

Agenda
Heritage Preservation Commission
City Of Edina, Minnesota
Community Room-City Hall

Tuesday, July 9, 2019
7:00 PM

- I. Call To Order
- II. Roll Call
- III. Approval Of Meeting Agenda
- IV. Approval Of Meeting Minutes
 - A. June 11th HPC Minutes
- V. Community Comment

During "Community Comment," the Board/Commission will invite residents to share relevant issues or concerns. Individuals must limit their comments to three minutes. The Chair may limit the number of speakers on the same issue in the interest of time and topic. Generally speaking, items that are elsewhere on tonight's agenda may not be addressed during Community Comment. Individuals should not expect the Chair or Board/Commission Members to respond to their comments tonight. Instead, the Board/Commission might refer the matter to staff for consideration at a future meeting.

- VI. Reports/Recommendations
 - A. Certificate Of Appropriateness: 4531 Bruce Avenue
 - B. 2020 Work Plan
- VII. Chair And Member Comments
- VIII. Staff Comments
- IX. Adjournment

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 72 hours in advance of the meeting.



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: July 9, 2019

Agenda Item #: IV.A.

To: Heritage Preservation Commission

Item Type:

Minutes

From: Emily Bodeker, Assistant City Planner

Item Activity:

Subject: June 11th HPC Minutes

Action

ACTION REQUESTED:

Approve the June 11, 2019 HPC Minutes.

INTRODUCTION:

ATTACHMENTS:

June 11, 2019 HPC Minutes



Minutes
City Of Edina, Minnesota
Heritage Preservation Commission
Edina City Hall
Tuesday, June 11, 2019

I. Call To Order

Chair Birdman called the meeting to order at 7:06 p.m.

II. Roll Call

Answering roll call was Chair Birdman and members, Lonquist, Aderhold, Davis, Widmoyer, Nymo, and Blake. Staff Liaison, Emily Bodeker and Preservation Consultant Robert Vogel were also in attendance.

III. Approval Of Meeting Agenda

Motion was made by Nymo seconded by Lonquist to approve the meeting agenda as amended. All voted aye. The motion carried.

IV. Approval Of Meeting Minutes

Motion by Lonquist seconded by Aderhold to approve the meeting minutes with the changes as presented. All voted aye. The motion carried.

V. Community Comment: None

VI. Reports/Recommendations

A. Archeology Grant Report

Archeology consultant, Jeremy Nienow presented the Archeological Phase Ia Literature Review and Predictive Model Data Report. Nienow's presentation concluded the Archeological Grant presentations, the recommendations and future action would likely be worked into a future HPC work plan which is ultimately approved by Council.

B. Process for Landmark Designation

Liaison Bodeker informed the Commission that Morningside Community Church has requested the City move forward with designating their property. Bodeker explained the process for Designating Landmark properties and informed the Commission that they will see that project come to them in the future months.

VII. Chair and Member Comments:

The Commission requested an update on 4602 Browndale Avenue. There was a stop work order placed on the permit. After discussing with the City Attorney, the City asked the applicant to provide information to show that 50% of the surface area of the exterior

walls did remain. Staff verified the calculations submitted. The roof that was removed will not change pitch, shape or height and therefore the home is not considered a demolition based on the Plan of Treatment.

VIII. Staff Comments:

Staff Liaison Bodeker informed the Commission on the following dates:

- September 17, 2019:** Heritage Preservation Commission Joint Work Session with City Council
- **October 1, 2019:** BC Annual Work Plan Meeting-Chair Presentations

IX. Adjournment

Motion made by Davis to adjourn the June 11, 2019 meeting at 8:35 p.m. Motion seconded by Lonquist. Motion carried.

Respectfully submitted,
Emily Bodeker



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: July 9, 2019

Agenda Item #: VI.A.

To: Heritage Preservation Commission

Item Type:
Report and Recommendation

From: Emily Bodeker, Assistant City Planner

Item Activity:

Subject: Certificate Of Appropriateness: 4531 Bruce Avenue

Action

ACTION REQUESTED:

Approve the certificate of appropriateness for 4531 Bruce Avenue for changes to the front façade.

INTRODUCTION:

The subject property, 4531 Bruce Avenue is located at the northeast corner of Bruce Avenue and Bridge Street. The home is a two-story colonial revival style, built in 1934.

The Certificate of Appropriateness request entails additions to the home that are visible from Bridge Street. The project includes two additions to the Bridge street façade of the existing home.

One proposed addition is to the second floor above an existing first floor porch, the second is a one stall garage addition adjacent to the existing attached two stall garage. Both of the proposed additions will match the existing materials of the home.

