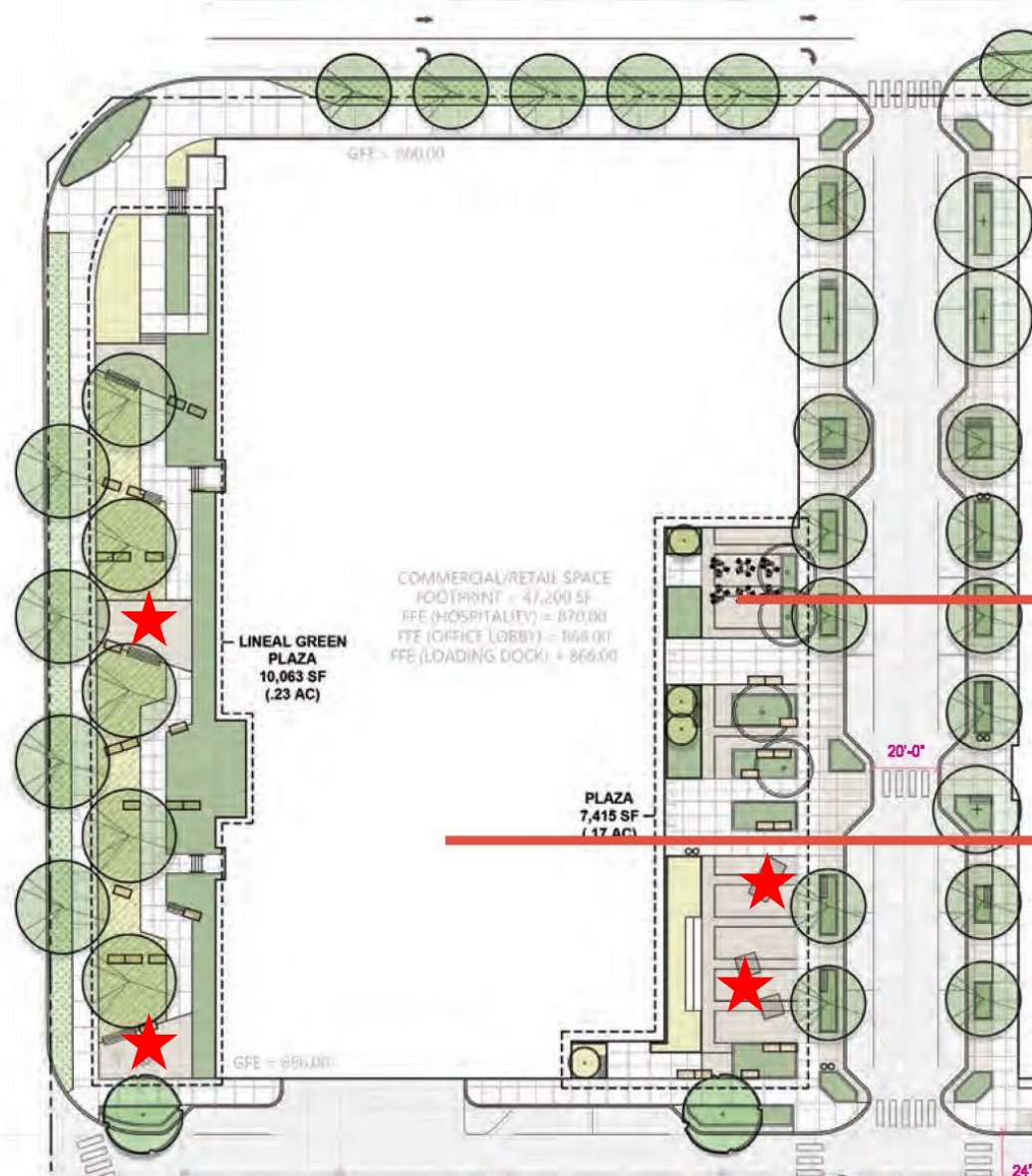


- Interior private roadways: Ewing, Drew and 71st
- Streetscape, sidewalks, landscaping along 70th St and France Ave
- Streetscape, sidewalks, landscaping and on-street parking along interior roadways
- Public plaza at 71st and Ewing
- Public art along France Ave & public plaza
- Permanent public easements
- Privately owned, privately maintained

Public Benefits – Public Art



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- Two public art sculptures along France Ave.
- Two public art sculptures in interior plaza
- Public easement to remain on site
- Privately owned
- Privately maintained
- Selected with community input

Redevelopment Overview



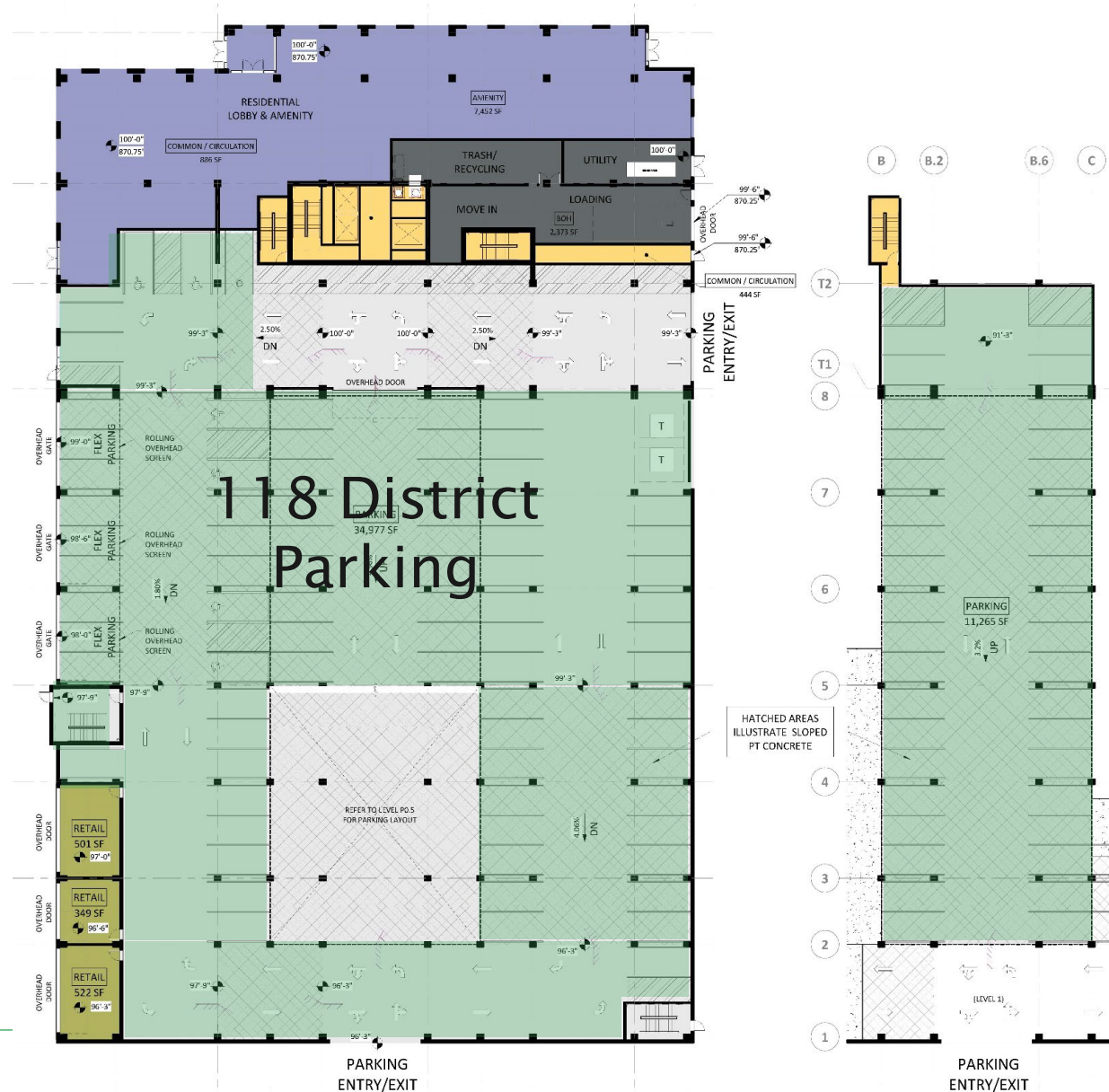
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- **FIRST** new office building in 20+ years
 - Class A
 - post-pandemic design
 - attract new tenants and new employees
 - job creation
- **NEW** structured parking for shared use
 - public easement (24/7 use)
 - public easement (nights & weekend use)
 - conversion to fee title ownership at end of useful life if no longer needed
- **Other Contributions**
 - property tax base
 - park dedication fees
 - housing trust fund

Public Benefits – Site A District Parking



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Available:
24 / 7 / 365

Reasonable time
limits and
restrictions

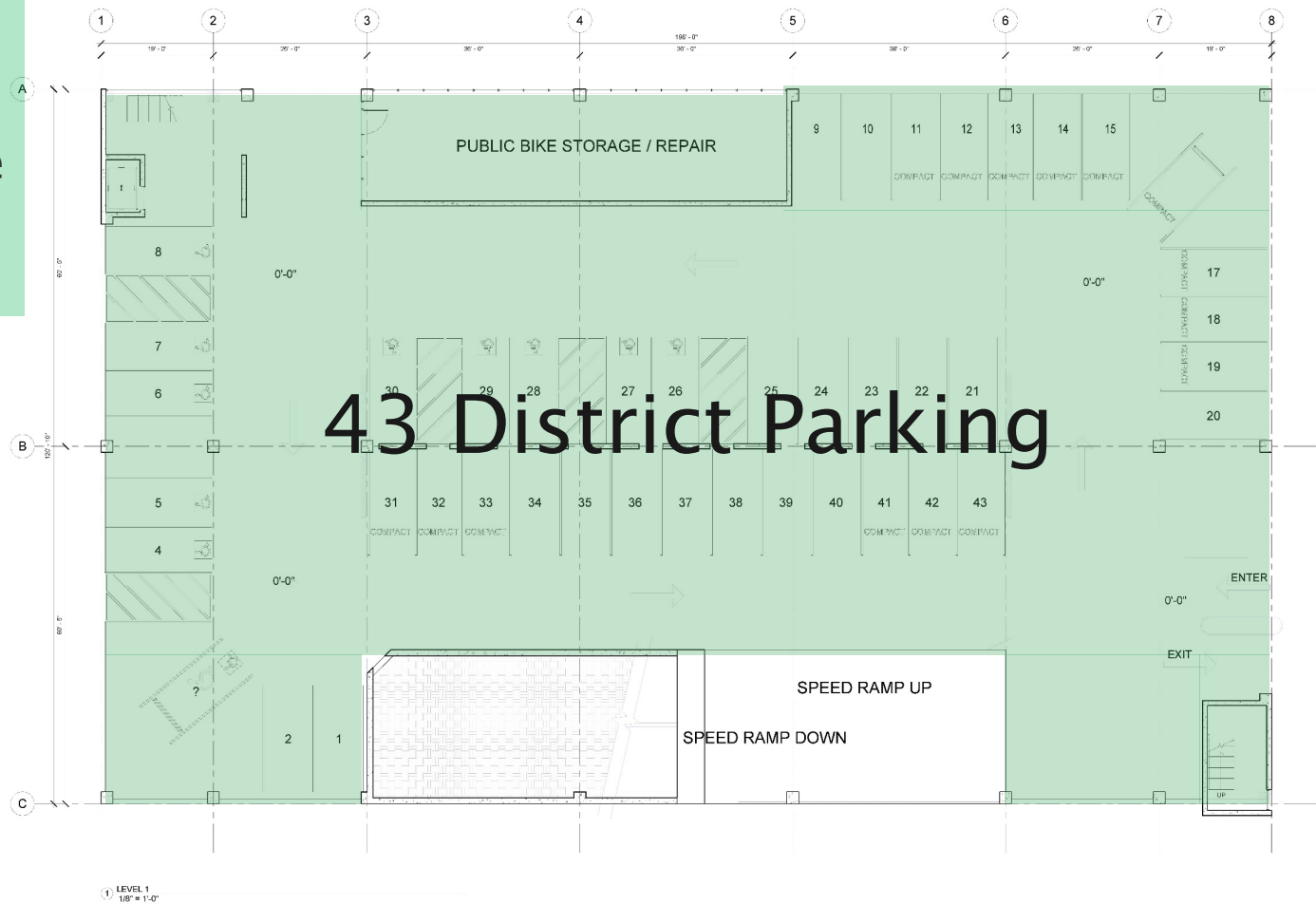
Public Benefits – Site C District Parking



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Available:
24 / 7 / 365

Reasonable time
limits and
restrictions



REVISIONS
NO. DATE DESCRIPTION

The City of Edina, Minnesota, is not responsible for the design, construction, or operation of this project. The City of Edina, Minnesota, is not responsible for the design, construction, or operation of this project.

Signed:

Name:

License No.:

phase PRELIMINARY DEV / PUD
date 9/13/2021
PDC MEB
drawn by SA
project number 21-008
project name

70th & FRANCE

FLOOR PLANS

A100

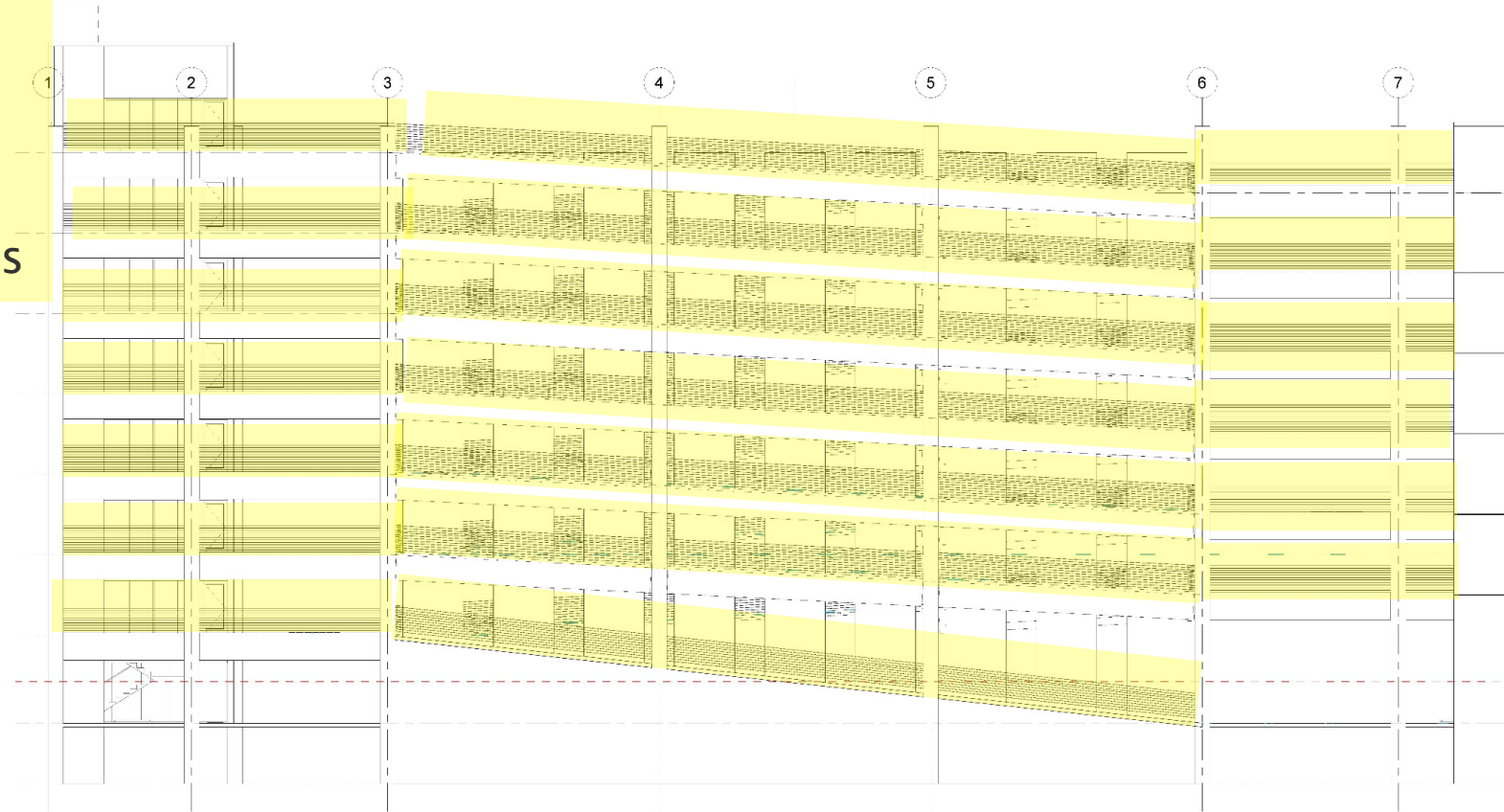
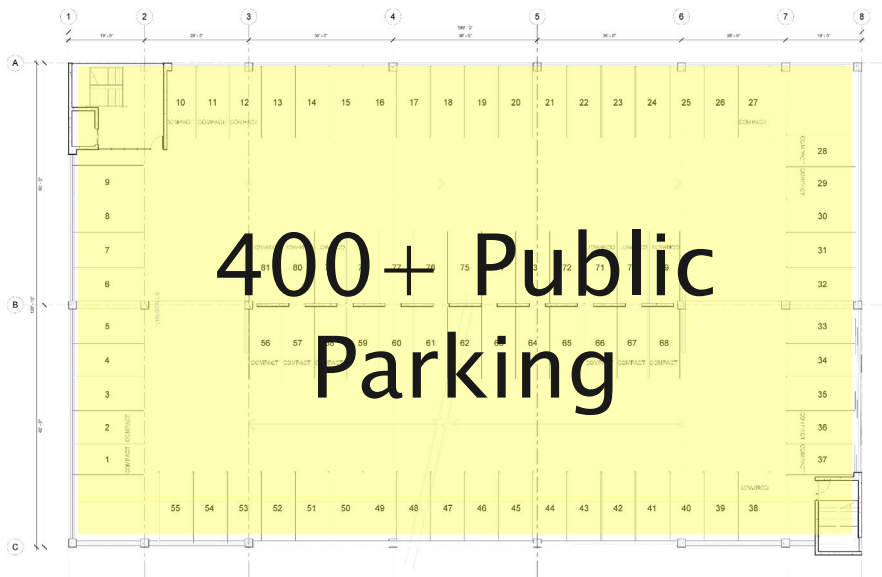
Public Benefits – Site C Public Parking



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Available:
M–F late afternoon, evenings & nights
Sat, Sun all day
Holidays all day

Reasonable time limits and restrictions



East–West Cross Section

Anticipated Financing Strategy

- TIF eligible expenses considered for reimbursement



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Description of Work		Approx Cost
1	Demolition of obsolete buildings	TBD
2	Remediation of contamination	TBD
3	Site improvements to achieve 4 pad layout	TBD
4	Public plaza	TBD
5	Public parking	TBD
6	Professional costs related to TIF agreement	TBD
Total NTE \$22.0 M		

Anticipated Financing Strategy

- Expenses NOT eligible for TIF reimbursement



The CITY of
EDINA

Description of In-eligible Work

A	Private (executive) parking for office building
B	Private (residential) parking for residential high rise
C	Construction costs of office building
D	Construction costs of luxury high rise
E	Design & other soft costs of private buildings
F	Any costs of the single-story bank

no
TIF
used for
these items

Summary & Recommendation



The CITY of
EDINA

- 1) Staff generally supportive of using TIF to achieve compliance with Southdale Design Guidelines and to encourage vibrant mixed-use development
- 2) Staff recommends that the Braun Intertec report be recognized to confirm that the existing buildings qualify as a potential TIF District.
- 3) Staff recommends beginning the public review process required for consideration of a new TIF District
- 4) **Staff recommends that Resolution 2022-03 be approved.**



RESOLUTION NO. 2022-03

FINDING THAT PARCEL IS OCCUPIED BY SUBSTANDARD BUILDING AND REQUESTING THE CITY COUNCIL OF THE CITY OF EDINA CALL FOR A PUBLIC HEARING ON THE PROPOSED ESTABLISHMENT OF THE 70TH AND FRANCE TAX INCREMENT FINANCING DISTRICT (A RENEWAL AND RENOVATION DISTRICT)

WHEREAS, the Board of Commissioners (the “Board”) of the Edina Housing and Redevelopment Authority (the “HRA”) and City Council (“Council”) of the City of Edina, Minnesota (“City”) previously established the Southeast Edina Redevelopment Project Area pursuant to Minnesota Statutes, Sections 469.001 through 469.047, inclusive, as amended, in an effort to encourage the development and redevelopment of certain designated areas within the City; and

WHEREAS, under Minnesota Statutes, Section 469.174, Subd. 10(d), the HRA is authorized to deem parcels as occupied by structurally substandard buildings located on certain designated property despite prior demolition or removal of the buildings and may in the future include the designated property in a renewal and renovation tax increment financing district as defined in Minnesota Statutes, Section 469.174, Subd. 10(a); and

WHEREAS, the HRA has engaged Braun Intertec to inspect two tax parcels located in the City at 7001 France Avenue South consisting of PID #s 32-028-24-22-0001 and 32-028-24-22-0003 (together, the “Designated Property”) and the buildings located thereon, and has received a report entitled “Proposed TIF Redevelopment District plus Renewal and Renovation District – US Bank Branch and Office Building” dated February 12, 2021 (the “Inspection Report”) as to the property and condition of the buildings; and

WHEREAS, a copy of the Inspection Report has been presented to and reviewed by the Board and it is expected that at least one of the buildings located on the Designated Property will be demolished and removed prior to the creation of the 70th and France Tax Increment Financing District (the “TIF District”) and the cost of such demolition and removal will be financed under an agreement with the HRA; and

WHEREAS, the HRA is proposing the modification to the Redevelopment Plan for the Southeast Edina Redevelopment Project Area (“Redevelopment Plan Modification”) to include the establishment of the 70th and France TIF District and adoption of a Tax Increment Financing Plan therefor (the Redevelopment Plan Modification and Tax Increment Financing Plan are referred to collectively herein as the “Plans”), all pursuant to and in accordance with Minnesota Statutes, Sections 469.174 through 469.1794 and Sections 469.001 to 469.047, inclusive, as amended; and

NOW, THEREFORE BE IT RESOLVED by the Board as follows:

- I. Based on the Inspection Report, the HRA hereby finds that:
 - a. One of the buildings located on the Designated Property is structurally substandard within the meaning of Minnesota Statutes, Section 469.174, Subd. 10(b), since it contains defects in structural elements or a combination of deficiencies in essential utilities and facilities, light and ventilation, fire protection including adequate egress, layout and condition of interior partitions, or similar factors, which defects or deficiencies are of sufficient total significance to justify substantial renovation or clearance; and

- b. The building is not in compliance with the building code applicable to new buildings and could not be modified to satisfy the building code at a cost of less than 15% of the cost of constructing a new structure of the same square footage and type on the Designated Property; and
 - c. The other building located on the Designated Property requires substantial renovation or clearance to remove one or more existing qualifying conditions such as: inadequate street layout, incompatible uses or land use relationships, overcrowding of buildings on the land, excessive dwelling unit density, obsolete buildings not suitable for improvement or conversion, or other identified hazards to the health, safety, and general well-being of the community; and
 - d. More than 15% of the area of each of the two tax parcels included in the Designated Property contains buildings, streets, utilities, paved or gravel parking lots, or similar structures.
 - e. In making the findings under (a), (b) (c) and (d) above the HRA is relying on the Inspection Report.
2. The HRA hereby requests that the City Council call for a public hearing on March 1, 2022, to consider the proposed Plans and cause notice of said public hearing to be given as required by law.
 2. The HRA directs the Executive Director to transmit copies of the Plans to the Planning Commission of the City and requests the Planning Commission's written opinion indicating whether the proposed Plans are in accordance with the Comprehensive Plan of the City, prior to the date of the public hearing.
 3. The Executive Director of the HRA is hereby directed to submit a copy of the Plans to the Council for its approval.
 4. The HRA affirms the transmission of the Plans to Hennepin County and Independent School District No. 273 in which the Southeast Edina Redevelopment Project Area is located no later than January 28, 2022.
 5. Staff and consultants are authorized and directed to take all steps necessary to prepare the Plans and related documents and to undertake other actions necessary to bring the Plans before the Council.

Approved by the Board on January 6, 2022.

ATTEST:

James B. Hovland, Chair

James Pierce, Secretary

STATE OF MINNESOTA)
COUNTY OF HENNEPIN) SS
CITY OF EDINA)

CERTIFICATE OF EXECUTIVE DIRECTOR

I, the undersigned duly appointed and acting Executive Director for the Edina Housing and Redevelopment Authority do hereby certify that the attached and foregoing Resolution is a true and correct copy of the Resolution duly adopted by the Edina Housing and Redevelopment Authority at its Regular Meeting of January 6, 2022, and as recorded in the Minutes of said Regular Meeting.

WITNESS my hand and seal of said City this _____ day of _____, 20____.