ATTACHMENTS:

Staff Report

Vogel Memo

Applicant Submittal

Aerial Map



Date: July 9, 2019

To: Heritage Preservation Commission

From: Emily Bodeker, Assistant City Planner

Subject: Certificate of Appropriateness: 4531 Bruce Avenue-Changes to Street Facing Facades

Information / Background:

The subject property, 4531 Bruce Avenue is located at the northeast corner of Bruce Avenue and Bridge Street. The home is a two-story colonial revival style, built in 1934.

The Certificate of Appropriateness request entails additions to the home that are visible from Bridge Street. The project includes two additions to the Bridge street façade of the existing home.

One proposed addition is to the second floor above an existing first floor porch, the second is a one stall garage addition adjacent to the existing attached two stall garage. Both of the proposed additions will match the existing materials of the existing house.

The proposed additions and project meets all of the City's setbacks, alternate setbacks, lot coverage, and zoning requirements of the City's code.

Primary Issues:

The proposed building addition will be visible one of the street facades of the subject property which is why this project requires a Certificate of Appropriateness. The District plan of treatment recommends rehabilitation as the most appropriate treatment for historic homes in the Country Club District. The general standards outlined in the plan of treatment allow for the construction of structural additions provided the new work is architecturally compatible with the historic house and other historic homes in the neighborhood.

Preservation Consultant Robert Vogel's Comments:

“The subject property is a two-story Colonial revival style residence built in 1934. A large flat-roofed rear addition was built in 1986 (before COAs were required for new construction). The house is not individually eligible for heritage landmark designation but contributes to the historic significance and integrity of the district as a whole and is therefore considered a heritage preservation resource. The owner proposed to construct two small structural additions.

By ordinance, COAs are required for new construction in the Country Club District. Although the district plan of treatment does not provide specific guidelines for design review of structural additions, the Secretary of the Interior's Standards for the Treatment of Historic Properties (the required basis for COA decisions) include guidelines for applying the general standards for rehabilitation to these types of projects. In my professional opinion, the proposed additions would be appropriate because the addition built in 1986 has not acquired historic significance in its own right, therefore no significant historic architectural features will be altered or destroyed. As defined in the city's preservation ordinance, rehabilitation can include alterations so long as the new work preserves those portions of a property which are significant to its historical and architectural values. Based on the plans presented with the COA application, neither addition will substantially alter the scale, proportions and massing of the existing house. Because they will be located on a secondary elevation, the proposed alterations will have minimal impact on the historic character of the district as a whole. The project narrative indicates the new work will be visually compatible with the architectural character of the 1934 house. Therefore, I recommend approval of the COA.”

Staff Recommendation & Findings:

Staff concurs with Consultant Vogel's evaluation of the proposed plans for the addition at 4531 Bruce Avenue, also recommending approval of the Certificate of Appropriateness request.

Findings supporting the recommendation include:

- The plans provided with subject request clearly illustrate the scale and scope of the proposed projects.
- The proposed addition would not detract with the historic character of the house.
- The information provided supporting the subject Certificate of Appropriateness meets the requirements of the Zoning Ordinance and the Country Club District Plan of Treatment.

Conditions for approval:

- The plans presented

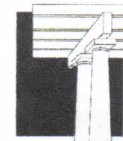
MEMORANDUM

TO: Emily Bodeker, Assistant City Planner
FROM: Robert Vogel, Preservation Planning Consultant
DATE: June 24, 2019
SUBJECT: COA for 4531 Bruce Avenue

I have reviewed the plans and supporting documents provided in relation to the COA application for alteration of the house located at 4531 Bruce Avenue in the Country Club District.

The subject property is a two-story Colonial Revival style residence built in 1934. A large flat-roofed rear addition was built in 1986 (before COAs were required for new construction). The house is not individually eligible for heritage landmark designation but contributes to the historic significance and integrity of the district as a whole and is therefore considered a heritage preservation resource. The owner proposes to construct two small structural additions.

By ordinance, COAs are required for new construction in the Country Club District. Although the district plan of treatment does not provide specific guidelines for design review of structural additions, the Secretary of the Interior's Standards for the Treatment of Historic Properties (the required basis for COA decisions) include guidelines for applying the general standards for rehabilitation to these types of projects. In my professional opinion, the proposed additions would be appropriate because the addition built in 1986 has not acquired historic significance in its own right, therefore no significant historic architectural features will be altered or destroyed. As defined in the city's preservation ordinance, rehabilitation can include alterations so long as the new work preserves those portions of a property which are significant to its historical and architectural values. Based on the plans presented with the COA application, neither addition will substantially alter the scale, proportions and massing of the existing house. Because they will be located on a secondary elevation, the proposed alterations will have minimal impact on the historic character of the district as a whole. The project narrative indicates the new work will be visually compatible with the architectural character of the 1934 house. Therefore, I recommend approval of the COA.



ARCHOS

ARCHITECTURE DESIGN, P.A.

JUNE 04, 2019

APARNA & PUNEET NARANG

4531 BRUCE AVENUE

EDINA, MN

55424

RE: EDINA HERITAGE PRESERVATION BOARD
CERTIFICATE OF APPROPRIATENESS:
COUNTRY CLUB DISTRICT
CHANGES TO THE STREET FACING FACADES

ARCHOS ARCHITECTURE & DESIGN, P.A.
CUSTOM HOME ADDITION/ REMODEL

▪ **PROJECT NARRATIVE:**

THE EXISTING HOME AT 4531 BRUCE AVENUE IS A COLONIAL STYLED HOME BUILT IN 1934. THE STYLE OF THE HOME IS TYPICAL OF HOMES ON THIS STREET AND IN THE AREA. A LARGE ADDITION WAS ADDED TO THE BACK OF THE HOME IN 1986 BY A PREVIOUS OWNER. THE ADDITION IS (AT THE TIME) A MODERN INTERPRETATION OF THE COLONIAL STYLE. THIS ADDITION REQUIRED A VARIANCE TO RECEIVE A BUILDING PERMIT.

IT IS THE INTENT OF THE ADDITION AND REMODEL IS TO ADD INTERIOR SQUARE FOOTAGE TO MAKE THE HOME TO MEET THE NEW OWNER'S NEEDS. THERE ARE TWO ADDITIONS PROPOSED: A SECOND FLOOR MASTER BATH AND AN AT-GRADE LEVEL, ONE STALL GARAGE WITH A DECK ABOVE.

THE FIRST ADDITION IS AT THE SECOND FLOOR, TO BE CONSTRUCTED OVER AND EXISTING FIRST FLOOR PORCH. THE CURRENT PORCH, ADDED IN 1986, HAS A FLAT ROOF PARAPET. THE ADDITION WILL MATCH THE EXISTING SIDING AND WINDOW STYLES. THE ROOF WILL BE A HIPPED ROOF TO RECEDE BACK INTO THE EXISTING ROOF STRUCTURE. THE EXTERIOR DESIGN INTENT IS TO MAINTAIN THE PROMINENCE OF THE EXISTING GABLE END OF THE ORIGINAL COLONIAL HOME. THE INTERIOR SPACE WILL ENLARGE THE MASTER BEDROOM SUITE AND CREATE A MASTER BATH AND MASTER CLOSET.

THE SECOND ADDITION IS THE ONE STALL GARAGE ADJACENT TO THE EXISTING, ATTACHED TWO STALL GARAGE. ON THE EXTERIOR OF THE HOME, THE GARAGE ADDITION WILL BE LOCATED AT THE CURRENT RAISED DECK. THE NEW

1039 NEBRASKA AVENUE WEST
ST. PAUL, MN 55117

651-489-3529, (c) 651-245-8401
MIKEECKARDT@COMCAST.NET

CONSTRUCTION WILL MATCH THE EXTERIOR SIDING AND GARAGE DOOR. IT WILL HAVE A FLAT ROOF DECK WITH METAL RAILING. THE CURRENT TWO STALL GARAGE IS TOO TIGHT TO MANEUVER ON THE INSIDE, AND DOES NOT PROVIDE ENOUGH STORAGE. THE INTERIOR SPACE CREATED WILL GIVE THE OWNERS STORAGE FOR VEHICLES, KID'S TOYS AND OTHER GARAGE RELATED STORAGE.

THE ADDITION/ REMODEL DESIGN PROPOSED FOR THE HOME INTENDS TO CARRY THE FEATURES AND DETAILS OF THE ORIGINAL COLONIAL STYLE FROM THE FRONT FAÇADE (BRUCE AVENUE) AROUND TO THE NEW CONSTRUCTION. ARCHOS ARCHITECTURE & DESIGN, P.A. HAS APPEARED BEFORE THE EDINA HERITAGE PRESERVATION BOARD FOR OTHER CLIENTS IN THE COUNTRY CLUB NEIGHBORHOOD AND IN THE CITY. ARCHOS IS KNOWN IN EDINA FOR WORK THAT IS RESPECTFUL OF THE CLASSIC STYLES. IT HAS BEEN THE GOAL OF THE OWNERS AND MY COMPANY TO DESIGN ALTERATIONS TO THIS HOME THAT ARE APPROPRIATE TO THE ARCHITECTURAL STYLES IN THE AREA. APARNA & PUNEET NARANG ALONG WITH ARCHOS ARCHITECTURE & DESIGN, P.A. RESPECTFULLY SUBMITS THE FOLLOWING DESIGN FOR 4531 BRUCE AVENUE TO THE EDINA HERITAGE PRESERVATION BOARD FOR CERTIFICATE OF APPROPRIATENESS APPROVAL.