Executive Director



Baseline: Property Condition Assessment

Proposed TIF Redevelopment District plus Renewal and Renovation District
US Bank Branch and Office Building
7001 and 7025 France Avenue South
Edina, Minnesota

Prepared for:

City of Edina

February 12, 2021

Project B2010638

Mr. Bill Neuendorf
City of Edina
7450 Metro Blvd.
Edina, MN 55438

Re: Report of Inspection and Findings
Proposed TIF Redevelopment District plus Renewal and Renovation District
US Bank Branch and Office Building
7001 and 7025 France Avenue South
Edina, Minnesota

Dear Mr. Neuendorf:

In accordance with your written authorization, Braun Intertec Corporation has conducted an inspection of the US Bank Branch and Office Building for a TIF Redevelopment District and a Renewal District in accordance with Minnesota Statute 469.174 Subd 10, and Subd 10a, Renewal and Renovation District. The inspection was performed in general conformance with the scope and limitations of ASTM Standard E 2018-15, "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process."

This Property Condition Assessment has been prepared on behalf of and for use by the City of Edina and its attorneys. No other party has a right to relay in the contents of this report without the written authorization of Braun Intertec.

We appreciate the opportunity to provide our professional services for this project. If you have any questions regarding this letter or the attached report, please contact Chuck Brenner at 612.685.0108.

Sincerely,

BRAUN INTERTEC CORPORATION



Charles R. Brenner PE, LEED AP
Observer and Reviewer



William Minnehan, Architect
Reviewer

Attachment:
Report
AA/EOE

US Bank Branch and Office Building 7001 and 7025 France Avenue South, Edina, MN

Executive Summary

Braun Intertec Corporation has conducted an inspection and assessment of a proposed Renewal and Renovation Tax Increment Financing (TIF District) to be established in the City of Edina, Minnesota. The subject district is the US Bank Branch at 7001 France Avenue South, plus the adjacent office building at 7025 France Avenue South. The proposed new construction is described in the report and appendices within, and would involve razing the two structures and replacing them with four new ones, including commercial/retail, multi-family housing, senior housing, and a bank branch.

Our work included assessing the parcels and buildings as detailed in the attached report. The bank building was originally constructed as the independent First Southdale National Bank in 1975. The adjacent office building was constructed for multiple tenants in 1982. First Southdale National bank was merged into First Bank in 1987, and US Bank National Association in 2001. The site was subsequently operated as a branch bank and an office building.

To meet the criteria, there is a “blight test”, as detailed in the Minnesota Statute Section 469.174, Subdivision 10 and Subdivision 10a (Minnesota Statute.) Our findings are summarized as follows:

Blight Criterion	Redevelopment District (Subdivision 10)	Renewal and Renovation District (Subdivision 10a)
Coverage tests	Meets	Meets
Substandard buildings	Does not meet	Meets
Obsolete building, incompatible land use, etc.	Not applicable	Meets
Summary finding	Does not meet	Meets

Please see the following report for details of the above findings.

Based on our observations and interviews, we found the subject property in need of numerous substantial repairs and remodeling, including structural, light and ventilation, plumbing, electrical, access, and fire protection issues. In our professional opinion, the property meets the requirements for Renewal and Renovation of Minnesota Statute 469.174, Subdivision 10a.

Minnesota Statute 469.174 Subdivision 10 (Redevelopment District) and Subdivision 10a (Renewal and Renovation District) Inspection and Findings

Please see the attached Minnesota Statutes 469.174, Subdivision 10 (Redevelopment District) and Subdivision 10a, (Renewal and Renovation District) copied from the State of Minnesota website. Based on our inspection, we have the following findings and professional opinions.

Background

US Bank Branch: The bank was originally constructed for the independent First Southdale National Bank in 1975. It has three stories and has masonry veneer walls, plus a drive-in bank canopy. First Southdale National bank was merged into First Bank in 1987, and US Bank National Association in 2001. Our observation and interviews indicated the bank building was in operation, but approximately half occupied, with vacant offices, workstation spaces, and storage areas.

Office Building: The office building was constructed in 1982. Plans indicate multiple tenants; initially Computerland and Walker & Company, with an interior design firm and Edina Urgent Care in recent years. These tenants have vacated. US Bank occupied a few offices on the upper floor, but was in process of moving out, which will result in the building being fully vacant.

General: Based on our observations and interviews, we judge that although the buildings are physically connected, they would be considered separate structures. They were designed and constructed for separate purposes of banking and general office, for different tenants, in 1975 and 1982, respectively. Each has separate addresses as previously noted, and each has separate entrances. The buildings' foundations were separately constructed. Each has separate major systems such as electrical, elevators, HVAC, etc. We judge that each building could be made to stand alone should the other be removed.

Proposed Renewal and Renovation: Please see the attached Mortenson Development site and building plans. The current bank and office buildings would need to be razed to accommodate the four planned replacement buildings. The current two parcels would be re-platted for four new lots. These would be built out as follows:

- Lot 1 Commercial/Grocery/Retail
- Lot 2 Multi-family housing
- Lot 3 Senior housing
- Lot 4 Bank branch with drive through

Plus site utilities, drives, parking lots, and sidewalks throughout.

We understand the bank is planned to be constructed first, with the other buildings to follow. We further understand the City might not include Lot 3 (senior housing) in the proposed Renewal and Redevelopment district. The future Lot 3 is presently a surface parking lot for the subject bank and office building, so we do not see inclusion or exclusion of the future Lot 3 impacting this analysis.

Interior and Exterior Inspection

The Minnesota Statute requires the municipality to make an interior and exterior inspection. Braun Intertec made such inspections between December 1 and 15, 2020. Please see the following text and appendices for more details.

Coverage Tests (Subdivision 10 and Subdivision 10a)

The subject Subdivisions 10 and 10a require that 70 percent of the district must be occupied parcels. A parcel is not occupied unless 15 percent of the area contains buildings, parking lots, streets, utilities, or other similar structures, and 70 percent of the district must be occupied by such parcels.

The proposed district has a total of two parcels, and each are fully occupied, for a total of 100 percent occupied. This meets the 70 percent requirement of the statute.

Condition of Buildings Test

The Subdivision 10 requires more than 50 percent of the buildings are structurally substandard to a degree requiring substantial renovation or clearance. It further provides a threshold of repairs to meet the building code at 15 percent of the cost of a new structure of the same size and type.

Subdivision 10a requires 20 percent of the buildings are structurally substandard to a degree requiring substantial renovation or clearance, with the same threshold 15 percent cost.

Inspection and Replacement Cost: As previously noted, we made an interior and exterior inspection of the property, noting numerous items in need of repair or replacement. We used RS Means database information and US Bank plans and records, plus conferred with Horwitz Inc. (HVAC specialist), Schindler Elevator Company, and our staff which are engaged in architecture and construction. We estimated replacement costs for the 7001 US Bank branch and the 7025 office building. These are tabulated in detail on the attached Physical Needs and Repair Estimate spreadsheets.

Summary of findings were as follows:

US Bank Branch at 7001 France Avenue South

Replacement cost estimate	\$10,780,000
Repair cost estimate	\$1,003,900
Percentage	9.3%

Deficiencies at 7001 France Ave S included roof and insulation per Energy Code, exterior repairs, boiler replacement and related controls, elevator replacement, ADA rest rooms, sprinkler piping and firestopping, asbestos remediation during repairs, and non-compliant stairs and entry walks. Please also see the attached photos, which illustrate.

Office Building at 7025 France Avenue South

Replacement cost estimate	\$4,620,000
Repair cost estimate	\$876,500
Percentage	19.0%

Deficiencies at 7025 France Avenue South included roof and insulation per Energy Code, exterior repairs, boiler replacement and related controls, elevator controls, ADA rest rooms, sprinkler piping and firestopping, asbestos remediation during repairs, and non-compliant entry walks. Also see the attached photos, which illustrate.

Structural Deficiency Per Statute Criterion

Based on the above analysis, 50 percent of the buildings on the property are structurally deficient per the criterion of the Minnesota Statute.

Redevelopment Subdivision 10 criterion is more than 50 percent of the buildings are structurally deficient. This property does not meet this criterion.

Renewal and Renovation Subdivision 10a criterion is 20 percent of the buildings are structurally deficient. This property meets this criterion.

Distribution of Substandard Buildings

The property contains two buildings, of which one (the office building) is structurally deficient. The proposed district would have 50 percent structurally deficient buildings, and this building is reasonably distributed on the site.

Obsolete or Incompatible Land Use

The subject US Bank Branch is reminiscent of Braun Intertec's previous assessment of the former American Bank in Saint Paul, Minnesota which has since been razed. That is, it is a formerly independent bank, with a large structure designed to accommodate its senior management and back office functions. However, once merged into a larger bank, upper management would be located elsewhere, and likewise back office functions and storage would also be offsite. Our observation was numerous vacant offices and storage spaces in the subject US Bank building.

Banking has seen many other changes since the construction of this bank in 1975. At that time, the two-story lobby with many teller windows was a necessity for large volumes of walk-up customers. Direct deposit and automated teller machines have greatly reduced such banking. Similarly, the safe deposit box vault with 12 key rooms was desirable in 1975, but interviews indicated safe deposit box rentals and access are much diminished, now that title insurance has largely replaced abstracts of title, and stock and other financial transactions are conducted online without physical certificates.

We judge the subject US Bank building has many features specific to banking in its original time, which have since become obsolete. These specific features, the general layout, and access make renovation and reuse expensive and problematic. Hennepin County records indicate the assessed value of the property has substantially declined since its last sale, and US Bank has substantially deferred maintenance on the bank building, as it is a "white elephant" compared to smaller and more modern branch banks.

The office building is of more general usage, so we judge it would not be considered obsolete. However, as previously noted, the office building has substantial deferred maintenance in need of repair.

Finding

Based on our inspection and related cost estimates as noted above, our professional opinion is the current property with the US Bank Branch (7001 France Avenue South) and the office building (7025 France Avenue South) does not meet the requirement for a Redevelopment Tax Increment Financing (TIF) District under Minnesota Statute 469.174, Subdivision 10, due to not having more than 50 percent structurally deficient buildings.

Based on our inspection and related cost estimates as noted above, our professional opinion is the site meets the requirement for a Renewal and Renovation Tax Increment Financing (TIF) District under Minnesota Statute 469.174, Subdivision 10a, as it meets the criteria for coverage, structurally deficient buildings, and obsolete buildings.

Attachments:

- Appendix A Repair Estimate, Photo Exhibit, Drawings, for 7001 France Ave S
- Appendix B Repair Estimate, Photo Exhibit, Drawings, for 7025 France Ave S
- Appendix C Hennepin County Property Data
- Appendix D Mortenson Development Drawings
- Appendix E Excerpts from Minnesota Statutes 469.174

Appendix A

Repair Estimate, Photo Exhibit, Drawings, for 7001 France Ave. S.

Physical Needs and Repair Cost Estimate for TIF Study

Date	2/12/2021
------	-----------

Client	City of Edina
	Mr. Bill Neuendorf
	4801 W. 50th Street
	Edina, MN 55424
Number	B20 10638

Replacement Value 44,000 SF @ \$240/SF + 3,600 SF @ \$50/SF \$10,780,000

Repair Cost as a Percentage of Replacement 9.3%

Property	US Bank Branch
Project	TIF District Assessment
Location	7001 France Avenue South, Edina, MN

Item to be Repaired	Quantity	Units	Unit Cost \$	Extended \$	Comment
Structural Elements, Lighting & Ventilation, Fire Protection Interior Utilities per MN Statute					
Roof and Roof Framing Elements					
Replace 7001 main roof and add insulation per Energy Code	13,250	SF	12	\$159,000	
Support Walls					
Selective foundation repairs and waterproofing	1,000	SF	\$4	\$4,000	
Selective tuck pointing	500	LF	\$25	\$12,500	
Selective sealant replacements	500	LF	\$12	\$6,000	
Light and Ventilation - Windows and Storefronts					
Selective sealant replacements	300	LF	\$12	\$3,600	
Light and Ventilation - HVAC					
Asbestos abatement	1	Each	\$5,000	\$5,000	
Remove 1975 back-up boiler	1	Each	\$20,000	\$20,000	
Replace 1975 boiler	1	Each	\$160,000	\$160,000	
Electronic thermostats in 20 zones	20	Each	\$1,500	\$30,000	
Selective piping replacements	500	LF	\$80	\$40,000	
Interior Utilities - Electrical					
Replace Elevator 2 machine and controls, refurbish cab	1	Each	\$125,000	\$125,000	
Interior Utilities - Plumbing					
Repair and expand rest rooms per Americans with Disabilities Act (ADA)	6	Each	\$35,300	\$211,800	
Fire Protection					
Selectively replace sprinkler piping	1,000	LF	\$20	\$20,000	
Review and repair firestopping at penetrations	100	Each	\$300	\$30,000	
Asbestos Remediation During Repairs					
Remediate non-mechanical ACMS	1	Each	\$100,000	\$100,000	
Other Needed Code Repairs					
Reconstruct non-compliant stairs at East stair tower	1	Each	\$58,000	\$58,000	
Replace entry sidewalks to comply with ADA and correct tripping hazards	200	SY	\$70	\$14,000	
ADA survey and signage allowance	1	Each	\$5,000	\$5,000	
			Total	1,003,900	



Photograph 1

South Elevation and Accessible Entrance



Photograph 2

East Elevation



Photograph 3

North Elevation and Mechanical Enclosure



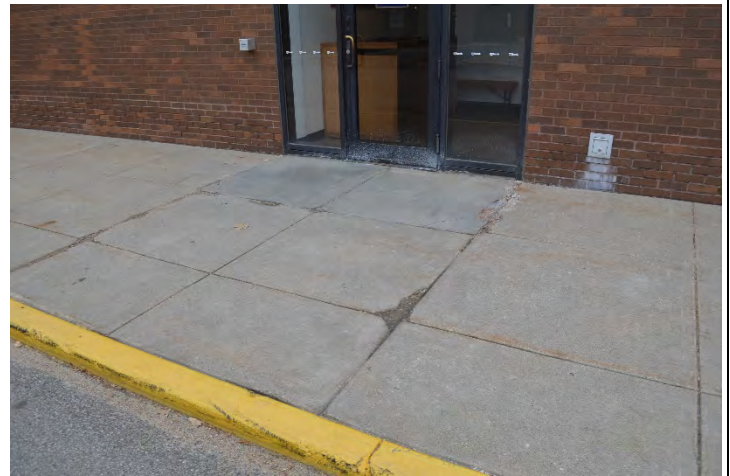
Photograph 4

West Elevation



Photograph 5

Drive Through Bank



Photograph 6

Entry Walks Were Deteriorated and Are Trip Hazards



Photograph 7

Deteriorated Walk by Accessible Entrance Are Trip Hazards



Photograph 8

Parking Lot Has Areas of Localized Trip Hazards



Photograph 9

Ballasted EPDM Roof is About End of Useful Life



Photograph 10

EPDM has Strunk and is Stretching at Edges.
Impending Failure



Photograph 11

EPDM Edge Issues are Widespread



Photograph 12

"Dead" HVAC Units on Roof



Photograph 13

“Dead” Back-up Boiler has Reportedly Been Non-Functional for About 20 Years



Photograph 14

Main 2,000,000 Btu Boiler is 46 Years Old and at End of Useful Life



Photograph 15

Air Handlers Were Reportedly Renovated in Recent Years



Photograph 16

Steps in Mechanical Room Are Not Code Compliant



Photograph 17

Fire Sprinkler Inspections Were Current



Photograph 18

Electrical Switchgear is Aging



Photograph 19

Electrical Distribution Panels Had Been Upgraded
in Recent Years



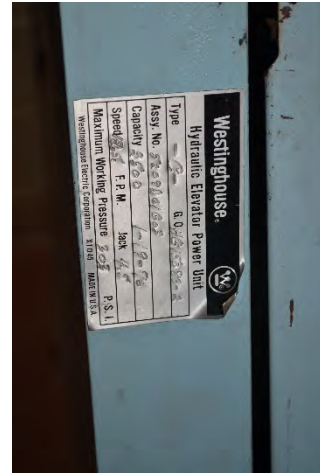
Photograph 20

Elevator 1 Machinery Was Replaced in 2017



Photograph 21

Elevator 2 Machinery is Original and Overdue for Replacement



Photograph 22

Elevator 2 Machinery Tag Indicates 1976 Age



Photograph 23

Firestopping is Lacking in Some Spaces and Needs to be Retrofitted



Photograph 24

Firestopping Deficiency in Need of Retrofit



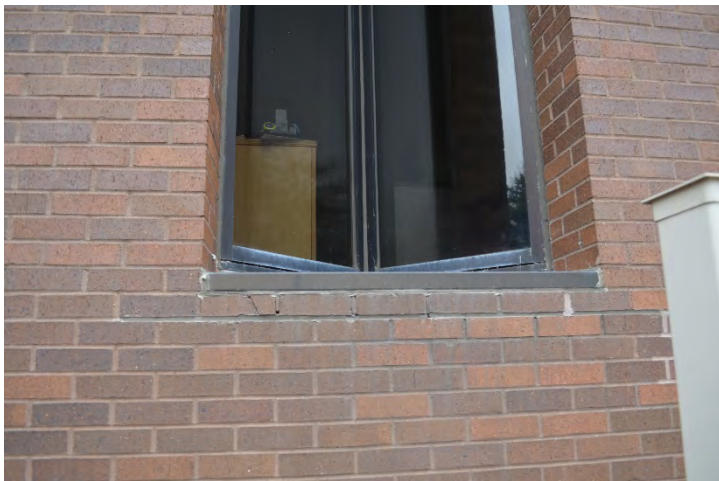
Photograph 25

Six Restrooms Predate ADA and Need to be Reconstructed for Compliance and to Maintain Code Fixture Count



Photograph 26

East Steps Are Not Code Compliant and Need to be Reconstructed



Photograph 27

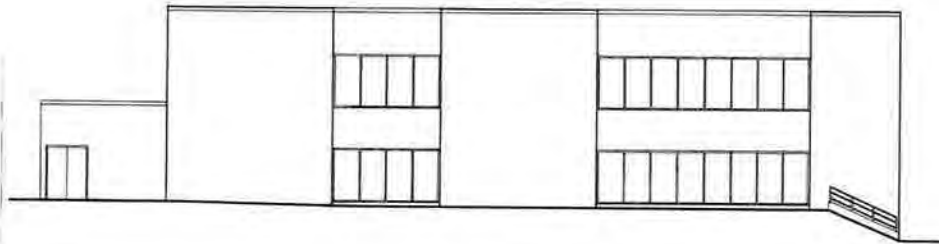
Localized Exterior Tuckpointing and Sealant Repairs are Needed



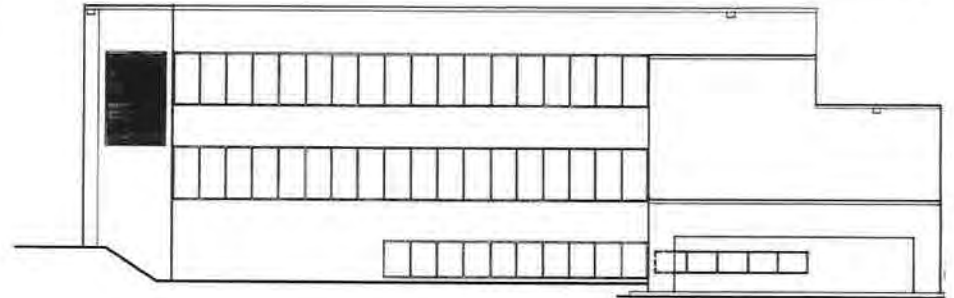
Photograph 28

Two Story Bank Lobby

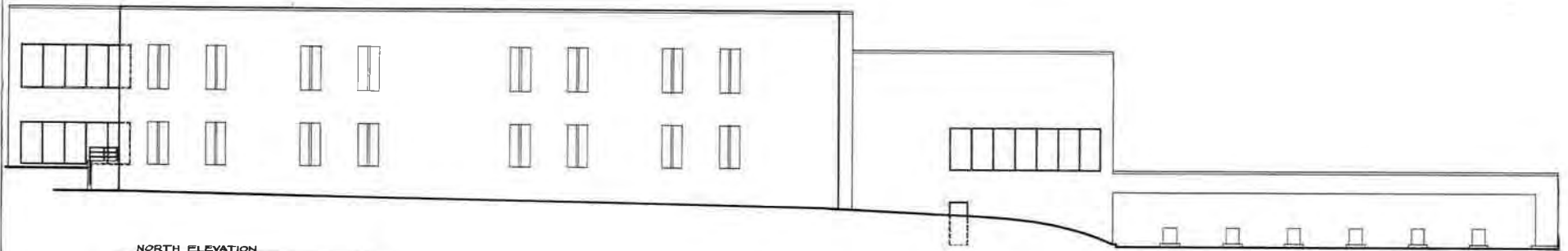
FIRST BANK SYSTEM
Corporate Properties
1110 So Line Bldg.
Mpls. Minn.



EAST ELEVATION



WEST ELEVATION

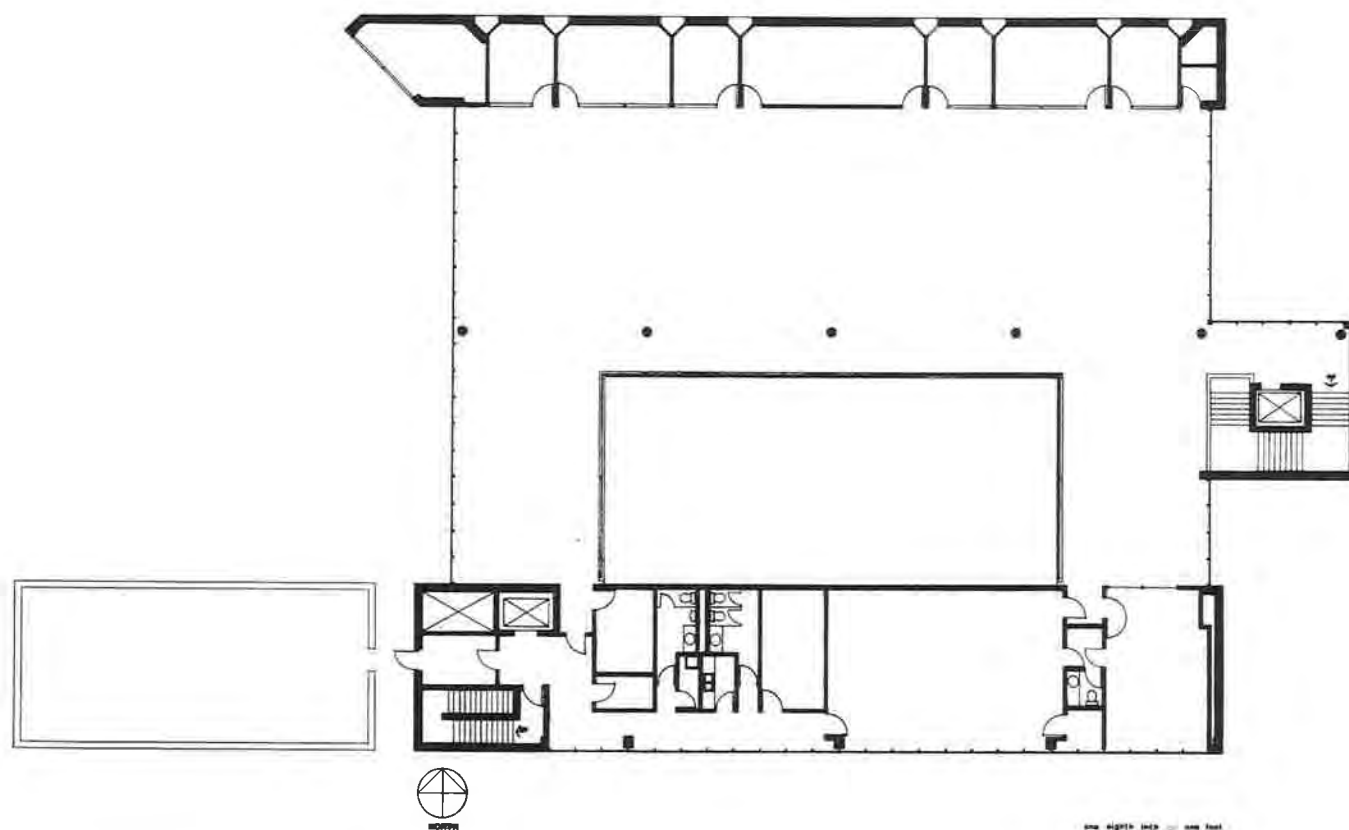


NORTH ELEVATION

FIRST
SOUTHDAL
NATIONAL
BANK
Edina Minnesota

1110 So Line Bldg.
Mpls. Minn.

**FIRST
SOUTHDALE
NATIONAL
BANK**



FIRST BANK SYSTEM
Building Department
1110 So Line Building
Minneapolis, Minnesota