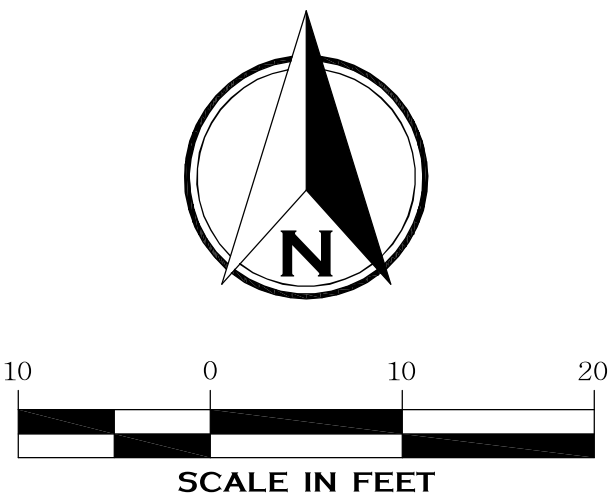
SINCERELY,

MICHAEL J. ECKARDT, ARCHITECT/ OWNER

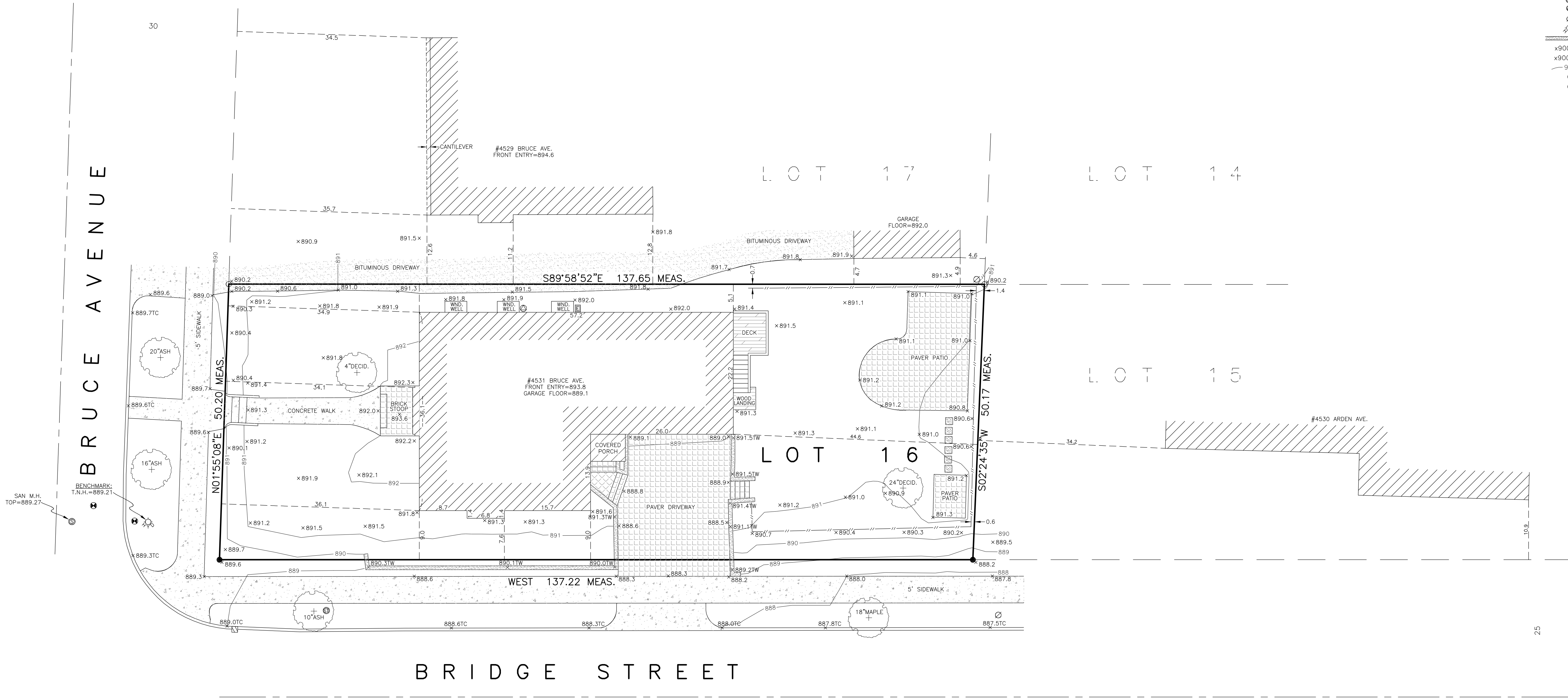


ARCHOS
ARCHITECTURE & DESIGN, P.A.

EXISTING CONDITION SURVEY FOR:
FRED NORDAHL



- LEGEND
- Fence
 - Electric Meter
 - Sanitary Manhole
 - Gas Meter
 - Power Pole
 - Hydrant
 - Stone Retaining Wall
 - Top of Curb Elevation
 - Top of Wall Elevation
 - Existing Contour
 - Found Iron Monument
 - Set Iron Monument
 - Inscribed R.L.S. 15230



LOT COVERAGE CALCULATION:

Lot Area = 6,892 SF

COVERAGE:

House = 1,713 SF
Patios = 384 SF
Deck = 52 SF

ALLOWANCES:

Patio/Deck = -150 SF

Total = 1,999 SF
= 29.0%

30% Maximum Allowable Lot Coverage

NOTES:

- All existing building dimensions are measured to the finished siding and not the building foundation.

- No search was made for any easements.

- The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

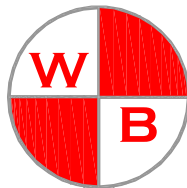
JOB NO.	SCALE	DATE	REVISIONS	SITE ADDRESS
131-19	1" = 10'			4531 Bruce Ave. Edina, MN 55424
BOOK/PAGE	DRAWN		REMARKS	PROPERTY DESCRIPTION
160/41	CME			Lot 16, Block 3, COUNTRY CLUB DISTRICT FAIRWAY SECTION, Hennepin County, Minnesota.
SHEET	REFERENCE			BENCHMARK
1 of 1				T.N.H. at the northeast corner of of Bruce Ave. and Bridge St. Elevation = 889.38.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown DATED: 06-12-2019

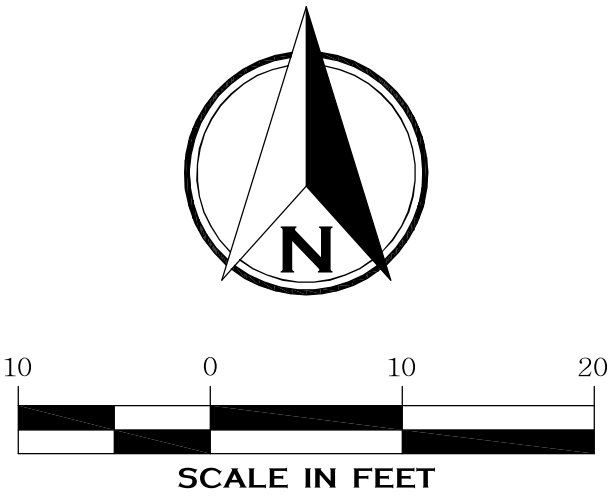
WOODROW A. BROWN, R.L.S. MN REG 15230



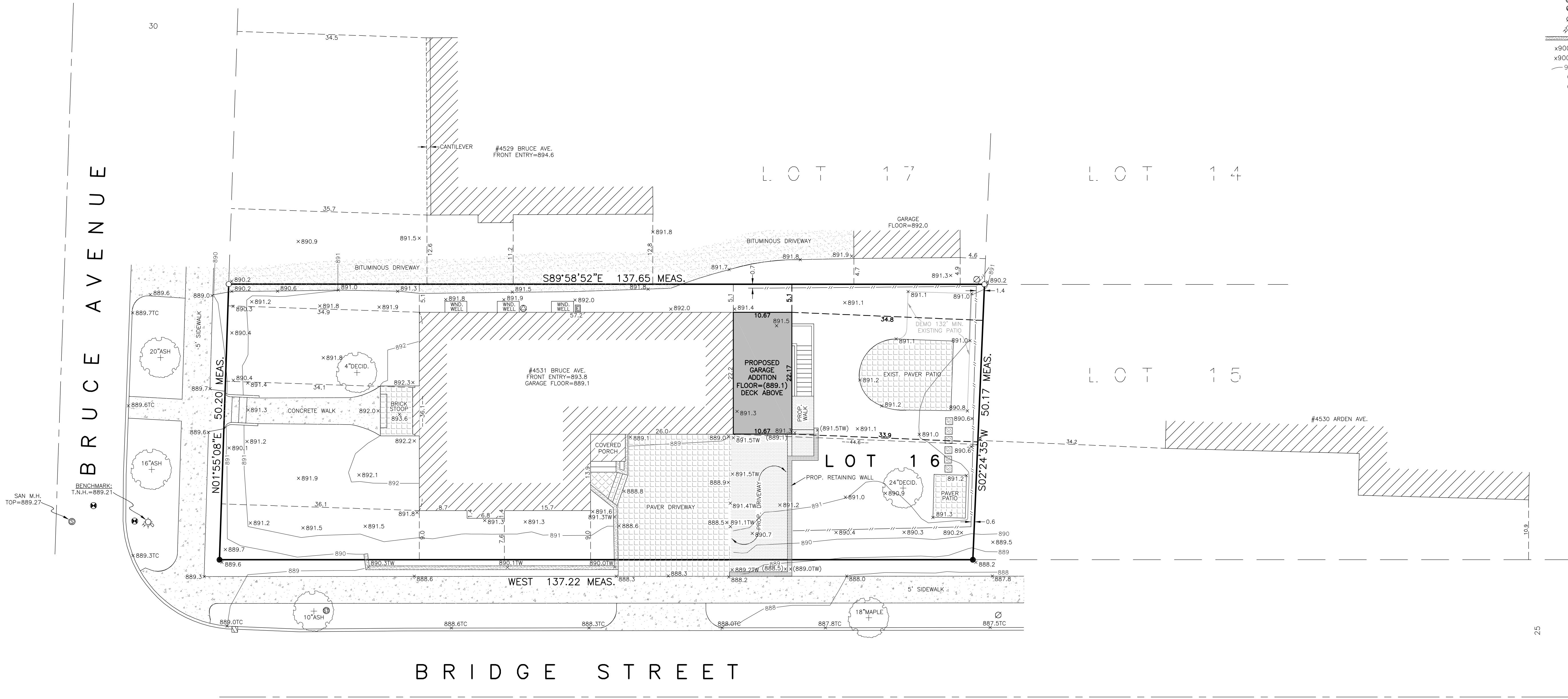
W. BROWN LAND SURVEYING, INC.