DRAWN BY
DATE

Second Level



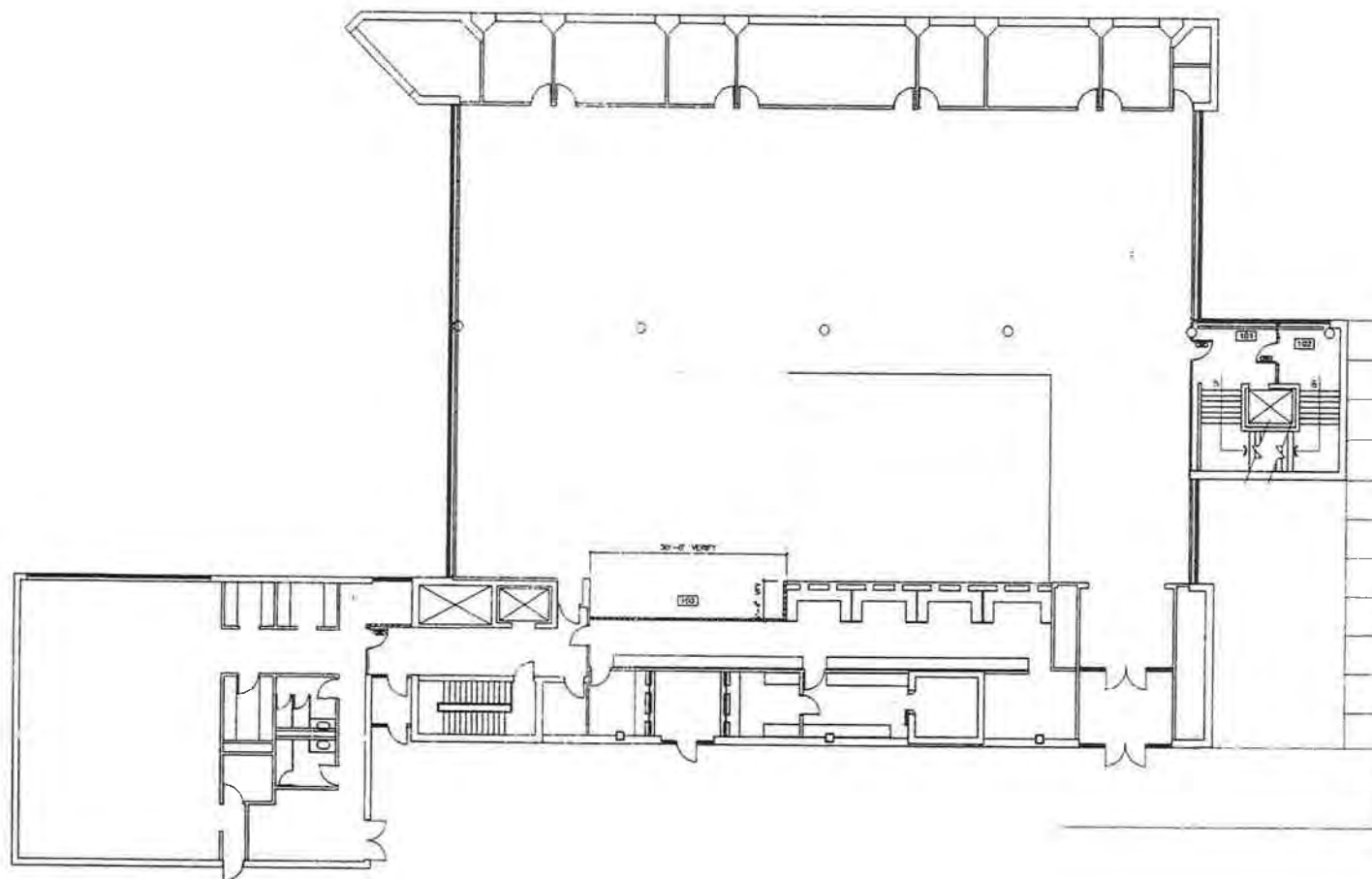
**First Bank
System**

FBS Properties
Management, Inc.
First Bank Place
Mpls, MN 55402

Notes

No. Date By

PROJECT
FIRST BANK SOUTHDAL
ADDRESS
7001 FRANCE AVENUE
CITY, STATE
EDINA, MN 55435
DATE
3/12/97
DESCRIPTION
MAIN LEVEL N. STUDY PLN.
FILE NAME
1610_1NS.DWG
FLOOR
1N
OF 2
DRAWN BY
RJW
SITE NO.
1610



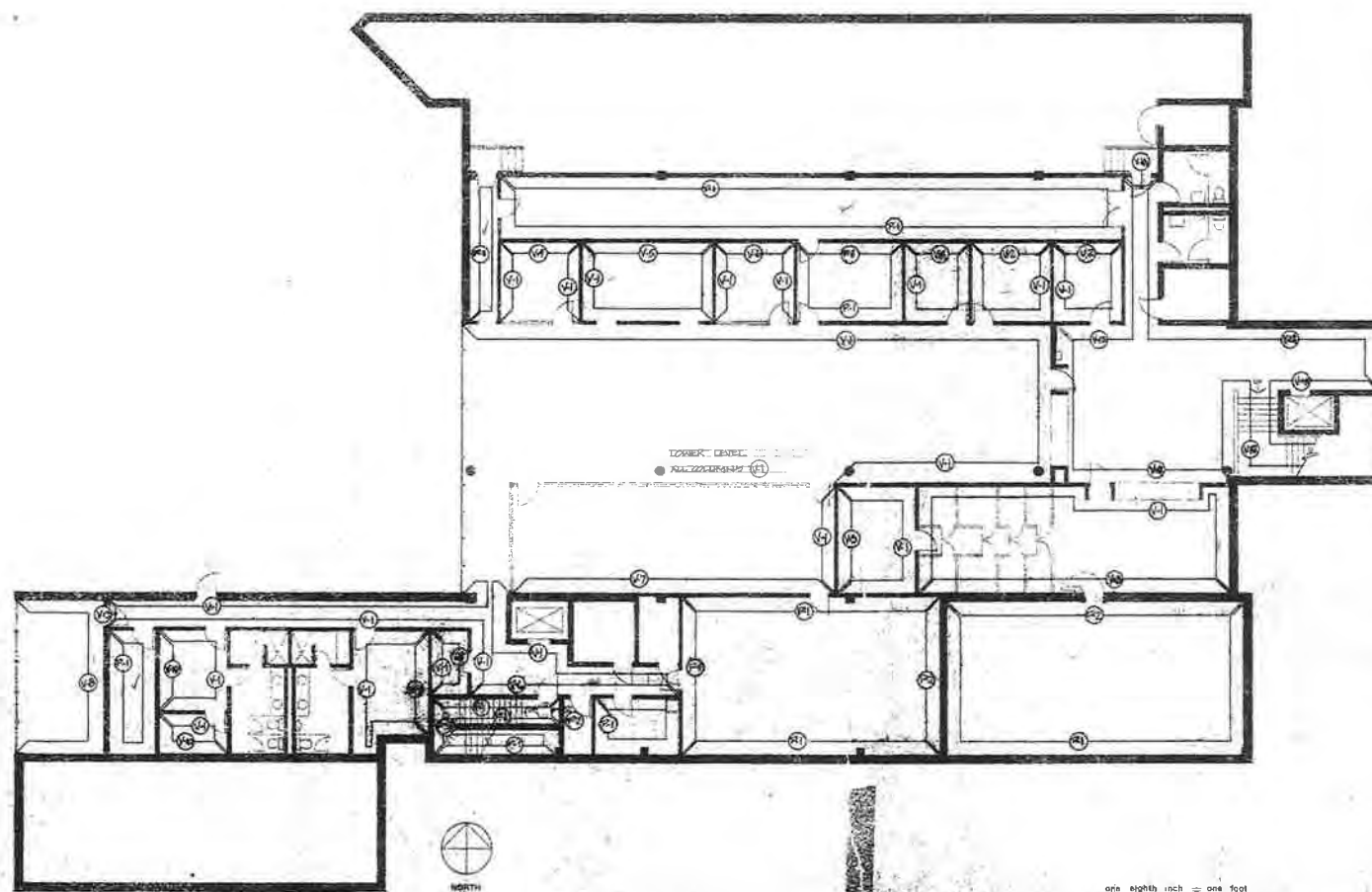
Main Level Study Plan

Not To Scale



FIRST BANK SYSTEM
Building Department
1110 Soo Line Building
Minneapolis, Minnesota

Lower Level



an eighth inch \equiv one foot

Appendix B

Repair Estimate, Photo Exhibit, Drawings, for 7025 France Ave. S.

Physical Needs and Repair Cost Estimate for TIF Study

Date	2/12/2021
------	-----------

Client	City of Edina
	Mr. Bill Neuendorf
	4801 W. 50th Street
	Edina, MN 55424
Number	B20 10638

Replacement Value 28000 SF @ \$165/SF \$4,620,000

Repair Cost as a Percentage of Replacement 19.0%

Property	US Bank Office Building
Project	TIF District Assessment
Location	7025 France Avenue South, Edina, MN

Item to be Repaired	Quantity	Units	Unit Cost \$	Extended \$	Comment
Structural Elements, Lighting & Ventilation, Fire Protection Interior Utilities per MN Statute					
Roof and Roof Framing Elements					
Replace roof and add insulation per Energy Code	10,100	SF	12	\$121,200	
Support Walls					
Selective sealant replacements	500	LF	\$12	\$6,000	
Light and Ventilation - Windows and Storefronts					
Replace sloped glazing units	35	Each	\$2,000	\$70,000	
Replace deteriorated spandrel panels	34	Each	\$2,000	\$68,000	
Wet seal curtain walls	2,000	LF	\$12	\$24,000	
Light and Ventilation - HVAC					
Asbestos abatement	1	Each	\$5,000	\$5,000	
Replace 1,500,000 Btu boiler	1	Each	\$125,000	\$125,000	
Replace gas hot water heater	1	Each	\$6,000	\$6,000	
Electronic thermostats in 10 zones	10	Each	\$1,500	\$15,000	
Selective piping replacements	500	LF	\$80	\$40,000	
Interior Utilities - Electrical					
Upgrade elevator cab and controls	1	Each	\$30,000	\$30,000	
Interior Utilities - Plumbing					
Repair and expand rest rooms per Americans with Disabilities Act (ADA)	6	Each	\$35,200	\$211,200	
Fire Protection					
Selectively replace sprinkler piping	1,000	LF	\$20	\$20,000	
Review and repair firestopping at penetrations	100	Each	\$300	\$30,000	
Repair firestopping at curtain walls	34	Each	\$1,000	\$34,000	
Asbestos Remediation During Repairs					
Remediate ACMs	1	Each	\$50,000	\$50,000	
Other Needed Code Repairs					
Replace entry sidewalks to comply with ADA and correct tripping hazards	230	SY	\$70	\$16,100	
ADA survey and signage allowance	1	Each	\$5,000	\$5,000	
Total				876,500	



Photograph 1

Office Building is Attached to US Bank Branch



Photograph 2

East Elevation, Entrance, and Glazing



Photograph 3

South Elevation and Curtain Wall



Photograph 4

West Elevation and Curtain Walls



Photograph 5

North Elevation is Visible Past the Drive-In Bank



Photograph 6

Curtain Wall Is Aging and Requires Correction of Spandrel Insulation and Firestopping



Photograph 7

Sloped Insulated Glazing Needs to be Replaced



Photograph 8

Roof Membrane is Aging and Stretching. Needs Replacement and Added Insulation per Energy Code.



Photograph 9

Stretching of Roof Membrane Would Result in Impending Failure and Water Damage



Photograph 10

Rooftop Unit is 8 Years Old and in Good Condition



Photograph 11

Entry Walks Have Trip Hazards and Need Selective Replacements



Photograph 12

Trip Hazards at Main Entrance



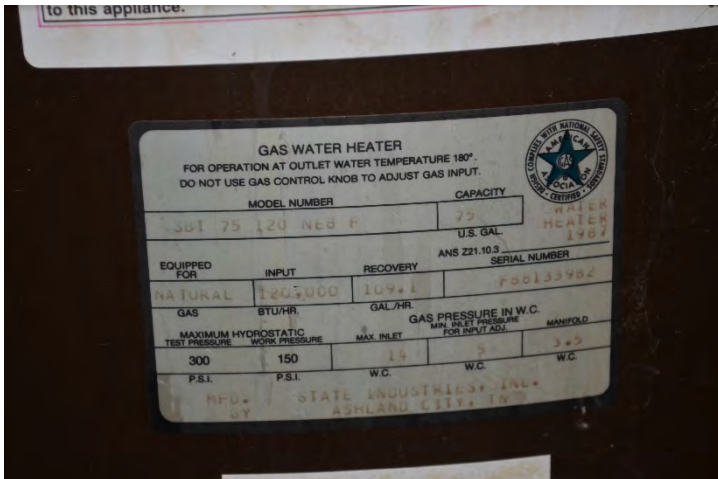
Photograph 13

1982 Ajax Boiler is Rated 1,500,000 Btu and is at End of its Useful Life and Should be Replaced



Photograph 14

Boiler is 39 Years Old and Has Widespread Corrosion.



Photograph 15

1988 State Brand Gas Water Heater is at End of its Useful Life and Should be Replaced



Photograph 16

Elevator is Original 1982 Construction and is Due for Updated Controls



Photograph 17

Rest Rooms in Upper Floor Suite Were Upgraded to ADA



Photograph 18

Upgraded Rest Room



Photograph 19

Six Rest Rooms Predate ADA and Require Reconstruction to Comply

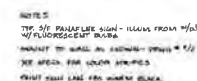


Photograph 20

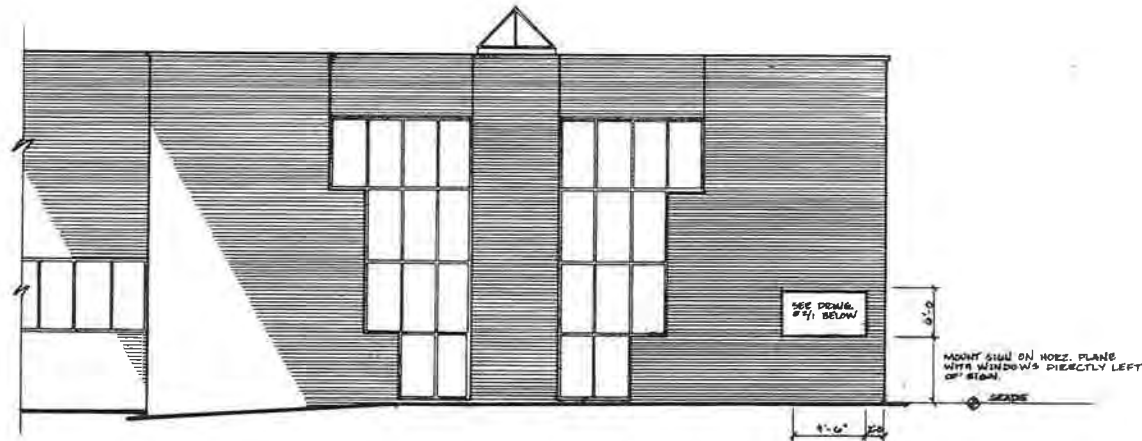
Non-ADA Compliant Toilet Stall



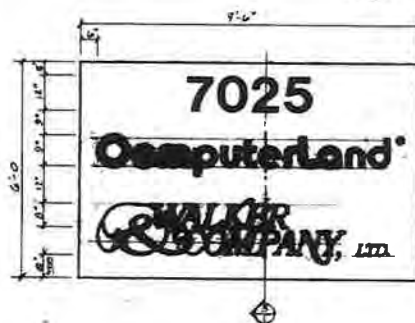
13



Project
FIRST BANK
SOUTHDALE
NEW ADDITION
Description
PROPOSED SIGNS
Sheet No. 2 OF 2 Job No.



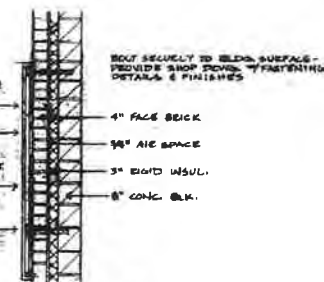
1 PARTIAL WEST ELEVATION
14'-0"



2 ELEVATION
14'-0"

SHALL BE ALL ALUMINUM OR ALUMINUM FINISH
FINISH SHALL BE BLACK - SEE FRS 3000 MAN.
COMPUTERLAND: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING
ADDRESS: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING
WALKER & COMPANY, LTD.: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING

ADDRESS: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING
COMPUTERLAND: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING
WALKER & COMPANY, LTD.: 1" TO BE "BUTTER" TYPE
1/2" CAP & CORNERWORKING



3 SECTION
14'-0"

NOTE:
SIGN CO. TO PROVIDE SHOP DETAILS
IF DETAILS OF ABOVE SIGN - COPY LAY-OUT
AND CONSULT WITH SIGN CO.

FIRST BANK
SOUTHALE
DRAWN: 5-12-83
REVISED:
BY: TM



**First Bank
System**

**FBS Properties
Management, Inc.
First Bank Place
Mpls, MN 55402**

Notes

OCCUPANT		
8-2-97	ROCKFORD	2003.945
00-00-00	BUSINESS BANKING	00000
00-00-00	ISI	00000
00-00-00	PFS	00000
8-2-97	VACANT	27110462
TOTAL		4715.427

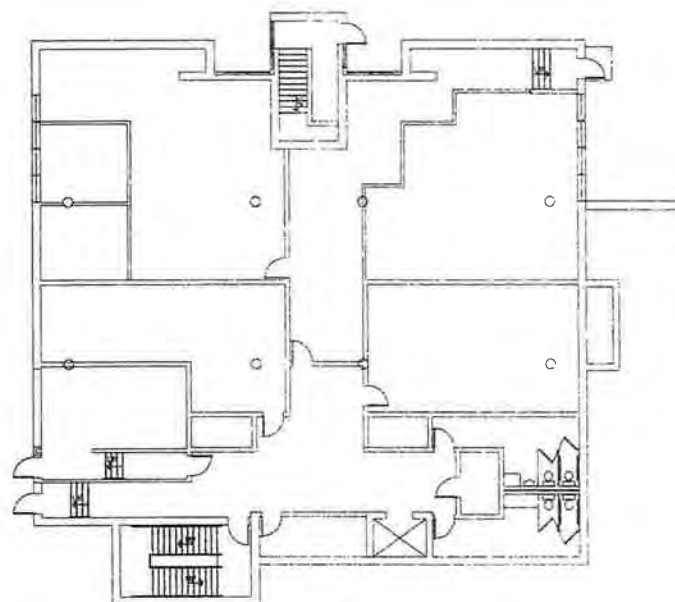
Building Common Ratio 1.12

Floor Common Ratio 1.25

Take sq. ft. for occupant, divide by Bldg. Ratio, then divide by Floor Ratio to get usable area.

No.	Date	By
1.	12/16/96	RJW
2.	5/27/97	RJW
3.	5/30/97	RJW
4.	6/2/97	RJW

PROJECT
FIRST BANK SOUTHDAL
ADDRESS
7001 FRANCE AVE.
CITY, STATE
EDINA, MN
DATE
10/7/96
DESCRIPTION
LOWER LEVEL SOUTH
FILE NAME
1610.LLS.DWG
FLOOR
LLS
DRAWN BY
JRB
SHEET NO.
1610
OF
6



Lower Level South

Not To Scale





First Bank System

Corporate Properties
1110 Soo Line Bldg.
P.O. Box 522
Mpls., Minn. 55480

Name

Rev. Date By
Revised: 6/25/85 7:00 PM DML
7:00 PM

Project
**FIRST BANK
SOUTHDALE**

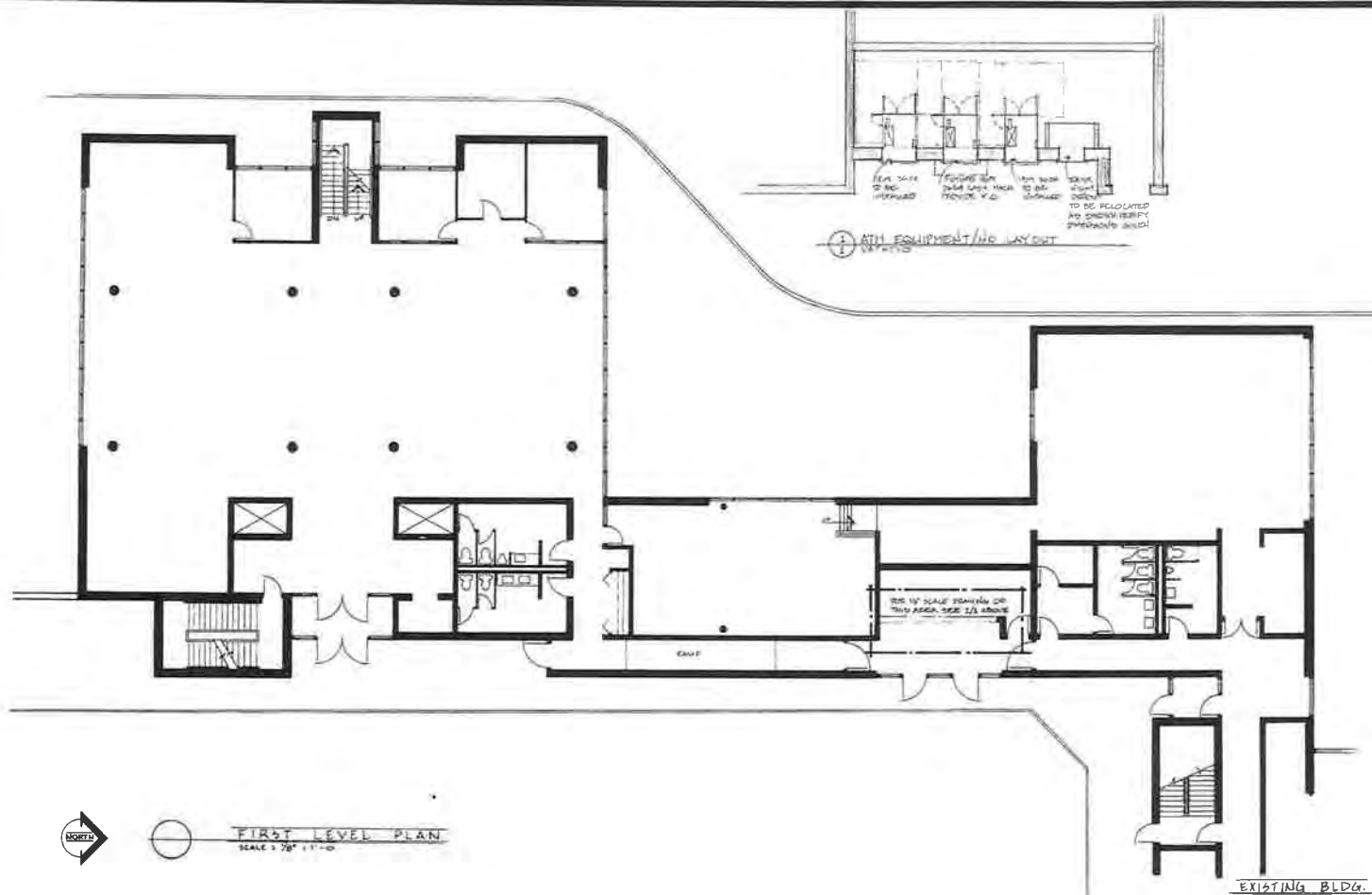
NEW ADDITION

Description

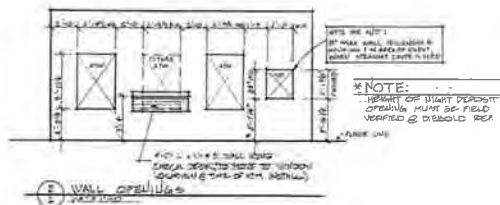
EQUIP. LAYOUT

Sheet No. Job No.