8030 CEDAR AVENUE SO., SUITE 228.
BLOOMINGTON, MN 55425
Bus: (952) 854-4055
Fax: (952) 854-4268
EMAIL: INFO@WBROWNLANDSURVEYING.COM

EXISTING CONDITION SURVEY
WITH PROPOSED GARAGE ADDITION FOR:
FRED NORDAHL



LEGEND	
	Fence
	Electric Meter
	Sanitary Manhole
	Gas Meter
	Power Pole
	Hydrant
	Stone Retaining Wall
	Top of Curb Elevation
	Top of Wall Elevation
	Existing Contour
	Found Iron Monument
	Set Iron Monument
	Inscribed R.L.S. 15230



LOT COVERAGE CALCULATION:

Lot Area = 6,892 SF

COVERAGE:

House = 1,713 SF
Existing Patios = 384 SF
Demo Portion of Existing Patio = -132 SF
Demo Existing Deck = 0 SF
Proposed Garage Addition = 236 SF
Proposed Deck Landing = 16 SF

ALLOWANCES:

Patio/Deck = -150 SF

Total = 2,067 SF
= 30.0%

30% Maximum Allowable Lot Coverage

NOTES:

- All existing building dimensions are measured to the finished siding and not the building foundation.

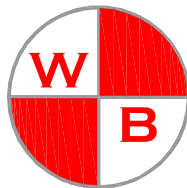
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JOB NO.	SCALE	REVISIONS		SITE ADDRESS 4531 Bruce Ave. Edina, MN 55424 PROPERTY DESCRIPTION Lot 16, Block 3, COUNTRY CLUB DISTRICT FAIRWAY SECTION, Hennepin County, Minnesota. BENCHMARK T.N.H. at the northeast corner of of Bruce Ave. and Bridge St. Elevation = 889.38.
131-19A	1" = 10'	DATE	REMARKS	
BOOK/PAGE 160/41	DRAWN CME			
SHEET 1 of 1	REFERENCE			

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.
W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown, R.L.S. MN REG 15230
DATED: 06-17-2019



W. BROWN LAND SURVEYING, INC.
8030 CEDAR AVENUE, SO., SUITE 228.
BLOOMINGTON, MN 55425
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EMAIL: INFO@WBROWNLANDSURVEYING.COM

NARANG RESIDENCE:

CUSTOM HOME,
ADDITION/ REMODEL

APARNA & PURNEET NARANG

4531 BRUCE AVENUE
EDINA, MN 55424

PERMIT
CONSTRUCTION DOCUMENTS
04 - 08 - 2019

ALLOWABLE LOT COVERAGE:

EXISTING PROPERTY AREA-

50.00' X 137.36' = 6,818 SQ. FT.

ALLOWABLE (BUILDING) LOT COVERAGE-

6,818 SQ. FT. X 30% = 2,045 SQ. FT.

OR NO GREATER THAN: 2,250 SQ. FT.

EXTG. HOUSE- 1,696 SQ. FT.

E. PORCH- 30 SQ. FT.

E. STOOPS (OVER 50 SF.) - 0 SQ. FT.

GARAGE/STAIR ADDITION - 284 SQ. FT.

TOTAL- 2,010 SF

Drawing Index

A0.1. Title Sheet/ Site Plan

A1.0. Existing & Proposed:
Basement/ Foundation Plans
& Wall Section Detail

A1.1. Basement/ Foundation Plan

A2.0. Existing, Proposed &
Braced Wall Panel:
First Floor Plans

A2.1. First Floor Plan

A3.0. Existing, Proposed &
Braced Wall Panel:
Second Floor Plans

A3.1 Second Floor Plan

A4.0 Braced Wall Panel Details

A4.1 Roof Plan

A5.1. Exterior Elevation

A5.2. Exterior Elevation

A5.3. Exterior Elevation

A6.1. Building Section

A6.2. Building Section

A6.3. Building Sections

A7.1. Interior Elevations

BUILDING AREA TABULATION (INTERIOR):

EXTG. BASEMENT- 989 SQ. FT.

EXTG. FIRST FLOOR- 1,224 SQ. FT.

FIRST FLOOR INTR. ADD'TN.- 58 SQ. FT.

EXTG. SECOND FLOOR- 1,596 SQ. FT.

SECOND FLOOR ADDITION- 99 SQ. FT.

TOTAL - 3,966 SQ. FT.

GARAGE ADDITION- 200 SQ. FT.

ROOF DECK ADDITION- 252 SQ. FT.

ALLOWABLE AREA OVERAGES:

50 SQ. FT. ALLOWED FOR STOOPS, 150 SQ. FT.

ALLOWED FOR SURFACE PATIO, CONCRETE WALKS

NOT INCLUDED. DRIVEWAY NOT INCLUDED.

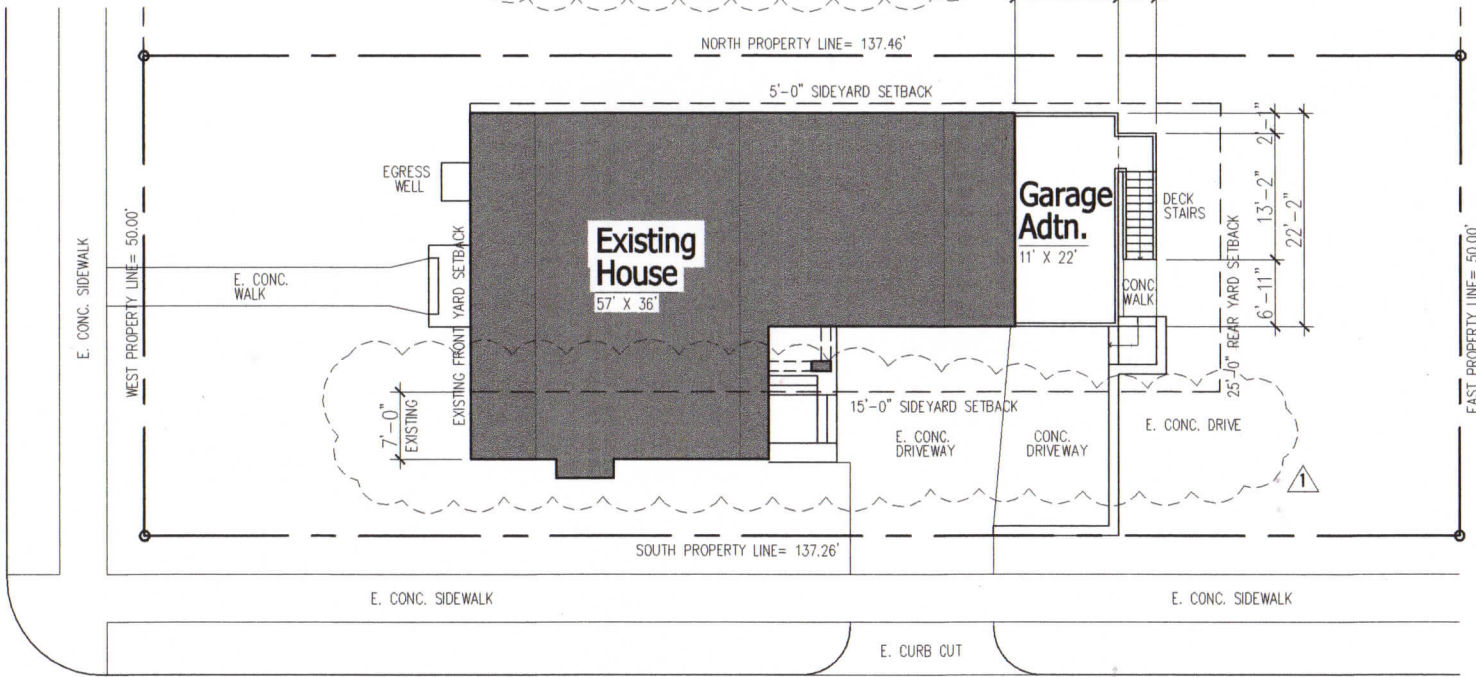
OVERHANGS AND CANOPIES NOT INCLUDED.

EXISTING SECOND FLOOR NONCONFORMING SETBACK:

EXTG. SECOND FLOOR AREA (24' X 7')- 168 SQ. FT.

ADDITION (7' X 7')- 49 SQ. FT.