101



FIRST LEVEL PLAN
SCALE 3/8" = 1'-0"



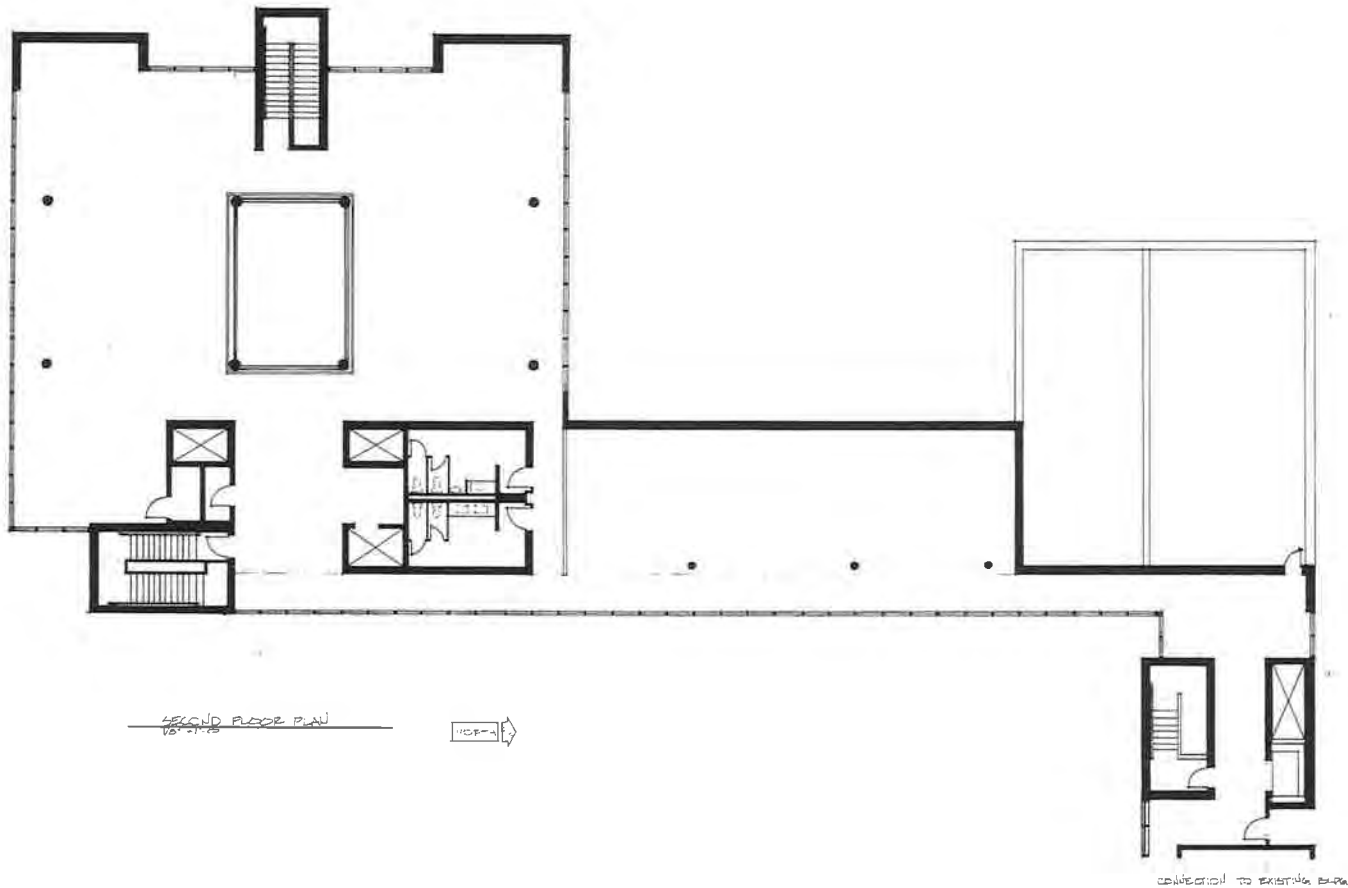
WALL OPENING
SCALE 1/4" = 1'-0"



First Bank System

Corporate Properties
1110 Soo Line Bldg.
P.O. Box 522
Mpls., Minn. 55480

Notes



SECOND FLOOR PLAN



No. Date By

Project
FIRST BANK
SOUTHDAL

Description
BUILDING ADDITION
Sheet No. Job No.
OF

Appendix C

Hennepin County Property Data



Hennepin County Property Map

Date: 1/5/2021



PARCEL ID: 3202824220001

OWNER NAME: Fbs First Buliding Corp

PARCEL ADDRESS: 7001 France Ave S, Edina MN 55435

PARCEL AREA: 0.67 acres, 29,092 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Commercial-Non Preferred

HOMESTEAD: Non-Homestead

MARKET VALUE: \$1,115,600

TAX TOTAL: \$38,006.88

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Commercial-non Preferred

HOMESTEAD: Non-homestead

MARKET VALUE: \$1,475,500

Comments:

US Bank Corner Lot 001

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2021

Parcel Data for Taxes Payable 2020

Property ID number:	32-028-24-22-0001
Address:	7001 FRANCE AVE S
Municipality:	EDINA
School district:	273
Watershed:	1
Sewer district:	
Construction year:	1975
Owner name:	FBS FIRST BULIDING CORP
Taxpayer name & address:	FBS FIRST BULIDING CORP C/O RYAN PTS DEPT 908 PO BOX 460169 HOUSTON, TX 77056

Sale information

Sales prices are reported as listed on the Certificate of Real Estate Value and are not warranted to represent arms-length transactions.
NO SALE INFORMATION ON FILE FOR THIS PROPERTY.

Tax parcel description

The following is the County Auditor's description of this tax parcel. It may not be the legal description on the most recent conveyance document recording ownership. Please refer to the legal description of this property on the public record when preparing legal documents for recording

Addition name:	YORKTOWN
Lot:	001
Block:	001
Approximate parcel size:	IRREGULAR
Metes & Bounds:	EX ROAD ALSO SUBJECT TO HWY
Common abbreviations	
Abstract or Torrens:	TORRENS

Value and tax summary for taxes payable 2020

Values established by assessor as of January 2, 2019

Estimated market value:	\$1,115,600
Taxable market value:	\$1,115,600
Total improvement amount:	
Total net tax:	\$38,006.88
Total special assessments:	
Solid waste fee:	
Total Tax:	\$38,006.88

Property information detail for taxes payable 2020

Values established by assessor as of January 2, 2019

Values:

Land market:	\$930,900
Building market:	\$184,700
Machinery market:	
Total market:	\$1,115,600
Qualifying improvements:	
Veterans exclusion:	
Homestead market value exclusion:	

Classifications:

Property type:	COMMERCIAL NON PREFERRED
Homestead status:	NON-HOMESTEAD

Relative homestead:

Agricultural:

Exempt status:



Hennepin County Property Map

Date: 1/5/2021



PARCEL ID: 3202824220003

OWNER NAME: Fbs First Buliding Corp

PARCEL ADDRESS: 7001 France Ave S, Edina MN 55435

PARCEL AREA: 5.03 acres, 219,178 sq ft

A-T-B: Torrens

SALE PRICE: \$18,666,667

SALE DATA: 12/2001

SALE CODE: Excluded From Ratio Studies

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Commercial-Preferred

HOMESTEAD: Non-Homestead

MARKET VALUE: \$11,288,900

TAX TOTAL: \$382,820.00

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Commercial-preferred

HOMESTEAD: Non-homestead

MARKET VALUE: \$13,279,300

Comments:

Main Lot 003 US Bank

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2021

Parcel Data for Taxes Payable 2020

Property ID number:	32-028-24-22-0003
Address:	7001 FRANCE AVE S
Municipality:	EDINA
School district:	273
Watershed:	1
Sewer district:	
Construction year:	1977
Owner name:	FBS FIRST BULIDING CORP
Taxpayer name & address:	FBS FIRST BULIDING CORP C/O RYAN PTS DEPT 908 PO BOX 460169 HOUSTON, TX 77056

Sale information

Sales prices are reported as listed on the Certificate of Real Estate Value and are not warranted to represent arms-length transactions.

Sale date:	December, 2001
Sale price:	\$18,666,667
Transaction type:	

Tax parcel description

The following is the County Auditor's description of this tax parcel. It may not be the legal description on the most recent conveyance document recording ownership. Please refer to the legal description of this property on the public record when preparing legal documents for recording

Addition name:	YORKTOWN
Lot:	002
Block:	001
Approximate parcel size:	IRREGULAR
Metes & Bounds:	THAT PART OF LOT 2 LYING WLY OF THE
Common abbreviations	ELY 70 FT THOF EX ROAD ALSO SUBJECT TO HWY
Abstract or Torrens:	TORRENS

Value and tax summary for taxes payable 2020

Values established by assessor as of January 2, 2019

Estimated market value:	\$11,288,900
Taxable market value:	\$11,288,900
Total improvement amount:	
Total net tax:	\$382,820.00
Total special assessments:	
Solid waste fee:	
Total Tax:	\$382,820.00

Property information detail for taxes payable 2020

Values established by assessor as of January 2, 2019

Values:

Land market:	\$7,013,700
Building market:	\$4,275,200
Machinery market:	
Total market:	\$11,288,900
Qualifying improvements:	
Veterans exclusion:	
Homestead market value exclusion:	

Classifications:

Property type:	COMMERCIAL
	PREFERRED
Homestead status:	NON-HOMESTEAD
Relative homestead:	
Agricultural:	
Exempt status:	

Appendix D

Mortenson Development Drawings



Lot 1, Block 1, except that part thereof which is Northwesterly of a line drawn from a point on the North line of Section 32, Township 28, Range 24 distant 110 feet Easterly of the Northwest corner of said section to a point on the West line thereof distant 110 feet Southerly of said Northwest corner; Lot 2, Block 1, except the Easterly 70 feet thereof; Yorktown Township, Hennepin County, Minnesota.

1. This survey was prepared using First American Title Commitment Number NCS-1026891-MSPS having an effective date of August 11, 2020 at 7:30 a.m.
2. The address of the surveyed property is 7001 France Avenue S., Edina, Minnesota. (Table A Item 2)
3. Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Panel Number 27163C0340E dated 02/03/2010. (Table A Item 3)
4. Subject property contains 260.904 Sq.Ft. or 5.982 acres. (Table A Item 4)
5. No Zoning information provided by the title company. (Table A Item 6 a)
6. Subject property contains 199 regular parking stalls, 6 handicapped stalls and 0 motorcycle stalls. (Table A Item 9)
7. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown completely fit the utilities in the area, either in service or abandoned. The surveyor further does not warrant that that the underground utilities shown are in the exact location indicated and that they are safe to use or that they are safe to dig as possible from information available. The surveyor has not physically located the underground utilities. (State One Civil Trialnet Nos. 202531768 & 202531768). (Table A Item 11)
8. As of the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions. (Table A Item 16)
9. As of the date of this survey, there are no proposed changes in street right of way lines, based on a conversation with the proper official with the City of Edina. Hennepin County has not responded at the time of this survey. As of the date the field work was completed for this survey, there was no observable evidence of recent street or sidewalk construction or repairs. (Table A Item 17)
10. The surveyor did not locate any wetland delineation markers observed in the process of conducting the fieldwork. No markers were observed. (Table A Item 18)
11. Based on the information contained within title commitment listed above and a physical inspection of the subject property, the surveyor is not aware of any off site easements or servitudes other than those shown here. (Table A Item 19)
12. Bearings based on the Hennepin County coordinate system, (NAD 83 - 1988 Adjustment).

The following items correspond to the numbering system of Schedule B(1) of the above mentioned title commitment. Items 1-10, 13 & 19-22 are not survey matters.

1. Easements for utility and sanitary sewer purposes shown and dedicated in the plat of Yorktown recorded June 8, 1972 as Document No. 1033725, and recited on the certificate of title. Said easement for utility and sanitary sewer purposes affects the subject property and is depicted herein.
2. Easement for telecommunications purposes, together with any incidental rights, in favor of Northwestern Bell Telephone Company, an Iowa corporation, as granted and described in the Permanent Easement dated November 19, 1970, recorded November 19, 1970 as Document No. 886349. Said easement for telecommunications purposes affects the subject property and is depicted herein.
3. Easement for scenic and open space purposes, together with any incidental rights, in favor of the Village of North City of Edina, Minnesota, as granted and described in the Grant of Easement dated May 3, 1972, recorded June 8, 1972 as Document No. 1033728. Said easement for scenic and open space purposes affects the subject property and is depicted herein.
15. Public right of way for France Avenue Road (also known as County Road No. 17) as currently established and maintained, including but not limited to the following:
 - a. Easement for Public Road Purposes dated July 5, 1972, recorded July 6, 1972 as Document No. 10358934; and
 - b. The Final Certificate dated July 22, 1991 as Document No. 2186813, recited on the Final Certificate dated July 22, 1991 as Document No. 2186813. Said easement for public right of way purposes affects the subject property and is depicted herein.
16. Public right of way for 7000 Street West as currently established and maintained, including but not limited to the following:
 - a. Street right of way dedicated in the plat of Yorktown recorded June 8, 1972 as Document No. 1033725;
 - b. Permanent easement for highway purposes as described in the Final Certificate dated July 19, 1991, recorded July 22, 1991 as Document No. 2186813; and
 - c. Grant of Permanent Easement dated April 18, 2011, recorded April 28, 2011 as Document No. 74689847.Said easement for public right of way purposes affects the subject property and is depicted herein.
17. Easement for public sidewalk and utility purposes, together with any incidental rights, in favor of the City of Edina, Minnesota, as granted and described in the Grant of Permanent and Temporary Easements executed dated March 30, 2013, recorded April 13, 2013 as Document No. 70586673, and as affected by the Amendment to Grant of Permanent and Temporary Easements executed dated March 30, 2013, recorded November 13, 2013 as Document No. 70532844. Said easement for public sidewalk and utility purposes affects the subject property and is depicted herein. Temporary easements have expired.
18. The following recital will remain on the certificate of title, and all subsequent certificates of title issued for this land, until an Esquire's Directive is submitted and recorded authorizing the Registrar of Titles to remove the recital:

"Subject to the transmission here easement and incidental rights connected therewith of Northern States Power Company, a Minnesota corporation, as contained in the Stipulation filed in Ratters Case No. 11922, now on file with the State of Wisconsin, 7000 Street as dedicated in the plat of Yorktown acquiring the above land." Said easement for transmission line purposes does not affect the subject property and is not depicted herein.

To: Mortenson Development, Inc., Orion Investments, US Bank National Association and First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16-19 Table A thereof. The fieldwork was completed on September 16, 2020.

Date of Plat or Map: 09/22/2020

Nathan H. Carlson
Minnesota License No. 45873
nate.carlson@westwoodps.com

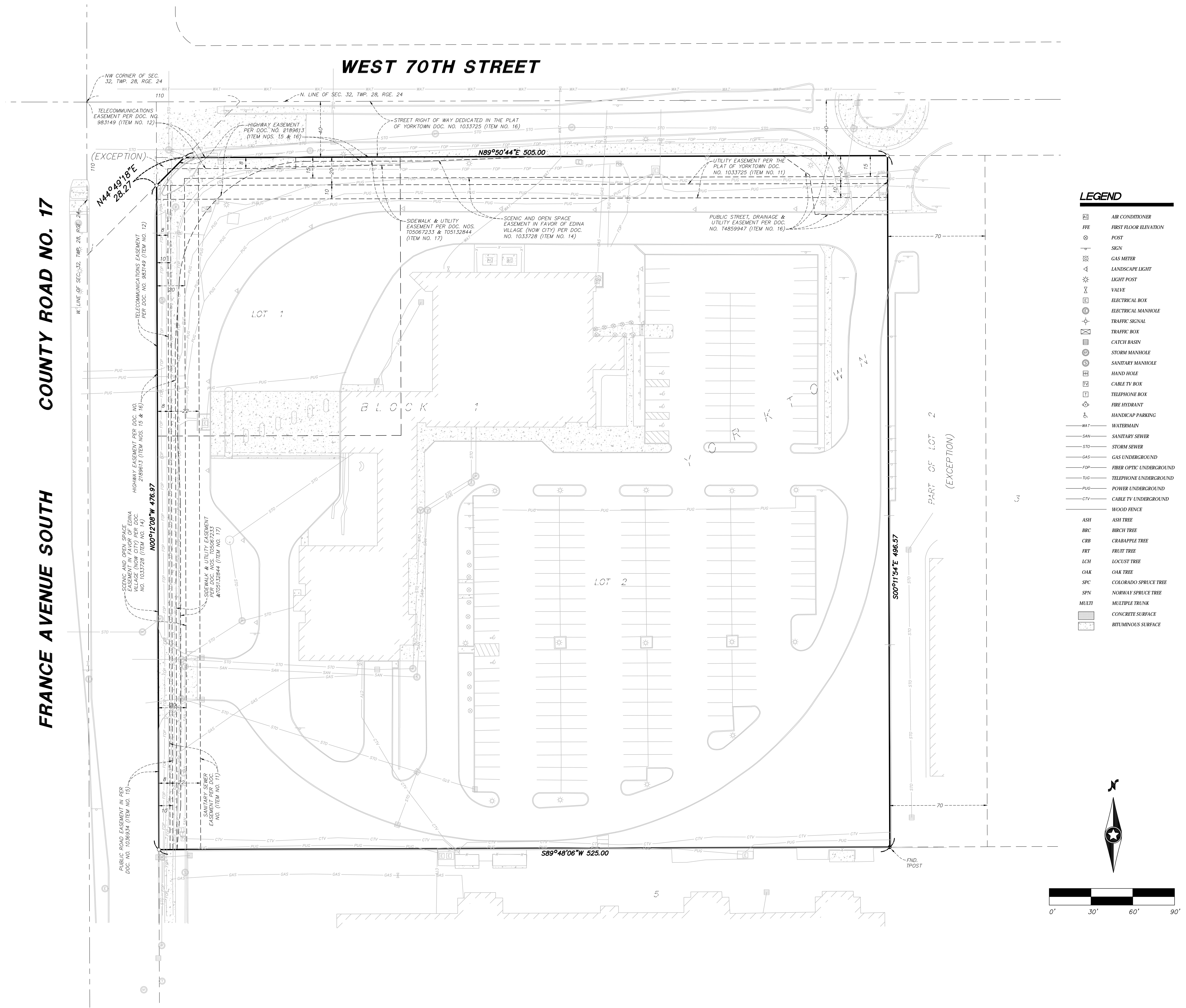
Crew: _____
Checked: *NH*
Drawn: *BJ*
Record Drawing by/date: _____

Prepared
for

US Bank
Edina, Minnesota

ALTA/NSPS
Land Title Survey

EASEMENT DETAIL

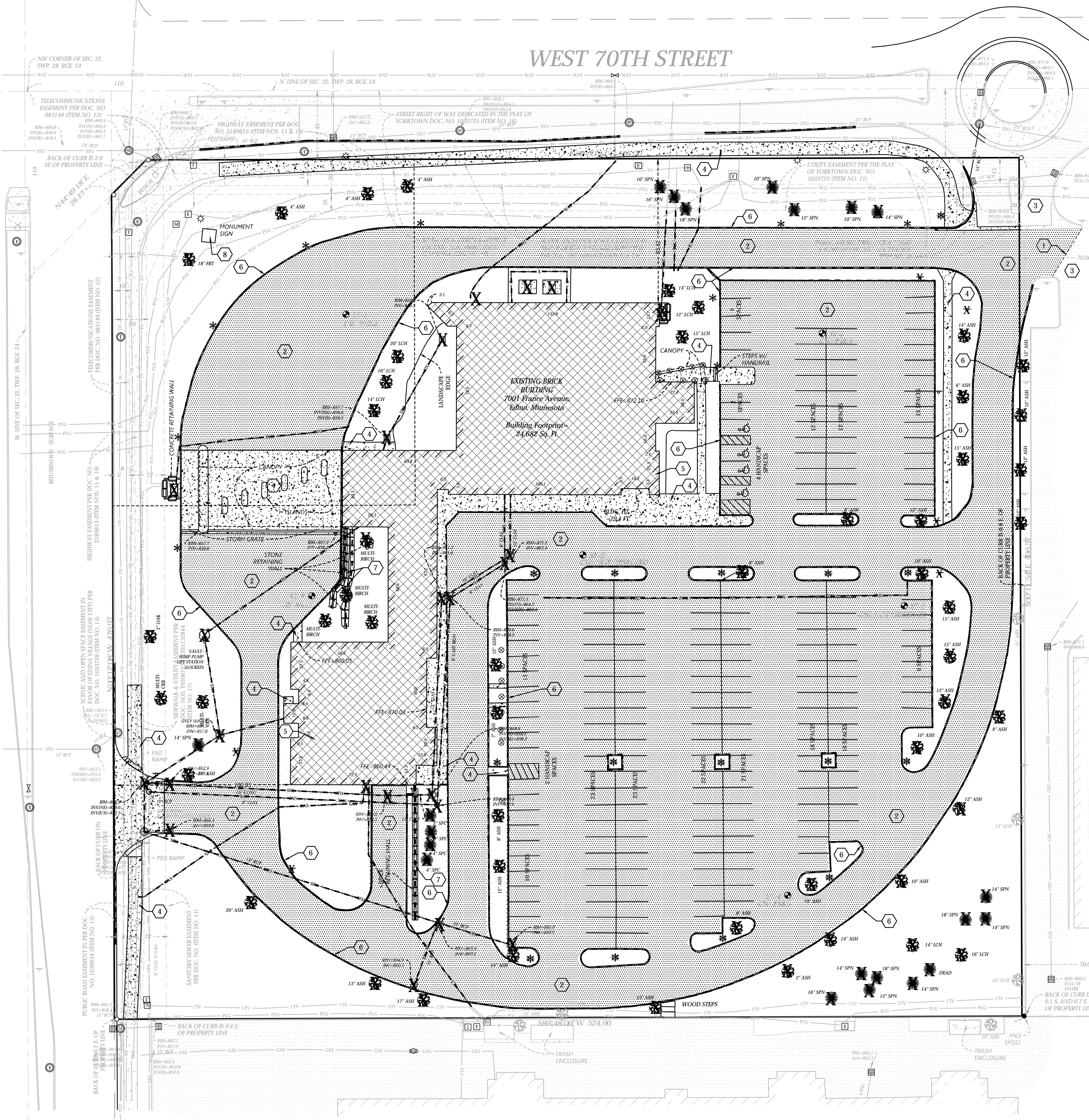


N:\002921\11\0\DWG\CIVIL\0292111.DRW\01.DWG

FRANCE AVENUE SOUTH

COUNTY ROAD NO. 17

WEST 70TH STREET



REMOVAL LEGEND

EXISTING	PROPOSED	PROPERTY LINE
EXISTING	REMOVALS	SAW CUT PAVEMENT
---	---	CURB & GUTTER
---	---	SANITARY SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	STORM SEWER
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE
---	---	BITUMINOUS
---	---	BUILDING
---	---	TREE
---	---	LIGHT POLE
---	---	TRAFFIC SIGN
---	---	CONSTRUCTION BARRICADE
---	---	SOIL BORING LOCATION
---	---	TREE LINE

REMOVAL NOTES

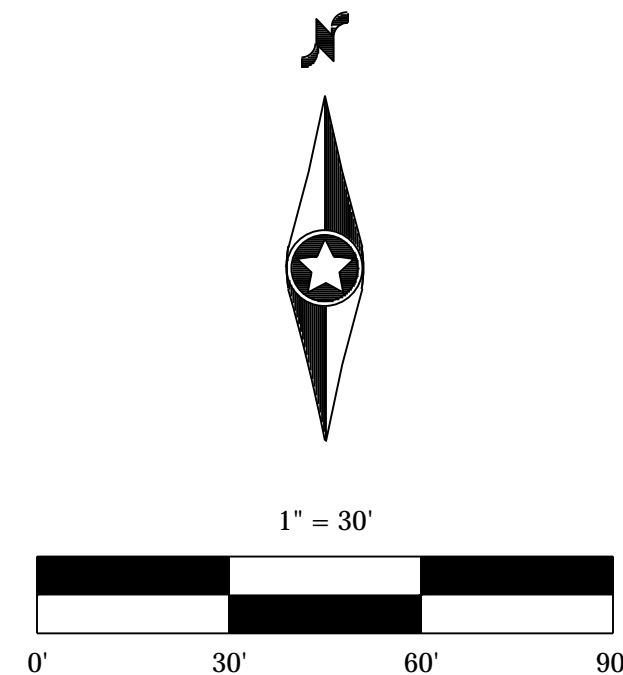
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

TREE REMOVAL QUANTITIES

TREES TO BE REMOVED: 72
TREES TO REMAIN: 4
TOTAL TREES: 76

REMOVAL KEYNOTES

- SAW CUT LINE
- REMOVE BITUMINOUS
- EXISTING BITUMINOUS TO REMAIN
- REMOVE CONCRETE
- REMOVE EXISTING BUILDING
- REMOVE CURB
- REMOVE RETAINING WALL
- REMOVE MONUMENT SIGN



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED	10/16/20
CHECKED	
DRAWN	
INTEREST SCALE	1" = 30'
VERTICAL SCALE	1" = 4'

PREPARED FOR:
ORION/MORTENSON
4530 WEST 77TH STREET SUITE 4985
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED
ENGINEER OF THE STATE OF MINNESOTA
DAVID T. BUD
DATE: 10/16/20
EDINA, MN

70TH AND FRANCE
REDEVELOPMENT
EDINA, MN

Westwood
Phone: (952) 337-5159
Fax: (952) 337-5822
12701 Whittaker Drive, Suite 6300
Minneapolis, MN 55434
Westwood Professional Services, Inc.

EXISTING CONDITIONS
AND REMOVALS PLAN

SHEET NUMBER:

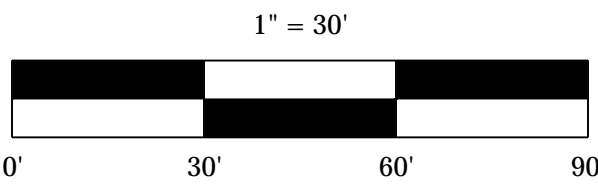
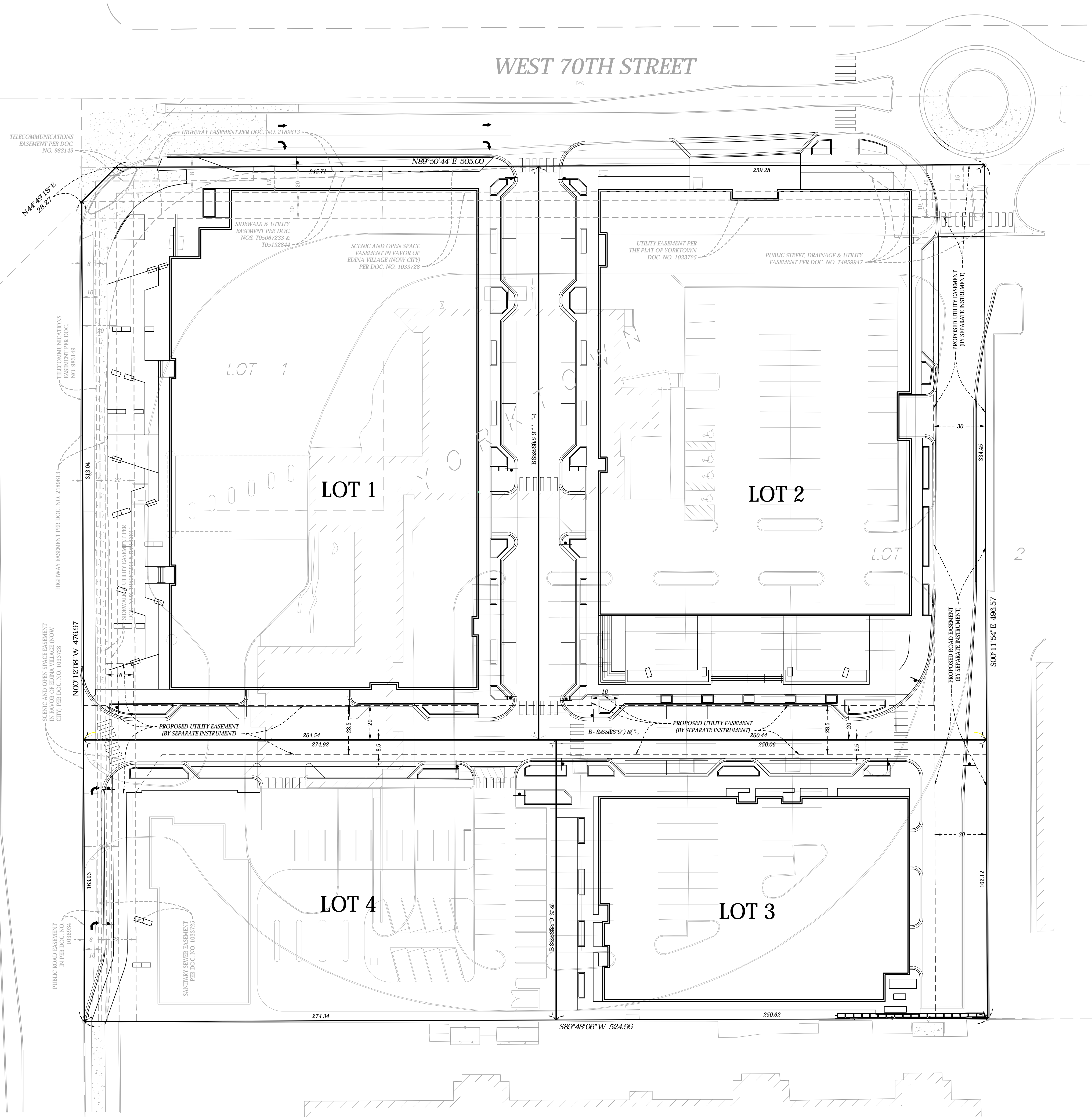
C100

DATE: 10/16/20

PROJECT NUMBER: 0029211.10

70TH AND FRANCE REDEVELOPMENT

FRANCE AVENUE SOUTH COUNTY ROAD NO. 17



NOT FOR CONSTRUCTION

SITE DATA CHART

LEGAL DESCRIPTION	PROPOSED USE	LOT AREA (ACRE)
LOT 1	OFFICE/GROWERY	2.02 AC.
LOT 2	MULTI-FAMILY RESIDENTIAL	1.99 AC.
LOT 3	SENIOR HOUSING	0.93 AC.
LOT 4	BANK	1.03 AC.
TOTAL		5.97 AC.

ZONING

EXISTING: PCD-3 - PLANNED COMMERCIAL

PROPOSED: PUD - PLANNED UNIT DEVELOPMENT

OWNER / SUBDIVIDER

Orion/Mortenson
4530 West 77th St., Ste. 365
Edina, MN 55435

ENGINEER

WESTWOOD PROFESSIONAL SERVICES
12701 WHITEWATER DRIVE, SUITE 300,
MINNETONKA, MINNESOTA 55343
Phone: 952-937-5150

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DISCUSSED	10/16/20
CHECKED	
DRAWN	
APPROVED	
DATE	
SCALE	
VERTICAL SCALE	6" = 1'

PREPARED FOR:
ORION/MORTENSON
4530 WEST 77TH STREET SUITE #365
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
Nathan H. Carlson
DATE: 10/16/20 LICENSE NO. 45873

**70TH AND FRANCE
REDEVELOPMENT**
EDINA, MN

Westwood
Phone: (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax: (952) 937-5150 Minnetonka, MN 55343
Email: ncarlson@westwoodpros.com
Westwood Professional Services, Inc.

PRELIMINARY PLAT

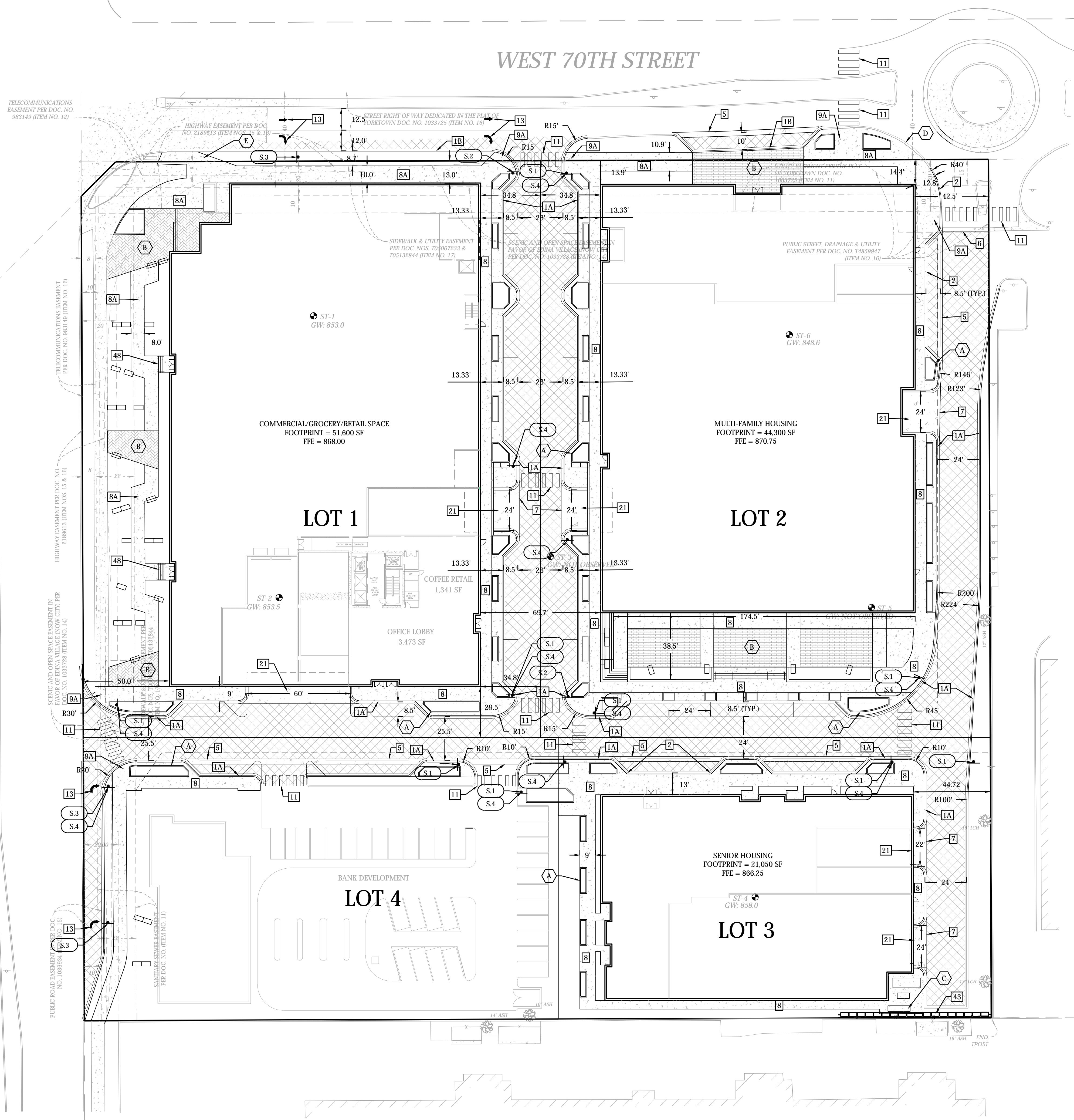
SHEET NUMBER:

C101

DATE: 10/16/20

PROJECT NUMBER: 0029211.10

70TH AND FRANCE REDEVELOPMENT



SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 2020.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 5.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	PDC-3, PLANNED COMMERCIAL
PROPOSED ZONING:	PUD - PLANNED UNIT DEVELOPMENT
PARCEL DESCRIPTION:	LOT 1, BLOCK 1, YORKTOWN, HENNEPIN COUNTY, MINNESOTA
PROPERTY AREA:	260,594 SF (5.98 AC)
PERVIOUS SURFACE:	71,861 SF (27.6%)
IMPERVIOUS SURFACE(RATIO):	188,733 SF (72.4%)
FLOOR-AREA-RATIO(FAR):	SEE ARCH PLANS
BUILDING SETBACK PER CODE:	XX'-FRONT XX'-SIDE / XX'-SIDE TO ROW XX'-REAR

SITE DATA CHART

LEGAL DESCRIPTION	PROPOSED USE	LOT AREA (ACRE)	BLDG FOOTPRINT AREA (SF)
LOT 1	OFFICE/GROCERY	2.02 AC.	51,600
LOT 2	MULTI-FAMILY RESIDENTIAL	1.99 AC.	44,300
LOT 3	SENIOR HOUSING	0.93 AC.	21,050
LOT 4	BANK	1.03 AC.	6,100
TOTAL		5.98 AC.	123,050

SITE DETAILS (SI-0XX)

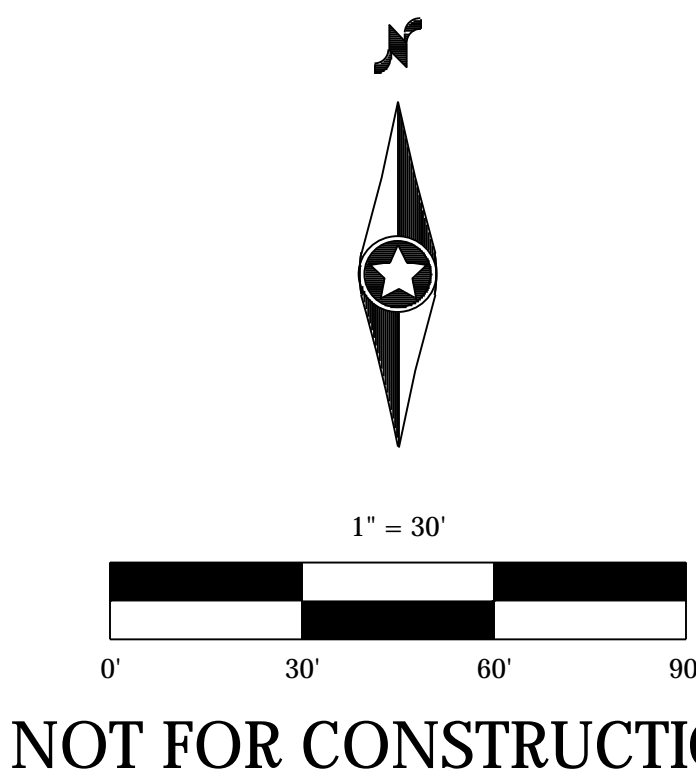
- B612 CURB AND GUTTER
- B618 CURB AND GUTTER
- SURMOUNTABLE CURB AND GUTTER
- VALLEY GUTTER
- CONCRETE CROSS GUTTER
- ENTRANCE THRU CURB AND GUTTER
- PRIVATE CONCRETE SIDEWALK
- PUBLIC CONCRETE SIDEWALK
- PRIVATE PEDESTRIAN CURB RAMP
- PUBLIC PEDESTRIAN CURB RAMP
- CROSS WALK STRIPING
- TRAFFIC ARROW
- SIGN INSTALLATION
- PAVEMENT SECTIONS
- HEAVY DUTY CONCRETE SECTION
- SAW CUT CONTROL JOINT
- CONCRETE CURB AT SIDEWALK
- TRANSITION CURB (B612)
- RETAINING WALL WITH FENCE USING SLEEVE-IT SYSTEM
- B612 AND SURMOUNTABLE CURB TRANSITION
- CONCRETE STAIR AND RAILING DETAIL

SITE KEYNOTES

- PLANTER CURB (TYP.)
- CONCRETE PAVERS (TYP.)
- GENERATOR
- EXISTING SURMOUNTABLE CURB IN ROUNDABOUT
- BIKE LANE EXIT RAMP ONTO SHARED SIDEWALK

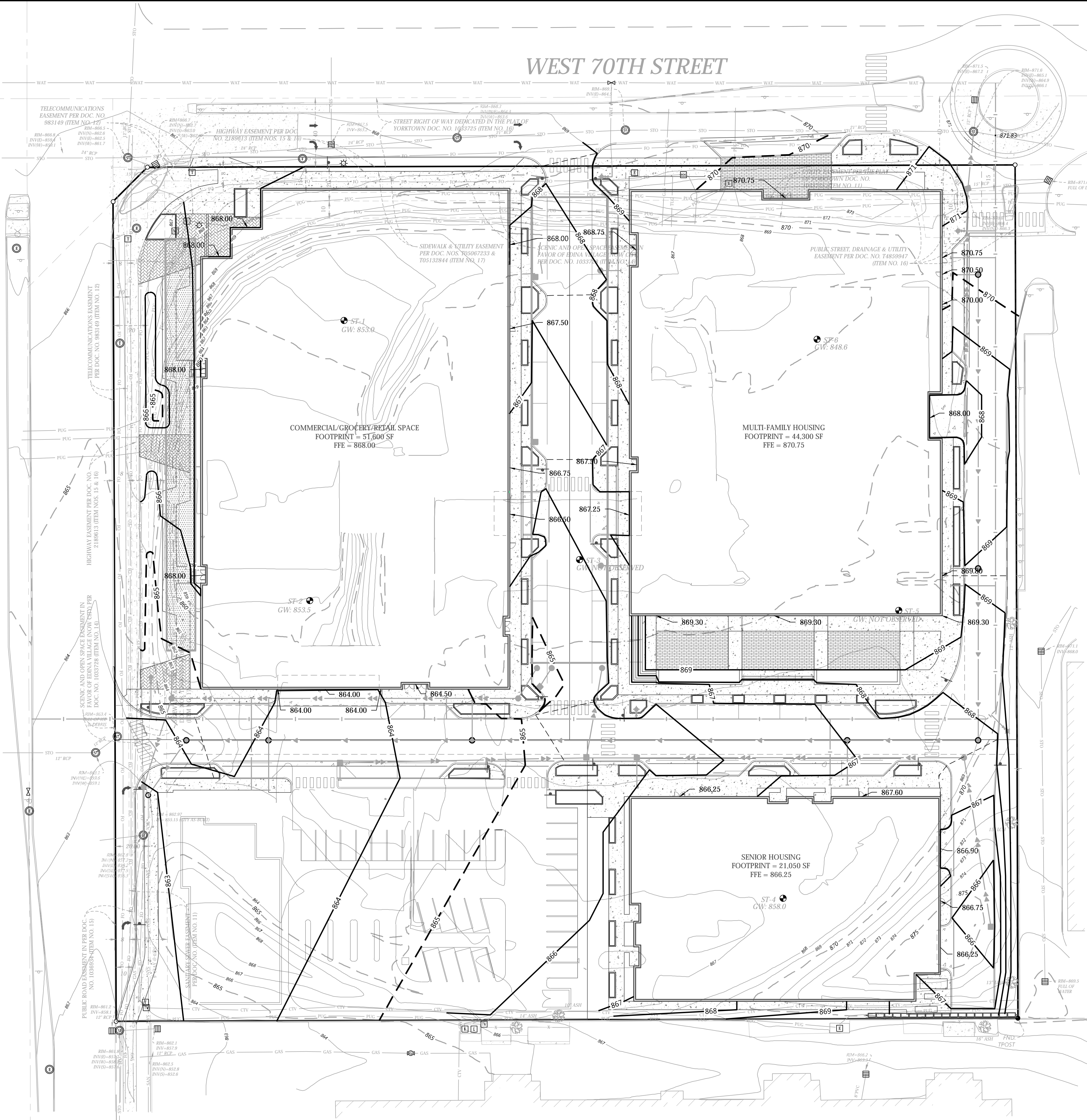
SIGN LEGEND

- STOP SIGN
- NO TRUCKS
- RIGHT LANE MUST TURN RIGHT
- PEDESTRIAN CROSSING



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FRANCE AVENUE SOUTH COUNTY ROAD NO. 17



GRADING LEGEND

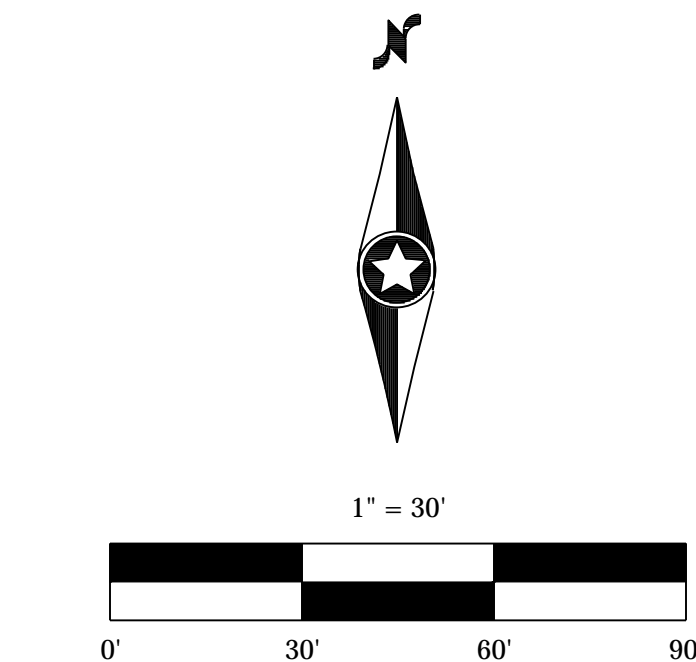
EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

FILTRATION/INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. REMOVE SEDIMENT FROM EXCAVATED BASIN PRIOR TO PLACEMENT OF FILTER MEDIA. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTROMETER SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. CORRECTIVE ACTION MAY INCLUDE REMOVING PLUG IN DRAIN TILE. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	10/16/20
CHECKED:	
DRAWN:	
INTERPRETER:	
SCALE:	
VERTICAL SCALE:	

PREPARED FOR:
ORION/MORTENSON
4530 WEST 77TH STREET SUITE 595
EDINA, MN 55445

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DAVID T. BUE
DATE: 10/16/20 LICENSE NO. _____

70TH AND FRANCE
REDEVELOPMENT
EDINA, MN

Westwood
12701 Whitewater Drive, Suite 6300
Minneapolis, MN 55443
(612) 837-5169
Fax: (612) 837-5822
www.westwoodprofessional.com

GRADING PLAN

SHEET NUMBER:

C300

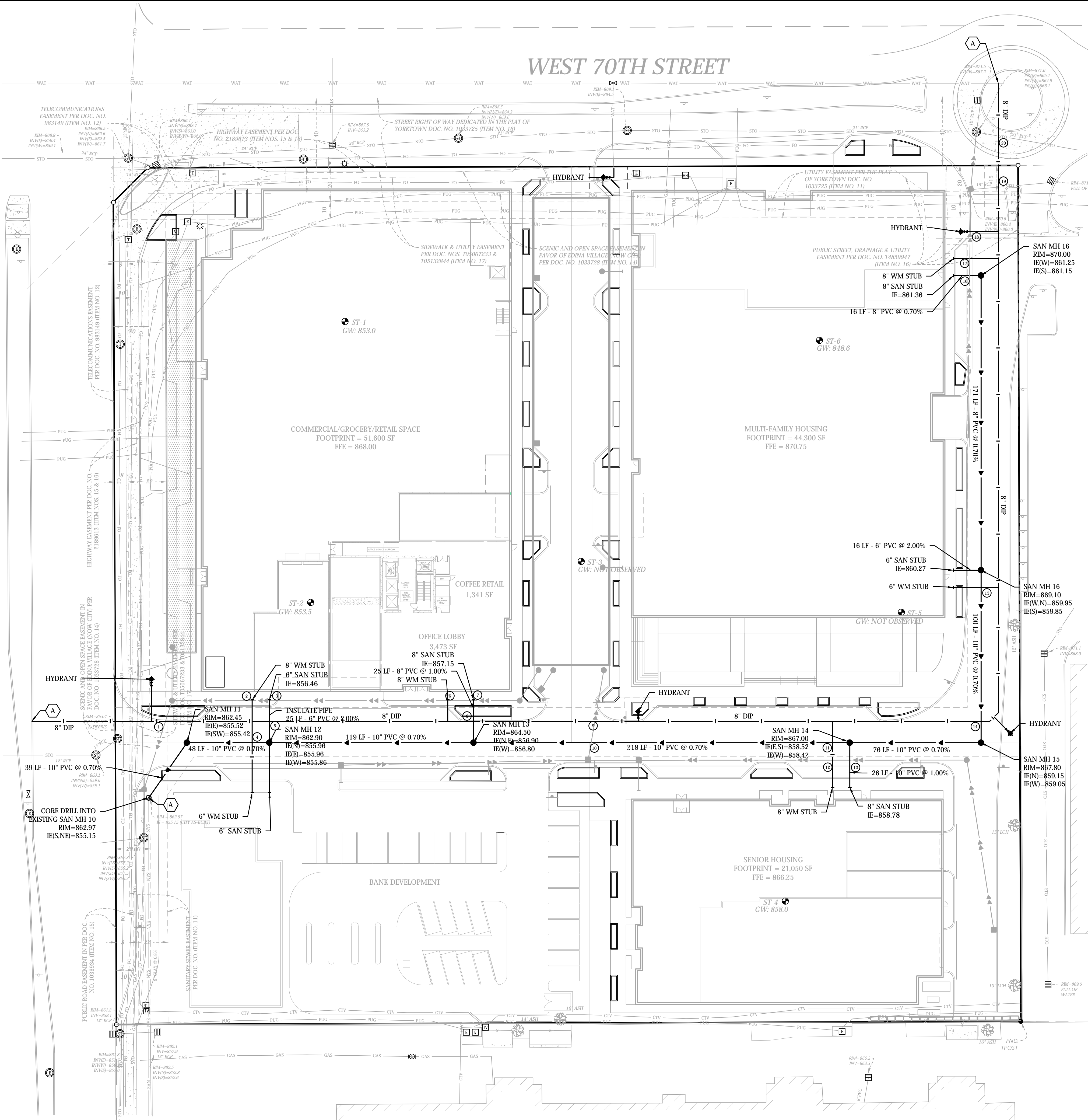
DATE: 10/16/20

PROJECT NUMBER: 0029211.10

70TH AND FRANCE REDEVELOPMENT

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FRANCE AVENUE SOUTH COUNTY ROAD NO. 17



UTILITY LEGEND

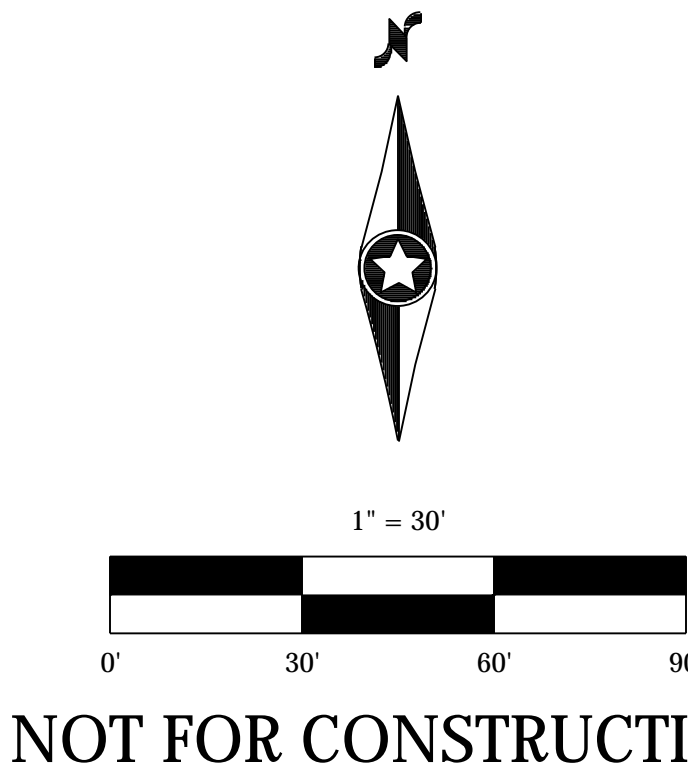
EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		CURB AND GUTTER
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2688. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED. PER ASTM C76 WITH R-4 GASKETS.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

UTILITY KEYNOTE

- A. CONNECT TO EXISTING. COORDINATE CONNECTION WITH THE CITY.



Call 48 Hours before digging:
811 or call 811.com
Common Ground Alliance

DESIGNED	10/16/20
CHECKED	
DRAWN	
INTEREST SCALE	1" = 30'
VERTICAL SCALE	1" = 4'

PREPARED FOR:
ORION/MORTENSON
4530 WEST 77TH STREET SUITE 1985
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DAVID T. BLADE
DATE: 10/16/20 LICENSE NO. _____

70TH AND FRANCE
REDEVELOPMENT
EDINA, MN

Westwood
Phone (952) 337-2519
Fax (952) 337-2522
12701 Whitehaven Drive, Suite 6300
Minnetonka, MN 55343
www.westwoodprofessional.com
Westwood Professional Services, Inc.

SANITARY AND
WATERMAIN PLAN

SHEET NUMBER:

C400

DATE: 10/16/20

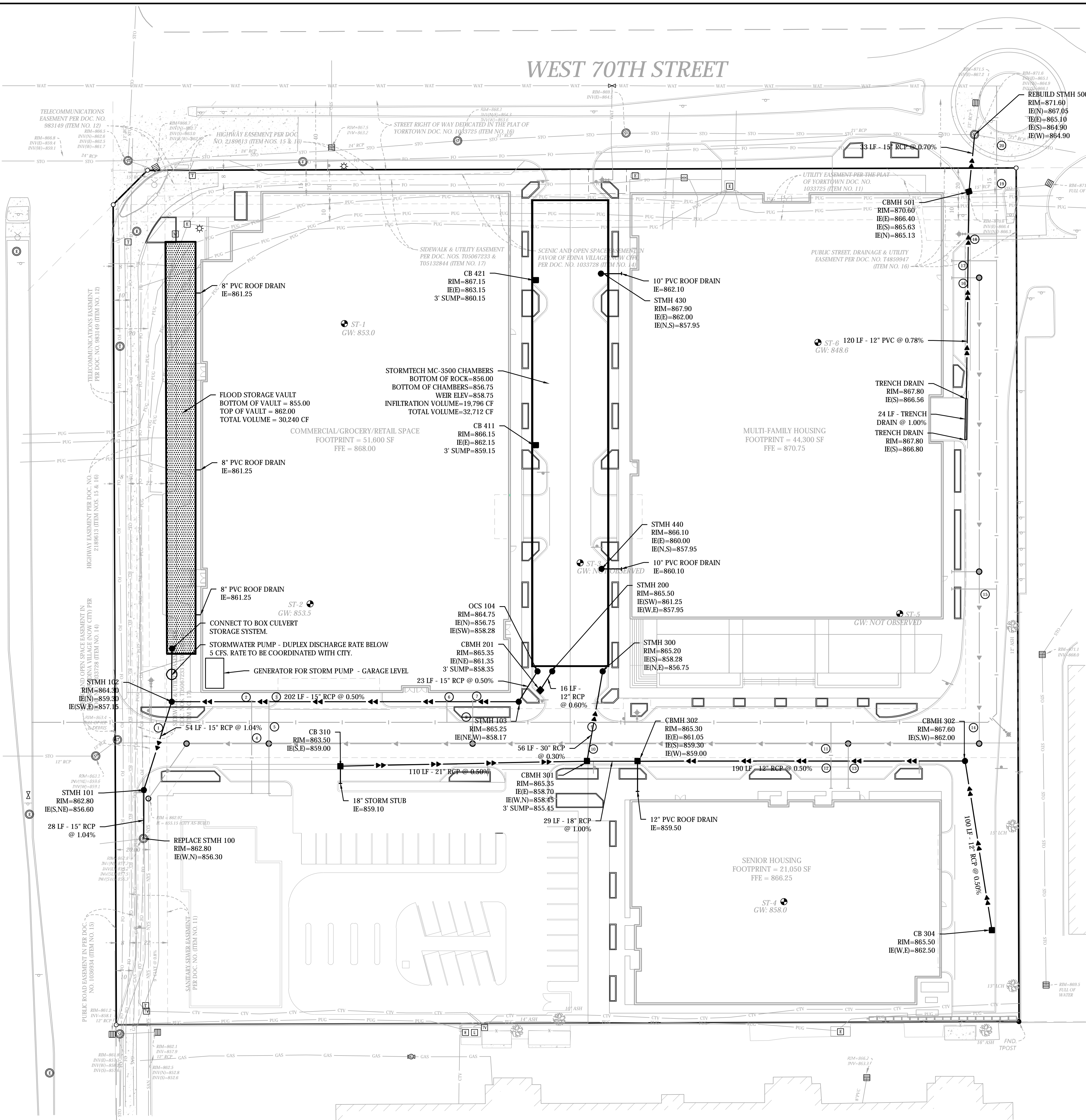
PROJECT NUMBER: 0029211.10

70TH AND FRANCE REDEVELOPMENT

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FRANCE AVENUE SOUTH COUNTY ROAD NO. 17

UTILITY CROSSINGS			
NUMBER	SAN IE	STM IE	WM TOP
1	-	857.02	856.50 - LOWER WM
2	-	857.39	856.70 - LOWER WM
3	856.46	857.43	-
4	855.89	-	856.50 - LOWER WM
5	856.21	-	856.50 - LOWER WM
6	-	857.99	858.00 - LOWER WM
7	857.15	858.04	-
8	857.02	-	857.20 - LOWER WM
9	-	858.38	858.00 - LOWER WM
10	857.36	858.42	-
11	858.35	-	859.40
12	861.61	-	859.17
13	861.67	858.62	-
14	859.23	-	860.50 - LOWER WM
15	859.78	-	861.2
16	866.01	861.29	-
17	865.94	-	862.50
18	865.81	-	862.80
19	866.50	-	863.28
20	864.97	-	864.33

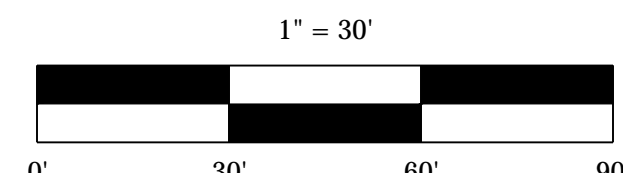


UTILITY LEGEND

EXISTING	PROPOSED	PROPERTY LINE
SAN	SAN	EASEMENT LINE
STM	STM	CURB AND GUTTER
STM	STM	SANITARY SEWER
STM	STM	SANITARY SEWER FORCE MAIN
STM	STM	STORM SEWER
STM	STM	WATER MAIN
STM	STM	HYDRANT
STM	STM	GAS
STM	STM	UNDERGROUND ELECTRIC
STM	STM	OVERHEAD ELECTRIC
STM	STM	UNDERGROUND TELEPHONE
STM	STM	OVERHEAD TELEPHONE
STM	STM	TELEPHONE FIBER OPTIC
STM	STM	CABLE TELEVISION
STM	STM	DRAIN TILE
STM	STM	GATE VALVE
STM	STM	FLARED END SECTION (WITH RIPRAP)
STM	STM	LIGHT POLE

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- ALL WATER LINES SHALL HAVE 8' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
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 - HDPE STORM PIPE 4" TO 10" INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12" TO 60" INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18" TO 120" INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10' FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10' FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
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- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call 811.com
Common Ground Alliance

DISCUSSED
CHECKED
DRAWN
SUBMITTAL SCALE
VERTICAL SCALE

DATE: 10/16/20

PREPARED FOR:
ORION/MORTENSON
4530 WEST 77TH STREET SUITE 1985
EDINA, MN 55445

70TH AND FRANCE
REDEVELOPMENT
EDINA, MN

Westwood
Phone (952) 337-2169
Fax (952) 337-2322
17701 Whitewater Drive, Suite 6300
Minnetonka, MN 55343
www.westwoodprofessional.com
Westwood Professional Services, Inc.

STORM SEWER PLAN

SHEET NUMBER:
C401

DATE: 10/16/20

PROJECT NUMBER: 0029211.10

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature

Typed or Printed Name

License # Date

NOT FOR CONSTRUCTION

PRELIM DEVELOPMENT PLAN SUBMITTAL
10/16/2020

ORIGINAL ISSUE:

REVISIONS:
No. Description Date

220535
PROJECT NUMBER

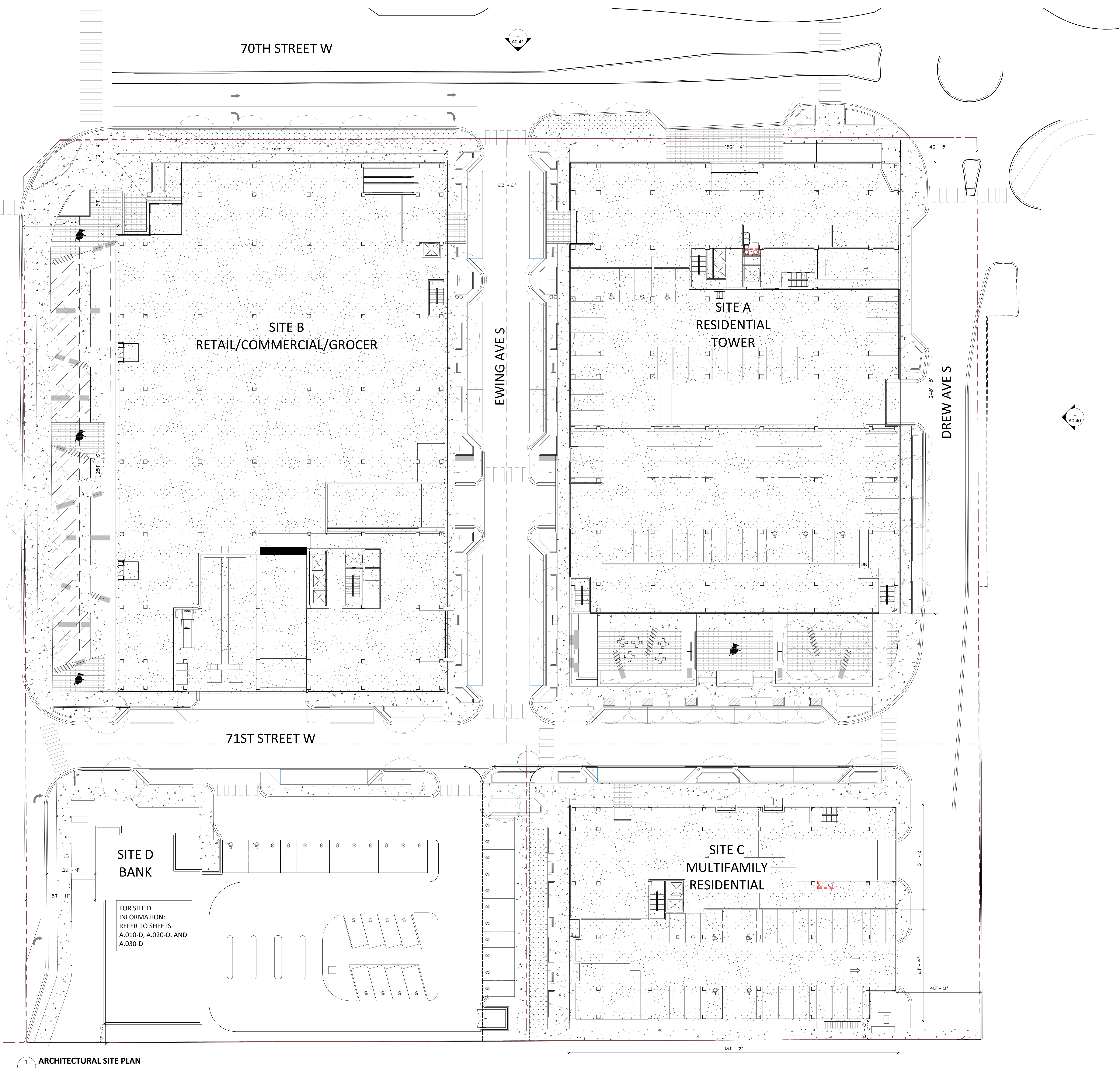
Author Checker
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KEY PLAN

70th & France

SITE PLAN

A0.2



Appendix E

Excerpts from Minnesota Statutes 469.174

Minnesota Statute 469.174 Excerpt from State of Minnesota Website

Subd. 10.Redevlopment district.

(a) "Redevlopment district" means a type of tax increment financing district consisting of a project, or portions of a project, within which the authority finds by resolution that one or more of the following conditions, reasonably distributed throughout the district, exists:

(1) parcels consisting of 70 percent of the area of the district are occupied by buildings, streets, utilities, paved or gravel parking lots, or other similar structures and more than 50 percent of the buildings, not including outbuildings, are structurally substandard to a degree requiring substantial renovation or clearance;

(2) the property consists of vacant, unused, underused, inappropriately used, or infrequently used rail yards, rail storage facilities, or excessive or vacated railroad rights-of-way;

(3) tank facilities, or property whose immediately previous use was for tank facilities, as defined in section 115C.02, subdivision 15, if the tank facilities:

(i) have or had a capacity of more than 1,000,000 gallons;

(ii) are located adjacent to rail facilities; and

(iii) have been removed or are unused, underused, inappropriately used, or infrequently used; or

(4) a qualifying disaster area, as defined in subdivision 10b.

(b) For purposes of this subdivision, "structurally substandard" shall mean containing defects in structural elements or a combination of deficiencies in essential utilities and facilities, light and ventilation, fire protection including adequate egress, layout and condition of interior partitions, or similar factors, which defects or deficiencies are of sufficient total significance to justify substantial renovation or clearance.

(c) A building is not structurally substandard if it is in compliance with the building code applicable to new buildings or could be modified to satisfy the building code at a cost of less than 15 percent of the cost of constructing a new structure of the same square footage and type on the site. The municipality may find that a building is not disqualified as structurally substandard under the preceding sentence on the basis of reasonably available evidence, such as the size, type, and age of the building, the average cost of plumbing, electrical, or structural repairs, or other similar reliable evidence. The municipality may not make such a determination without an interior inspection of the property, but need not have an independent, expert appraisal prepared of the cost of repair and rehabilitation of the building. An interior inspection of the property is not required, if the municipality finds that (1) the municipality or authority is unable to gain access to the property after using its best efforts to obtain permission from the party that owns or controls the property; and (2) the evidence otherwise supports a reasonable conclusion that the building is structurally substandard. Items

of evidence that support such a conclusion include recent fire or police inspections, on-site property tax appraisals or housing inspections, exterior evidence of deterioration, or other similar reliable evidence. Written documentation of the findings and reasons why an interior inspection was not conducted must be made and retained under section 469.175, subdivision 3, clause (1). Failure of a building to be disqualified under the provisions of this paragraph is a necessary, but not a sufficient, condition to determining that the building is substandard.

(d) A parcel is deemed to be occupied by a structurally substandard building for purposes of the finding under paragraph (a) or by the improvements described in paragraph (e) if all of the following conditions are met:

(1) the parcel was occupied by a substandard building or met the requirements of paragraph (e), as the case may be, within three years of the filing of the request for certification of the parcel as part of the district with the county auditor;

(2) the substandard building or the improvements described in paragraph (e) were demolished or removed by the authority or the demolition or removal was financed by the authority or was done by a developer under a development agreement with the authority;

(3) the authority found by resolution before the demolition or removal that the parcel was occupied by a structurally substandard building or met the requirements of paragraph (e) and that after demolition and clearance the authority intended to include the parcel within a district; and

(4) upon filing the request for certification of the tax capacity of the parcel as part of a district, the authority notifies the county auditor that the original tax capacity of the parcel must be adjusted as provided by section 469.177, subdivision 1, paragraph (f).

(e) For purposes of this subdivision, a parcel is not occupied by buildings, streets, utilities, paved or gravel parking lots, or other similar structures unless 15 percent of the area of the parcel contains buildings, streets, utilities, paved or gravel parking lots, or other similar structures.

(f) For districts consisting of two or more noncontiguous areas, each area must qualify as a redevelopment district under paragraph (a) to be included in the district, and the entire area of the district must satisfy paragraph (a).

Subd. 10a. Renewal and renovation district.

(a) "Renewal and renovation district" means a type of tax increment financing district consisting of a project, or portions of a project, within which the authority finds by resolution that:

(1)(i) parcels consisting of 70 percent of the area of the district are occupied by buildings, streets, utilities, paved or gravel parking lots, or other similar structures; (ii) 20 percent of the buildings are structurally substandard; and (iii) 30 percent of the other buildings require substantial renovation or clearance to remove existing conditions such as:

inadequate street layout, incompatible uses or land use relationships, overcrowding of buildings on the land, excessive dwelling unit density, obsolete buildings not suitable for improvement or conversion, or other identified hazards to the health, safety, and general well-being of the community; and

(2) the conditions described in clause (1) are reasonably distributed throughout the geographic area of the district.

(b) For purposes of determining whether a building is structurally substandard, whether parcels are occupied by buildings, streets, utilities, paved or gravel parking lots, or other similar structures, or whether noncontiguous areas qualify, the provisions of subdivision 10, paragraphs (b) through (f), apply.

Subd. 10b. Qualified disaster area.

A "qualified disaster area" is an area that meets the following requirements:

(1) parcels consisting of 70 percent of the area of the district were occupied by buildings, streets, utilities, paved or gravel parking lots, or other similar structures immediately before the disaster or emergency;

(2) the area of the district was subject to a disaster or emergency, as defined in section 273.1231, subdivision 2, within the 18-month period ending on the day the request for certification of the district is made; and

(3) 50 percent or more of the buildings in the area have suffered substantial damage as a result of the disaster or emergency.

Subd. 10c.

[Repealed, 2014 c 308 art 9 s 94]



Edina Housing and Redevelopment
Authority
Established 1974

CITY OF EDINA
HOUSING & REDEVELOPMENT
AUTHORITY
4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: January 6, 2022

Agenda Item #: VIII.A.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Bill Neuendorf, Economic Development Manager

Item Activity:
Information

Subject: Year in Review- 2021

ACTION REQUESTED:

No action required; for informational purposes only.

INTRODUCTION:

Each year, staff provides a summary of relevant redevelopment and housing activities that have been completed, in progress and pending. The report for 2021 has been prepared.

Staff is available to answer questions about the content of this report.

ATTACHMENTS:

HRA 2021 Year in Review



HOUSING AND REDEVELOPMENT AUTHORITY

2021 - YEAR IN REVIEW

OVERVIEW

The Edina Housing and Redevelopment Authority (HRA) was established in 1974 for the purpose of undertaking urban redevelopment projects and assisting with the development of affordable housing. The members of the Edina City Council serve as Commissioners of the Board of the HRA. The Edina City Manager serves as Executive Director of the HRA. From time to time, additional services are provided to the HRA by City staff as part of their regular job duties.

The HRA also uses third-party professionals to provide expertise in the preparation of redevelopment agreements and to provide monitoring and reporting oversight.

This report has been prepared by City of Edina staff to highlight activities and accomplishments in the past year. This report also contains updated project information that may shape upcoming activities and programs of the HRA.

2021 HRA COMMISSIONERS

The members of the Edina City Council also serve as the Board of Commissioners of the HRA.

- James Hovland, Chair
- Carolyn Jackson
- Kevin Staunton
- Ron Anderson, Vice Chair
- James Pierce, Secretary

2021 ACCOMPLISHMENTS

- Negotiated financial assistance package to re-open the vacant Edina Theater on W. 50th Street
- Awarded financial assistance grants to support the recovery of the Edina Chamber of Commerce and 50th & France Business Association as they prepare for the post-pandemic economy
- Established the SPARC program to allow unobligated TIF monies to be used to support new construction and building renovations that create jobs.
- Established new City policy to guide selection of projects supported with the SPARC program.
- Negotiated TIF Redevelopment Agreement with Reuter Walton to redevelop an aging commercial property and provide financing for public roadway improvements in the surrounding areas

- Began first phase of public improvements in the Grandview 2 TIF District; this work will be completed in 2022.
- Completed design and began construction of new pedestrian bridge to allow better usage of the Grandview public parking structure.
- Initiated negotiations with prospective developer and business operator to redevelop the vacant property owned by the HRA at 5146 Eden Ave. This work will continue in 2022.
- Continued the Emergency Rental Assistance Program and awarded \$300,000 in rental assistance to Edina households in 2021
- Construction was completed at 7075-7079 Amundson Avenue for Amundson Flats and the apartment is fully leased bringing 62 new units of affordable housing to the City.
- Closing on the sale and financing for 4100 W. 76th Street for new affordable housing and oversaw the construction draw process.
- Closed on nine “Come Home 2 Edina” second mortgages.
- Created a First Generation homebuying mortgage program and closed on first mortgage.
- Created and implemented a Housing Rehabilitation Program. Twenty applications were approved with twelve houses completed in 2021.
- Assisted Homes Within Reach in acquiring five new houses to be rehabilitated and placed into a 99-year ground lease. Two of these homes were sold to end-buyers.
- Assisted Metro HRA with the acquisition of one house to be placed in their Family Affordable Housing Program.
- Approved 40 new affordable units within Market Rate building due to the Affordable Housing Policy.
- Approved Tenant Protection Ordinance.
- Approved the site plan and TIF financing for 4040 W. 70th Street which will bring 118 new units of age restricted affordable housing.
- Approved Housing Improvement Area (HIA) Policy as an option for Condominium and Townhomes Associations for borrowing money for common area improvements.

CITY STAFF SUPPORT

The HRA does not directly employ any staff. Administrative support for the HRA is carried out by members of the City staff. These HRA duties are in addition to the other duties carried out by City staff. City staff includes:

- Scott Neal, City Manager and HRA Executive Director
- Stephanie Hawkinson, Affordable Housing Development Manager
- Risi Karim, City Management Fellow
- Bill Neuendorf, Economic Development Manager
- Chad Milner, City Engineer
- Alisha McAndrews, incoming Finance Director
- Liz Olson, Administrative Support Specialist
- Andrea Rich, Assistant Finance Director
- Cary Teague, Community Development Director
- Don Uram, outgoing Finance Director

External Support, as needed

- Ehlers Associates – financial advisors
- Campbell Knutson – general legal advisors
- Dorsey & Whitney – redevelopment legal advisors

REDEVELOPMENT ACTIVITY

While the ongoing COVID-19 pandemic continued to impact Edina's economy, new construction and redevelopment efforts continued in 2021. New rental housing continued to be desirable in the marketplace with new apartments at a wide variety of price points being constructed, leased and in various stages of the development pipeline. While a few retail businesses closed, several new retail and restaurant businesses opened in Edina's Greater Southdale and 50th & France commercial districts. Brick and mortar retailers continue to be hesitant to make long-term commitments. The most successful landlords appear those who are agreeable to flexibility in the lease terms compared to the pre-pandemic economy. The office market has lagged in the Twin Cities and Edina, especially with larger employers. Many smaller professional office tenants have returned to their workplaces with greater flexibility that allows some employees to continue working from home. Larger employers have moved more slowly, allowing most of their employees to work from home with no definite date to return to the workplace. There is no accurate forecast of how or when the office market will normalize, but most leasing agents agree that there will be a new "normal" in the near future. Most employees and health care professionals in Edina's medical office buildings have returned to the workplace.

The uncertain economy has not hindered real estate developers and investors. They continue to be interested in under-performing commercial and industrial sites in Edina, particularly in the Greater Southdale area that is guided for taller and more dense development is rich in amenities with access to multiple highways and public transportation. Most redevelopment in Edina occurs on properties that were originally developed 50 or more years ago. The aging structures on these properties typically have not kept pace with the needs or expectations of the current marketplace.

Most redevelopment in Edina is privately funded. The HRA does participate in project financing when the project is determined to be unfeasible without local public intervention and when the proposed project delivers long-term community benefits. Most of the 60+ major redevelopment projects constructed since the recovery from the Great Recession have been privately funded.

As of year-end 2021, Edina has eleven active TIF districts. Two new TIF Districts were established this year. One TIF District was de-certified this year. Key details of Edina's TIF districts are summarized below:

Name	Type	Size (acres)	Year Established	First Collection	Expiration Year
4040 W. 70 th Street	Special Housing, 20-years	1.58	2021	2025	2045
44 th and France 2	Renewal, 15-years	1.0	2018	2021	2036
50 th and France 2	Redevelopment, 25-years	2.8	2017	2020	2045
72 nd and France	Special Housing, 20-years	5.2	2019	2023	2043
Amundson Avenue	Special Housing, 20-years	1.2	2019	2022	2042
Eden Willson	Redevelopment, 25-years	11.9	2021	2025	2050
Grandview 2	Redevelopment, 25-years	10.8	2016	2020	2045
Southdale 2	Economic Development, 8-years	208	2012	2013	2021
66 West	Housing	0.9	2016	2019	2044
West 76 th Street	Special Housing, 20-years	2.0	2018	2022	2042
Pentagon Park	Redevelopment, 25-years	47	2014	2018	2043

In general, Edina uses TIF to a lesser extent than neighboring communities. For property taxes paid in 2021, only 5.0% of the property tax base was included in a TIF District. Based on preliminary estimates for 2022, this measure is likely to decrease to 1.1% of the total property tax base. This decrease is due to the conclusion of the Southdale 2 District. Maps and graphs to illustrate the use of TIF in Edina are attached as Exhibits A and B.

More detailed information regarding each TIF District is contained in the Annual Report submitted to Minnesota's Office of the State Auditor. Those reports are available upon request.

INCREMENTAL PROPERTY TAX COLLECTIONS

The incremental property tax is being collected in 6 of the 10 TIF Districts. This amount is calculated by Hennepin County. The amount collected in each District is summarized below. The 2021 estimates are based on the most recent information available from Hennepin County.

It should be noted that these “incremental” taxes do not include the base taxes that are distributed to each of the taxing districts like the County, City and School Districts. Similarly, the amounts shown below do not include other taxes paid by commercial and industrial property owners that are distributed to the State of Minnesota and contributed into the fiscal disparity pool that is shared with other municipalities in the Twin Cities metro region.

TIF District Name & Number	2019	2020	2021
Southdale 2 (#1208-1209-1210)	\$6,104,336	\$5,751,287	\$6,670,723
Pentagon Park (#1211)	\$445,174	\$380,452	\$529,365
Grandview 2 (#1212-1213)	\$77,768	\$183,889	\$534,481
66 West (#1214)	\$610	\$2,736	\$15,813
50 th & France 2 (#1215)	NA	\$59,476	\$496,140
44 th & France 2	NA	NA	\$38,786
72 nd & France	NA	NA	NA
West 76 th St (#1217)	NA	NA	NA
Amundson	NA	NA	NA
4040 W. 70 th Street	NA	NA	NA
Eden Willson	NA	NA	NA

Source: Hennepin County Tax Increment Finance Settlement statements from December 2021

HRA INTERFUND LOANS

From time-to-time, funds from one HRA account are loaned to another account. Current interfund loans are identified below.

Borrowed From	Loaned to	Purpose and Date	Principal Amount	Interest	Status
Centennial Lakes Fund	Southdale 2 Fund	Loan to Simon Properties, 4-17-2012	\$5,100,000	4.0 %	HRA Res. 2012-07; Loan repaid in full 12/31/2021
Centennial Lakes Fund	Grandview 2 Fund	Redevelopment planning, 7-17-2018	\$500,000	4.0 %	Res. 2018-64; Active
Centennial Lakes Fund	Pentagon Park Fund	Start up funding , 7-21-2015	\$100,000	0.0 %	Res. 2015-75; Active
Centennial Lakes Fund	50 th & France 2 Fund	Building demolition and expansion of North Parking Ramp, 10-17-2017	\$4,150,000	4.0 %	HRA Res. 2017-08; Active

TIF NOTES ISSUED TO PRIVATE DEVELOPERS

When Edina uses Tax Increment Financing for privately owned projects, TIF Notes are usually pledged. The Notes are payable only upon successful completion of the project. This method retains the financial risk with the real estate developer. If the project is not successfully completed, the City/HRA are not responsible for payments on the Note.

The status of current TIF Notes issued to private developers is summarized in the following table.

TIF District	Private Developer & Date of Agreement	Total Private Investment	Description of Pledge (Principal & Interest Rate)	Status of TIF Pledge			
				Completion Certificate Issued	Note Issued	Interest Bearing	Payable
Southdale 2	Simon Properties dba Southdale Limited Partnership (4-18-2012)	Approx \$45 M	\$5.0 M*	12-30-2012	NA	No	No
Pentagon Park	Solomon Real Estate / Hillcrest Development dba Pentagon Village LLC (10-16-2018)	Approx \$20 M as of 2019	Note A: \$9.0 M; 6.0%	7-9-19	7-12-19	Yes beginning 8-1-2020	No
			Note B: \$5.4M; 6.0%	7-9-19	7-12-19	No	No
			Note C: \$3.7 M; 6.0%	7-9-19	7-12-19	No	No
Grandview 2	NONE	NA	NA	NA	NA	NA	NA
66 West	Beacon Interfaith Housing Collaborative (4-5-2016)	\$10.5 M	\$550,000**	6-6-2017	NA	NA	NA
50 th & France 2	Buhl Investors and Saturday Properties dba Edina Market Street, LLC (6-27-17)	\$78.5 M	\$10.1 M; 6.0%	1-31-2021	1-11-2018	Yes Beginning 1-31-2021	Yes
44 th & France 2	Orion Investments and United Properties dba Orion 4500 France, LLC (12-18-2018)	\$30.5 M	\$2.295 M; 5.0%	5-10-2021	5-10-2021	Yes beginning 5-10-2021	Yes
72 nd & France	France Equities, France Equities II and CPEC Exchange 39560 & 39561 LLC (4-16-2019)	\$0 In default	NTE \$ 12 M; NTE 5.5%	In default	In default	No	No
West 76 th St	AEON dba The Sound on 76 th Limited Partnership (1-14-2021)	\$23.7 M	\$798,000; 4.25%	Anticipated 2022	Anticipated 2022	No	No

TIF District	Private Developer & Date of Agreement	Total Private Investment	Description of Pledge (Principal & Interest Rate)	Status of TIF Pledge			
				Completion Certificate Issued	Note Issued	Interest Bearing	Payable
Amundson	MWF Properties dba Amundson Flats Limited Partnership (6-11-2020)	\$16.4 M (2021)	None***	6/23/21	NA	NA	NA
4040 W. 70 th Street	Lupe / Ecumen dba 4040 West 70 th Street Apartments (date TBD)	Pending	Pending	Pending	Anticipated 2022-23	No	No
Eden Willson	Reuter Walton dba Eden Avenue Group, LLC (11-3-2021)	Pending	NTE \$5.1 M; NTE 4.0%	Anticipated 2024	Anticipated 2024	No	No

* Agreement with Simon Properties was for a single one-time loan issued upon completion of improvements to all public areas of shopping mall. The loan will be repaid using incremental taxes generated by the completed project.

** Agreement with Beacon Interfaith was for two payments upon closing and upon completion of building shell of affordable housing development

*** The Development did not require TIF increment. A district was created in order to use TIF Pooling to acquire the property.

PAYMENTS MADE ON TIF NOTES

After a project is successfully completed and the project begins to pay incremental property taxes, the applicable TIF Note becomes payable. Payments are typically made twice annually to reflect the property tax payment structure in Hennepin County. The following table summarizes recent payments on current TIF Notes.

TIF District	Private Developer	Principal and Interest Rate of TIF Note	TIF Payments Made		
			Previous	2021	Cumulative
Southdale 2	Simon Properties dba Southdale Limited Partnership	\$5 M*	NA	NA	NA
Pentagon Park	Solomon Real Estate / Hillcrest Development dba Pentagon Village LLC	\$9.0 M; 6.0%	\$0	\$0	\$0
		\$5.4 M; 6.0%	\$0	\$0	\$0
		\$3.7 M; 6.0%	\$0	\$0	\$0
Grandview 2	NONE	NA	NA	NA	NA
66 West	Beacon Interfaith Housing Collaborative	NA	NA	NA	NA
50 th & France 2	Buhl Investors and Saturday Properties dba Edina Market Street, LLC	\$10.1 M	\$0	\$276,791.67	\$276,791.67
44 th & France 2	Orion Investments and United Properties dba Orion 4500 France, LLC	\$2.295 M	NA	\$17,453,57	\$17,453,57
72 nd & France	France Equities, France Equities II and CPEC Exchange 39560 & 39561 LLC	None – In default	NA	NA	NA
West 76 th St	AEON dba The Sound on 76 th Limited Partnership	\$798,000; 4.25%	\$0	\$0	\$0
Amundson	MWF Properties dba Amundson Flats Limited Partnership	NONE	NA	NA	NA
4040 W. 70 th Street	PENDING (Lupe / Ecumen anticipated)	PENDING	\$0	\$0	\$0
Eden Willson	Reuter Walton dba Eden Avenue Group, LLC	NTE \$5.1 M with interest NTE 4.0%	\$0	\$0	\$0

* Per each TIF Redevelopment Agreement, payments are only due IF the property generates sufficient growth in property taxes to make Note payments. If the property does not generate sufficient incremental property taxes, no payments are due.

DEBT AND MAJOR CONSTRUCTION CONTRACTS ISSUED

From time to time, the City/HRA issues public debt and/or construction contracts related to redevelopment efforts in TIF Districts. Depending on the scope of work, contracts for professional services like engineering, architecture and construction administration are also awarded. The recent and anticipated payment obligations of the TIF Districts are summarized in the following table.

TIF District	Private Contractor (Name & City)	Description of Work	Contract Amount	Date of Contract	Status (Pending, In Process, Completed)
Southdale 2	None	NA	NA	NA	NA
Pentagon Park	None	NA	NA	NA	NA
Grandview 2	S.M. Hentges & Sons, Inc. (Jordan, MN)	Roadway Improvements, including Eden Ave, Brookside Ave. and Eden/Arcadia intersection	\$4,193,499	5-12-2021	Work in progress; to be completed in 2022
	Restoration and Construction Services (Clearwater, MN)	Parking wayfinding, Parking Structure Improvements	\$523,575	5-12-2021	
	Pember Companies (Menomonie, WI) with subcontractors	Pedestrian Bridge and sidewalk between Parking Structure and Arcadia Ave	\$2,783,609	6-24-2021	
66 West	None	NA	NA	NA	NA
50 th & France 2	None	NA	NA	NA	NA
44 th & France 2	None	NA	NA	NA	NA
72 nd & France	None	NA	NA	NA	NA
West 76 th St	None	NA	NA	NA	NA
Amundson	None	NA	NA	NA	NA
4040 W. 70 th Street	None	NA	NA	NA	NA
Eden Willson	TBD	Eden Ave improvements	TBD	TBD	Anticipated 2023-25
	TBD	Grange Rd improvements	TBD	TBD	Anticipated 2023-25
	TBD	50 th Street improvements	TBD	TBD	Anticipated 2023-25

TIF SPENDING – BUDGET VERSUS ACTUAL

When a TIF District is established, a budget is created based on the purpose and objectives of the individual TIF District. The budget categories are established by the State of Minnesota. The budget amounts for each line item are estimates only. The actual amount spent can be shifted among these line items provided that the total cumulative expenditures do not exceed the total amount of the approved budget. The budgets of the current TIF Districts are summarized in the following table. Details can be found in the TIF Reports submitted to the Minnesota Office of the State Auditor (OSA) each summer.

TIF District (Approved Date)	Approved TIF Plan Budget				Cumulative Project Costs (July 2020 OSA report)
	TIF Project Costs (Sub-Total)	Spending Categories for Project Costs	Interest Cost	Maximum Total Costs	
Southdale 2 (4-17-2012 to 9-9-2021)	32,448,409	Land/Building Acquisition; Site Improvements / Preparation; Affordable Housing; Utilities; Other Qualifying Improvements; Administrative Costs	1,500,000	33,948,409	\$10,270,301
Pentagon Park (2-18-2014)	90,545,791	Land/Building Acquisition; Site Improvements / Preparation; Utilities; Other Qualifying Improvements; Administrative Costs	80,032,553	170,578,344	\$18,261,504
Grandview 2 (3-2-2016)	21,170,290	Land/Building Acquisition; Site Improvements / Preparation; Utilities; Other Qualifying Improvements; Administrative Costs	14,556,934	35,727,224	\$292,323
66 West (4-5-2016)	597,575	Site Improvements / Preparation; Other Qualifying Improvements; Administrative Costs	0	597,575	\$277,142
50 th & France 2 (6-20-2017)	16,692,088	Land/Building Acquisition; Site Improvements / Preparation; Utilities; Other Qualifying Improvements; Administrative Costs	14,679,657	31,371,745	\$14,607,443
44 th & France 2 (10-16-2018)	2,884,407	Site Improvements / Preparation; Affordable Housing; Utilities; Other Qualifying Improvements; Administrative Costs	1,200,366	4,084,773	\$0

TIF District (Approved Date)	Approved TIF Plan Budget				Cumulative Project Costs (July 2020 OSA report)
	TIF Project Costs (Sub-Total)	Spending Categories for Project Costs	Interest Cost	Maximum Total Costs	
72 nd & France (3-19-2019)	17,675,232	Land/Building Acquisition; Site Improvements / Preparation; Affordable Housing; Utilities; Other Qualifying Improvements; Administrative Costs	10,734,901	28,410,133	\$0
West 76 th Street (11-20-2018)	1,400,626	Affordable Housing; Administrative Costs	759,752	2,160,378	\$0
Amundson (12-17-2019)	1,153,434	Affordable Housing; Administrative Costs	549,767	1,703,200	\$0
4040 W. 70 th Street (8-4-2021)	3,392,149	Affordable Housing; Administrative Costs	0	3,392,149	\$0
Eden Willson (11-3-2021)	14,934,231	Land/Building Acquisition; Site Improvements / Preparation; Affordable Housing; Utilities; Other Qualifying Improvements; Administrative Costs	7,801,038	22,735,269	\$0

PUBLIC BENEFITS DERIVED WITH TIF REDEVELOPMENT

Edina's TIF policy does not intend to use TIF merely to encourage private investment. Instead, TIF is considered when the completed project can deliver measurable long-term benefits to the general public in Edina. The table below summarizes some of key public benefits delivered with TIF.

TIF District Name	Type of Public Benefits Delivered														
	Increase Property Tax Base	Stimulate reinvestment in other properties	Remove substandard buildings	Environmental Remediation	Job Creation	Affordable Housing	Public Parking	Public Roadway Improvements	Utility Improvements	Streetscape Improvements	Bike / Ped Improvements	Other Roadway Improvements	Plaza or Green Space	Public Art	Other
Southdale 2	X	X			X										
Pentagon Park	P	P	X	X	P		X		X	X			X	X	
Grandview 2	X		X	X			X	X	X	X	X	X			
66 West	X					X				X					
50 th & France 2	X	X	X	X	X	X	X		X	X	X	X	X		
44 th & France 2	X		X	X		X	X			X	X		X	X	
72 nd & France	P		P		P	P	P	P		P	P	P	P	P	
West 76 th St	P					P				P	P				
Amundson	X		X	X		X				X					
4040 W. 70 th Street	P					P				P					
Eden Willson	P		P	P		P	P	P		P	P	P	P	P	

X = Complete **P** = Pending

TIF FUND BALANCE

Edina creates a separate “fund” to accurately monitor the revenues and expenses of each TIF District. After TIF Districts are decertified, remaining funds (if any) are returned to Hennepin County for redistribution to the City, School District and County. For some older TIF Districts (Centennial Lakes and 70th & Cahill), Minnesota Statutes allow the fund balance to remain in the TIF Fund to support additional redevelopment efforts. In 2021, the Minnesota Legislator allowed fund balances to be retained provided that a Spending Plan is adopted (Southdale 2).

The most recent and previous years audited fund balances are shown below.

TIF District Name & Number	12/31/2019 Balance (audited)	12/31/2020 Balance (audited)	Notes
Centennial Lakes (#1203)	\$7,341,231	\$7,346,662	Decertified in 2014; older district allowed to retain balance for other improvements
70 th & Cahill / Wooddale Valleyview (#1207)	\$352,410	\$344,479	Decertified in 1999; older district allowed to retain balance for other improvements
Southdale 2 (#1208-1209-1210)	\$11,792,881	\$16,328,679	Decertified 12/31/2021; MN legislation allows balance to be used for affordable housing and other improvements
Pentagon Park (#1211)	\$422,998	\$696,099	
Grandview 2 (#1212-1213)	\$418,992	\$498,072	
66 West (#1214)	\$20,235	\$23,808	
50 th & France 2 (#1215)	\$0	\$52,088	
44 th & France 2	NA	NA	
72 nd & France	NA	NA	First collection anticipated in 2023
West 76 th St (#1217)	-\$517	\$11,093	First collection anticipated in 2022
Amundson	NA	\$0	First collection anticipated in 2022
4040 W. 70 th Street	NA	NA	First collection anticipated in 2025
Eden Willson	NA	NA	First collection anticipated in 2025

Sources: City of Edina 2019 CAFR (page 104); 2020 CAFR (page 105)

AFFORDABLE HOUSING TRUST FUND

In 2019 the City Council approved the Affordable Housing Trust Fund Ordinance. This formally designated that the Buy-In funds from the Affordable Housing Policy be used to support affordable housing efforts to serve low and moderate income renters and homeowners. As of the end of 2021, \$4,360,000 was contributed to the Affordable Housing Trust Fund (AHTF) through buy-in contributions from four multi-family developments. All but \$210,000 has been awarded to programs and developments that support the creation and preservation of affordable housing. A map of the general locations of affordable housing is included in Exhibit C.

	Buy-In Funds Received	Funds Awarded
REVENUE		
The Loden Apartments - 2018	\$2,000,000	
The Lorient Apartments – 2019	\$160,000	
The Bower Apartments – 2021	\$1,900,000	
4425 Valley View Apartments - 2021	\$300,000	
Beginning Balance =	\$ 4,360,000	
EXPENSES		
Nolan Mains affordable unit loan - 2019		(\$750,000)
Property Tax 4d NOAH* Pilot Program - 2018		(\$160,000)
Property Tax 4d Modified NOAH* Pilot Program -2019		(\$50,000)
VEAP Emergency Assistance** - 2020		\$0
Single Family Ownership Program - 2020		(\$840,000)
Home Rehabilitation Program (Pilot)		(\$250,000)
Acquisition of Single Family House at 425 Jefferson		(\$150,000)
Single Family Ownership Program - 2021		(\$1,500,000)
Home Rehabilitation Program - 2021		(\$750,000)
Ending Balance =	\$ 210,000	

* Naturally Occurring Affordable Housing (NOAH) apartments

** Reimbursed with CARES funding

AFFORDABLE HOUSING UNITS DELIVERED WITH HRA INVOLVEMENT

TIF District	Project Name & Address	No. Market Units	No. Affordable Units	Notes
Southdale 2	Aria Edina (3200 Southdale Circle)	184	8	5% are affordable at 60% AMI. These were agreed to prior to a formal policy.
	Aurora on France (6500 France)	182	10	5.5% are affordable at 30% AMI. These were agreed to prior to a formal policy.
	The Millennium (3250 W. 66 th St)	216	11	4.9% are affordable at 60% AMI. These were agreed to prior to a formal policy.
Pentagon Park	Rise Apartments (4911 W. 77th)	180 Pending	20	10% affordable at 50% AMI for 20-years
Grandview 2	Avidor Apartments (5220 Eden Ave)	147	18	11% affordable at 60% of AMI
66 West	66 West Apartments (3330 W. 66 th St)	0	39	100% affordable.
50 th & France 2	Nolan Mains (3945 Market St)	90	10	15 year term
44 th & France 2	Lorient (3901 Sunnyside Rd)	44	3	20-year term.
72 nd & France	Unnamed Apartments (7200-7250 France)	249 Pending	62 Pending	This project is in default and unlikely to be built
West 76 th St	The Sound on 76 th (4100 W. 76 th St)	0	70 In progress	100% affordable anticipated to be delivered in Q2 2022.
Amundson	Amundson Flats (7075 Amundson Ave)	0	62	100% affordable for 40-years.
4040 W. 70 th Street	Cornelia View (4040 W. 70 th St)	0	118 Pending	100% affordable for 99-years. Construction expected to commence in 2023.
Eden Wilson	Eden/Willson Apartments (4917 Eden Ave.)	176 Pending	20 units Pending	Priced at 50% AMI households; 21-year term; Construction anticipated 2022-2024
Total =		776 completed	161 completed	
		356 pending	228 pending	

REDEVELOPMENT PROJECTS – YEAR END STATUS

1) 4500 France Avenue – The Lorient Apartments

The HRA entered into a Redevelopment Agreement in 2018 and issued a \$2.295 million TIF Note after the \$30.5 million redevelopment project was completed. The new four-story building includes 45 apartments (of which three are affordable to households with incomes at or below 60 percent of AMI) with approximately 7,000 square feet of commercial space on the first floor. The redevelopment effort also delivered several infrastructure improvements in the commercial node: public plaza, public parking, public art and new public sidewalks with streetscape improvements.

The project received the Certificate of Occupancy on schedule in August 2020. Residents began to move into the building. Commercial leasing has been hampered by the pandemic and challenges finding appropriately sized businesses.

The TIF Certificate of Completion was delivered in Spring 2021 and the first TIF payment was made in late 2021.

2) 3940 Market Street – North Ramp

This project was completed in Fall 2018 at a total estimated cost of \$12 million. Real estate proceeds and monies from the Centennial Lakes TIF fund were used to fund the capital investment. The final project includes 546 public parking stalls as well as 10,000 square feet of commercial space.

The street-level commercial space was sold to a private developer in October 2019. Basecamp Fitness and the Bar Method opened in 2020/2021. Soul Cycle is anticipated to open in 2022 after interior construction was paused by the pandemic.

3) 3945 Market Street – Nolan Mains / Center Ramp

This property was sold to a private developer in 2018 for construction of 100 rental apartments, 27,000 square feet of commercial space and reconstruction of the new Center Parking Ramp. The building is configured around a series of public walkways and plazas to create a vibrant pedestrian experience that engages the adjacent commercial properties. The project also includes shared trash rooms for use by adjacent businesses and extensive, utility improvements that benefit surrounding properties.

The HRA issued a \$10.1 million TIF Note that will begin to bear interest and be payable upon completion of the \$74 million project. With the support of the Edina Housing Foundation, the HRA also provided a low-interest loan to support 10 affordable rental units in the facility for a period of at least 15 years.

The TIF Certificate of Completion was issued in 2020.

Commercial leasing was hindered due to the pandemic. Five commercial tenants were completed in 2020. In 2021, additional businesses moved into the building: Clean Juice, dugo, Brooke & Lou, Scout, Sweet Science Ice Cream, Wild Ivy Boutique and Mr. Paul's Supper Club. Full occupancy is anticipated in 2022.

This year, the public plaza hosted a variety of special events and community activities. Additional events are planned in 2022.

4) 5146 Eden Avenue – former Public Works site

Efforts to redevelop the vacant site were renewed this year. In spring 2021, a proposal for new housing (United Properties), new medical office (Frauenshuh) and new public plaza was not well received. In response, Frauenshuh was engaged to represent the HRA and identify a restaurant group to supplement the United Properties housing concept and to activate a new public green space. A new concept for the vacant site is anticipated to be submitted for review in 2022.

5) Southdale Center Mall

Major renovations and improvements to the Southdale Center Mall were the impetus for the Southdale 2 TIF District established in 2012. Since the initial round of improvements were completed, many additional investments were made to revitalize and re-energize the 77-acre property. These include new apartments, new retail, new hotel, new fitness, new co-working and new restaurants. In 2021, most businesses re-opened after temporary closures caused by the pandemic. While customer traffic and sales are increasing, they have not yet normalized.

The former Herberger site (originally Donaldson's) remains vacant since the department store was closed in late summer 2018. Due to the pandemic, the anticipated proposal for new housing, new library and new retail has been paused. Hennepin County has withdrawn their interest in the site and paused plans to rebuild the Southdale Regional Library. Simon Properties, the property owner continues to explore several possibilities for re-use or redevelopment of the Herberger site. A new concept is likely to be unveiled in 2022.

6) Galleria Edina Shopping Center

Customer traffic and sales are recovering after the temporary closure caused by the pandemic. Several new leases have been executed. Hines, the current owner, intends to sell the property in 2021 or 2022.

While the Galleria is included in the boundaries of the Southdale 2 TIF District, all improvements have been privately financed.

7) 6600-6800 France Avenue - Southdale Office Center

After a proposal to redevelop the site was rejected in 2020, little progress has been made to reposition and enhance this 22-acre property. A previous study indicated that the site could qualify as a Redevelopment TIF District based on the age, configuration and condition of the existing buildings.

At this time, the facility remained leased to a wide variety of professional businesses, service providers and the Tavern on France restaurant. No redevelopment is anticipated at this time.

8) 3650 Hazelton – Bowers Residence

The former retail store on the 1.25-acre site was replaced with a new luxury high rise apartment building. The new building includes 167 market rate units. It was completed in 2021.

This project was privately financed with no HRA participation.

9) 7001 France Avenue – US Bank site

Orion Investment and Mortenson Development intend to redevelop the 5.7-acre site with a mixture of commercial and residential uses, including a modern facility for US Bank. The developer received preliminary zoning approval to redevelop the site by creating four separate parcels, each with a new building. The preliminary zoning was modified in 2021 to reduce development costs while retaining the multiple phased mixed-use vision for the site.

Due to the high cost of construction and redevelopment, the developer indicates that public financing is necessary to move forward. Staff has evaluated the developer's request as the site plan has evolved. The site qualifies as a 15-year Renewal and Renovation TIF District. The specific terms of public financing are being prepared for consideration. A proposed Term Sheet for TIF assistance is anticipated to be considered in early 2022.

10) 7200/7250 France Avenue

In 2019, the City & HRA established the 72nd & France Housing TIF District and entered into a Redevelopment Agreement with the developer. This agreement pledged \$12 million in future TIF payments after successful completion of the mixed use (housing/commercial) project that was entitled in 2018. The TIF pledge would reimburse the developer for eligible expenses associated with public benefits.

The developer has not been able to secure private funding for the project. Lenders and investors indicate that the project is not financially feasible in the current format. This project is in default with the TIF Agreement and its land use approvals have expired.

A new ownership group is emerging for this site. It is anticipated that they will present a new concept for the vacant site in 2022.

11) 3250 West 66th Street – Millennium of Southdale

After several delays, construction of this new apartment building began in 2019. The project was completed in 2021. It includes 227 new apartments. Most units are market-rate. The owner has agreed to make eleven of the units (5 percent) affordable.

While this property is located within the Southdale 2 TIF District, this project was privately financed with no HRA participation.

12) 6500 Barrie Road – Medical Office Building

This vacant office building is proposed to be demolished and redeveloped with a similar commercial building. The proposed building is proposed to be a two story medical office building with underground parking. This proposal received preliminary zoning approval in 2021. Construction is anticipated in 2022.

While this property is located within the Southdale 2 TIF District, this project is expected to be privately financed with no HRA participation.

13) 4040 West 70th Street

The Edina Housing Foundation acquired this 1.58-acre site and selected Lupe Development Partners and Ecumen through a competitive RFQ process to build affordable senior housing. The HRA provided a \$3.65M loan to acquire the property. This loan can be forgiven if the Foundation enters into a 99-year ground lease instead of selling the property to the developer. This method assures long-term affordability. The City Council approve the site plan and the creation of the TIF district in 2021. The developer is working on securing bond financing together with 4% low income housing tax credits. A start date is not yet established.

14) 4100 West 76th Street – The Sound on 76

The HRA acquired the property in August 2019 and sold it to Aeon in 2021. The HRA also executed a TIF Redevelopment Agreement to support the construction of new affordable housing on the site. Financing closed in January 2021 at which time construction commenced. The construction is roughly 70% complete with anticipated completion in March 2022. Aeon is accepting names of interested tenants.

15) Pentagon Park South – Pentagon Village

The HRA executed a Redevelopment Agreement with the developer to support complete redevelopment of the 12-acre property. The infrastructure (roadways, structured parking and plaza) and retail buildings were completed in 2019 and three TIF notes were issued with a total principal amount of \$18.1 million. Interest began to accrue on the first Note.

2020 was a particularly challenging year for Pentagon Village. The COVID-19 pandemic delayed additional progress on the site. In 2021, the developer secured zoning approvals to replace the extended-stay hotel with a new apartment building. This new building is expected to be constructed in 2022.

These delays have little impact on the HRA. Until milestones identified in the Redevelopment Agreement are achieved, the TIF Notes will not be payable.

16) Pentagon North

Solhem Development has purchased a 5.4 acre site located at 4660 W. 77th Street and secured entitlements for a new apartment complex. The building will be 7 levels above ground with a below grade parking level. The site is approved for up to 408 market-rate apartments with 570 on-site parking stalls.

The two vacant office buildings on this parcel are in the process of being demolished. New construction is anticipated to begin in Spring 2022.

While this property is located within the Pentagon Park TIF District, this project was privately financed with no HRA participation.

17) Edina Theater

In 2021, City staff assisted the owner to identify a new operator of the vacant facility after the previous tenant departed. The City and HRA pledged up to \$500,000 in total support to the owner and operator in order to renovate the facility to meet the expectations of customers in a post-pandemic economy.

A \$200,000 ARPA grant is anticipated for the property owner. A \$300,000 forgivable loan is anticipated for the operator. Agreements are anticipated to be executed in Spring 2022.

18) 7075 Amundson Avenue

The HRA acquired 7075 Amundson from the Edina Housing Foundation at the asking price of \$1.3M and sold to MWF Properties for \$600,000. This transaction was facilitated through the creation of a new Housing TIF District. This write-down helped fill a funding gap and allowed MWF to maximize points on their Low Income Housing Tax Credit application. The project includes 62 new apartments leased at affordable rates for 40 years. The project was completed and fully occupied in 2021. The property management company reported that there was more interest in this building than others they manage.

19) 4917 Eden Avenue Apartments

The HRA entered into a TIF Redevelopment Agreement with Reuter Walton to assist redevelopment of a commercial building and to deliver improvements to the surrounding roadways. After the \$85 million dollar project is completed, the HRA intends to issue a \$5.1 million TIF Note that is payable over 15 years from a portion of the incremental taxes generated by the completed project. The additional incremental taxes are intended to fund public improvements to Eden Ave, Grange Road, Willson/Grange/Eden intersection and W. 50th Street.

OTHER HRA-RELATED ACTIVITIES

20) Special Projects and Redevelopment Capital (SPARC) Fund

In 2021, a new economic development program was created to attract new private investment to Edina. This program is funded from \$9.3 million of incremental property taxes that have already been collected in the Southdale 2, Pentagon Park and 70th & Cahill TIF Districts. No additional tax levy is required to fund this program. Staff will oversee the administration of this program.

In accordance with Minnesota statute, these funds can be used to support new private investment that creates permanent or temporary jobs during the construction of a new building or renovation of an existing building. All funds are intended to be invested no later than December 31, 2025.

21) CARES and ARPA Support for Small Businesses

In response to the economic impact of the COVID-19 pandemic, the HRA created a Small Business Emergency Assistance Program in 2020 to provide forgivable loans to small businesses suffering negative impacts. These local funds were replaced and enhanced with federal CARES funding. Eventually, 52 local businesses were supported in 2020.

A more targeted program was applied using federal ARPA funds in 2021.

Grants for \$100,000 each were provided to the Edina Chamber of Commerce and the 50th & France Business and Professional Association in 2021. These funds are intended to address the massive revenue decline these groups are facing during the pandemic.

A grant for \$200,000 was pledged to the owner of the Edina Theater. These funds are intended to address the complete loss of revenue during the pandemic. With this local support, it is anticipated that the owner will renovate the facility to attract a new tenant and new customers. The grant is anticipated to be awarded in Spring 2022.

An additional \$200,000 was pledged to provide marketing services to local small businesses using third-party consultants. These funds are intended to assist local brick and mortar businesses as they reconnect with local customers as well as online customers.

22) Open to Business Program

The HRA continues to partner with the Metropolitan Consortium of Community Developers (MCCD) to provide free business consulting services for start-up businesses or expanding businesses located within Edina. These services are also provided to Edina residents regardless of where the business may eventually be located. The \$5,000 annual contribution from the HRA supplements funding provided from Hennepin County.

Staff recommends that Edina continue to participate in this program in 2022.

23) Emergency Rental Assistance Program

To protect residents faced with job loss or other hardship due to the COVID-19 pandemic, the HRA created an Emergency Rental Assistance Program. This program is operated by VEAP.

Originally, the funding came from Edina's Affordable Housing Trust Fund. Up to \$500,000 was pledged.

From January through September 30, VEAP served 174 Edina residents with household sizes ranging from 1 person to over 7 people. 100% of the households reported incomes of less than 50% of the Area Median Income.

In November ARPA funds were allocated reimburse the Trust Fund and to continue funding of this program.

24) Come Home to Edina Program

The Come Home 2 Edina program closed nine loans in 2021, down from 13 in 2020. Of these loan over half were to BIPOC households.

The Edina Housing Foundation launched a new program to assist household who have not benefitted from growing up in owner occupied homes. The First Generation homebuying program provides an additional \$15,000 in a forgivable loan to first generation homebuyers.

25) Community Land Trust program - WHAHLT

In 2021 the HRA approved an addition \$2M (for a total of \$3.3 Million) line of credit with the West Hennepin Affordable Housing Land Trust (WHAHLT). A portion of this will be returned to the City, and a portion will remain with the property. With these funds, WHAHLT acquired five houses in Edina thus far, two of which have been sold to income eligible homebuyers. WHAHLT anticipates buying up to 7 additional homes in 2022.

26) Affordable Single Family Homes – Metro HRA

In 2021 the HRA entered into a forgivable loan agreement with Metropolitan Council's Metro HRA for \$2 Million for the Metro HRA to acquire, rehabilitate and place houses into their Family Affordable Housing program. The first house was acquired in Edina in December 2021. Three additional homes are expected to be purchased in 2022.

FORECAST OF 2022 ACTIVITIES

The staff work plans for 2022 tentatively include these redevelopment, affordable housing and economic development activities:

- Develop enhanced program to encourage preservation of NOAH properties
- Administer and enhance programs to preserve and grow single family homeownership opportunities: Home preservation program, housing rehab program, Come Home 2 Edina, First Generation Homebuyer program.
- Increase number of affordable multifamily rental opportunities through land acquisition and partnering with a developer
- Manage Just Deeds program
- Manage ARPA Comcast program for low-income households
- Work with Edina Health Department on developing program for Multifamily managers and residents.
- Outreach to larger Edina employers to identify housing needs of employees
- Preserve and enhance affordable housing, especially near bus service routes, to prevent displacement of vulnerable populations.
- Create a community-wide Clean Energy Equity plan to support low-income residents and small organizations in purchasing renewable energy.
- Update policy and process for use of Tax Increment Financing and other financial participation
- Explore viability of equity and inclusion goals when TIF and other public financing is included in private projects
- Manage site selection process and land acquisition for new Fire Station #2
- Manage SPARC program to invest in new private development projects; identify projects to invest approximately 75% of available funds by year end 2022
- Manage redevelopment planning for vacant site at 5146 Eden Ave, including transaction agreements for private elements
- Continue discussions with property owners to determine viability of district parking at 44th & France neighborhood node
- Update webpage and online presence to attract new business and new tenants
- Conduct 6 business retention visits
- Initiate regular communications with local businesses

Prepared January 4, 2022

Exhibit A – Map of Active TIF Districts

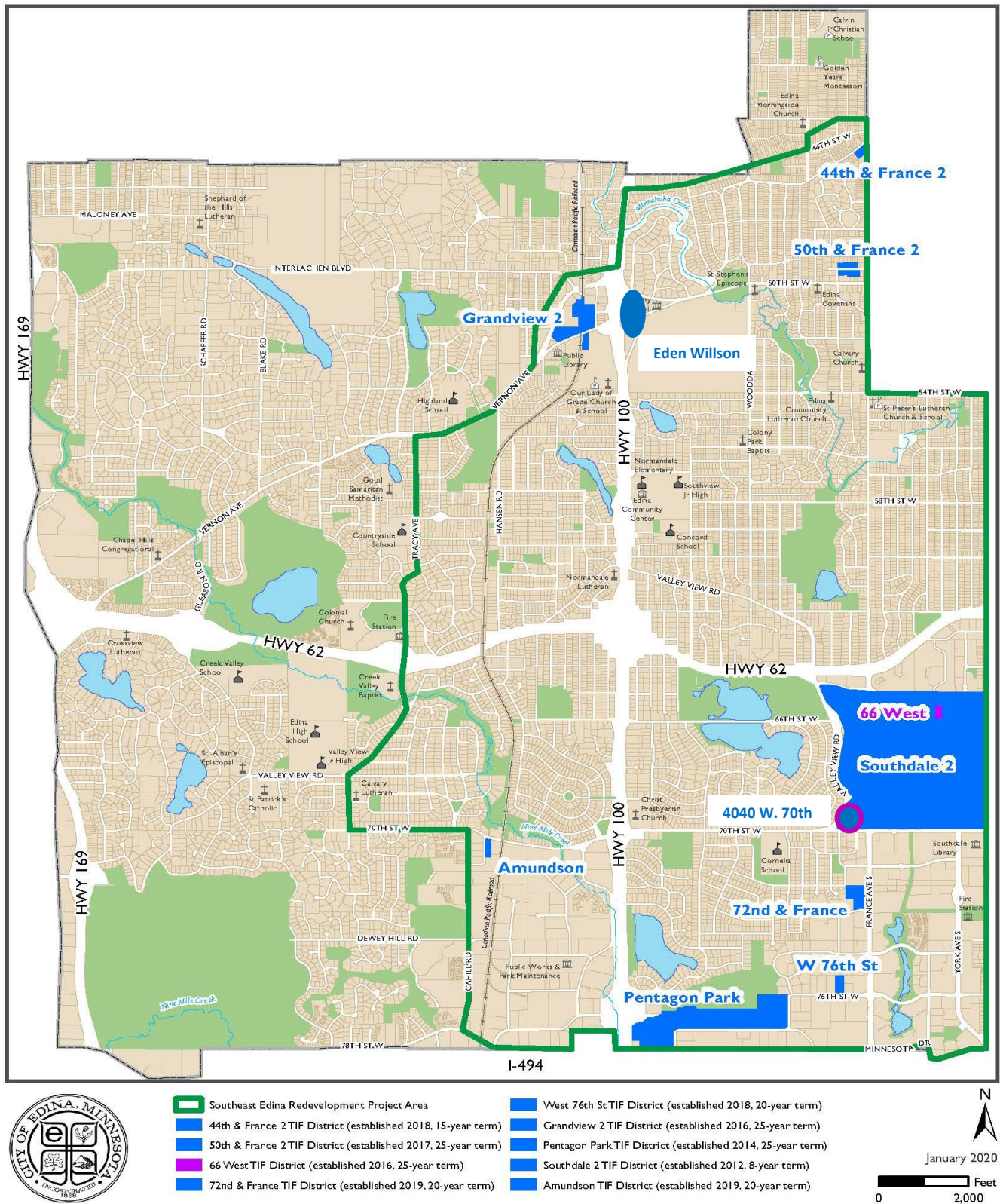


Exhibit B – Use of TIF in Edina

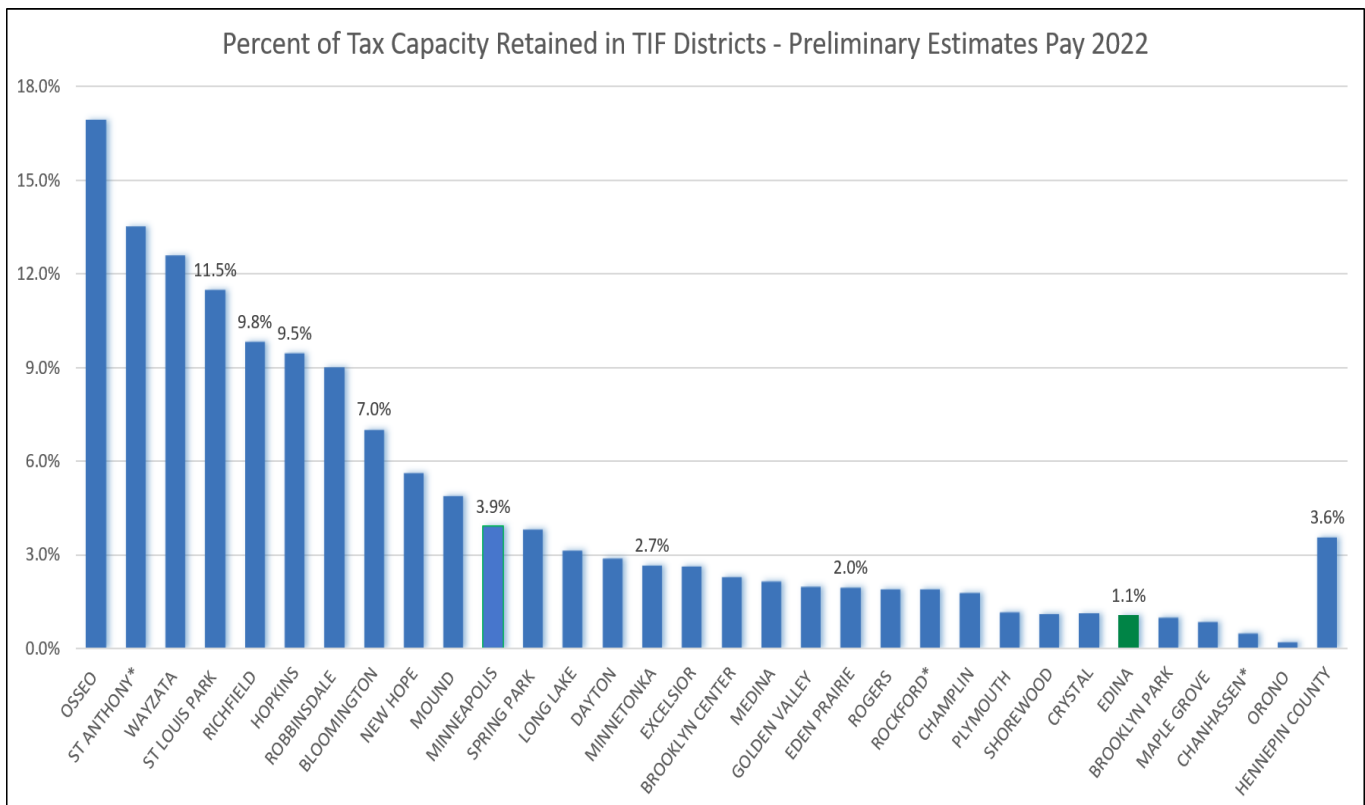
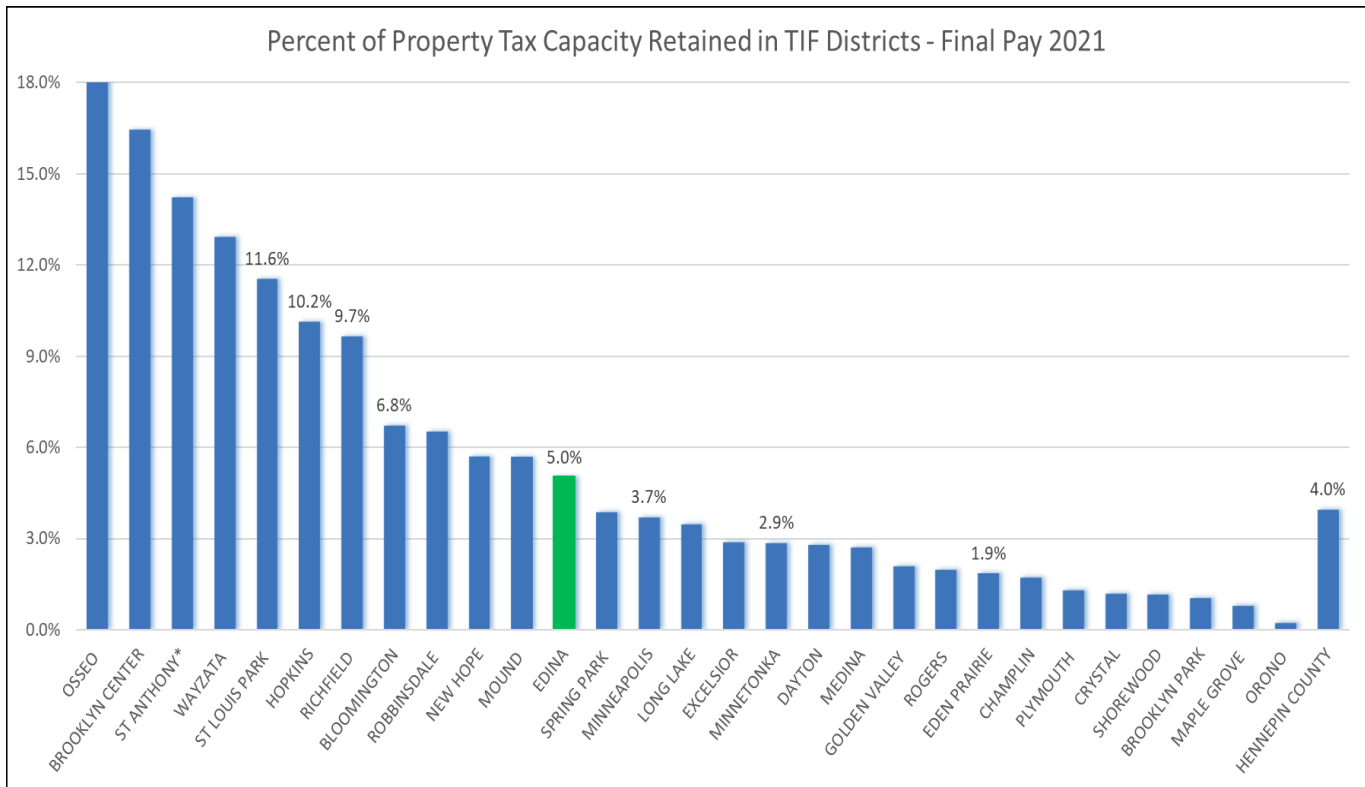
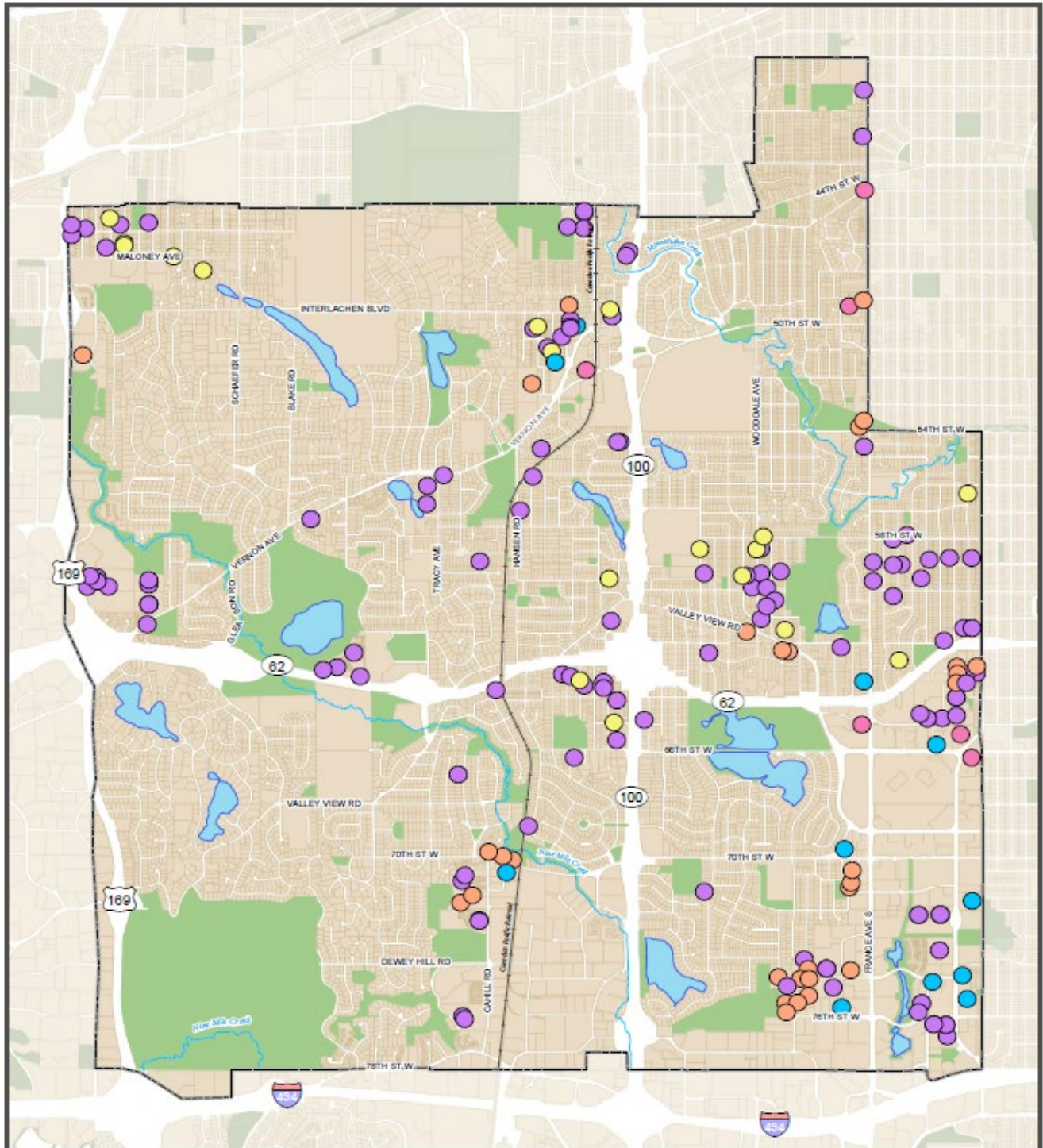
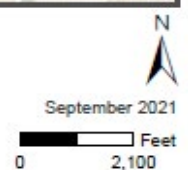


Exhibit C – Map of Affordable Housing Locations



- 100% Affordable
- Mixed Market and Affordable
- NOAH Properties (include <60% of AMI rents)
- Come Home 2 Edina
- Land Trust Homes





Edina Housing and Redevelopment
Authority
Established 1974

CITY OF EDINA
HOUSING & REDEVELOPMENT
AUTHORITY

4801 West 50th Street
Edina, MN 55424
www.edinamn.gov

Date: January 6, 2022

Agenda Item #: VIII.B.

To: Chair & Commissioners of the Edina HRA

Item Type:
Report / Recommendation

From: Scott H. Neal, City Manager

Item Activity:
Information

Subject: By-Law Review

ACTION REQUESTED:
None.

INTRODUCTION:

The By-Laws of the Housing and Redevelopment Authority are reviewed on an annual basis. Staff recommends no amendments to the by-laws at this time.