Bruce Avenue



Bridge Street

1 Site Plan- Proposed

1" = 10' - 0"

HALF SCALE

North

SHEET:

A0.1

REV #1 - EXTG. SETBACK: 05-28-2019

NARANG RESIDENCE
CUSTOM HOME-ADDITION/REMODEL
APARNA & PURNEET NARANG
4531 BRUCE AVENUE
EDINA, MN 55424

PERMIT
CONSTRUCTION SET:
04 - 08 - 2019

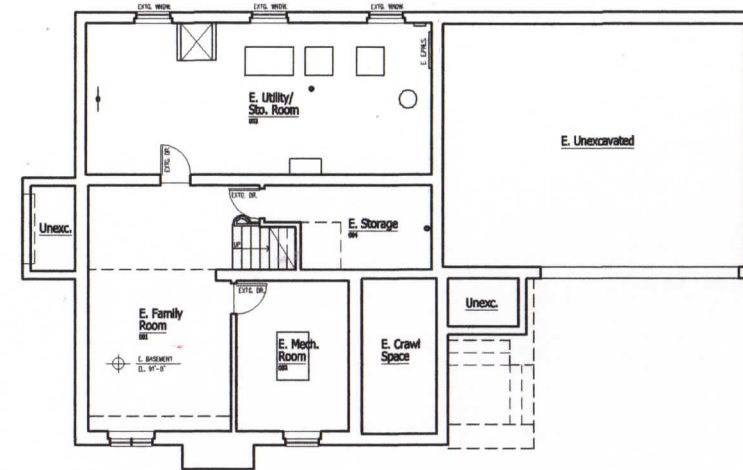
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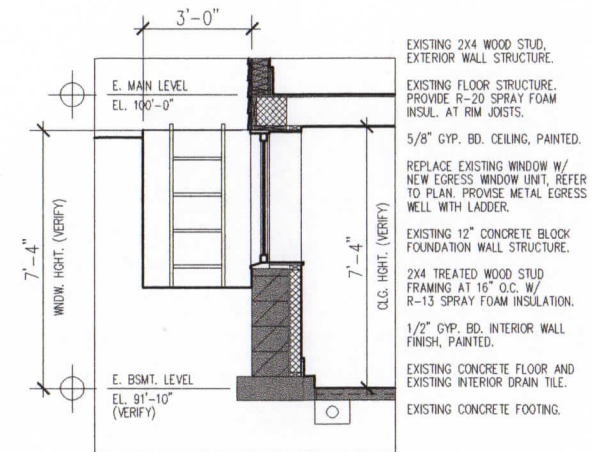
REGISTRATION NUMBER:

MICHAEL J. ECKARDT, 2243

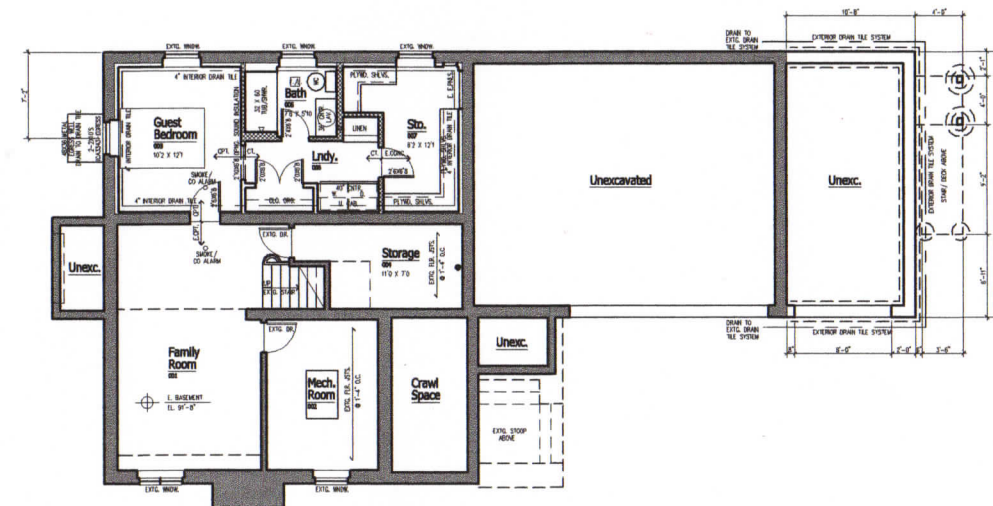
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& DESIGN, P.A.
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CELL 651.245.8401
MIKEECKARDT@COMCAST.NET
1039 NEBRASKA AVE. WEST
ST. PAUL, MINNESOTA
55107
MICHAEL J. ECKARDT,
OWNER/ARCHITECT
2019



1 Foundation /Basement Plan: Existing
1/8" = 1' - 0"



3 Wall Section/ Detail
3/8" = 1' - 0"



2 Foundation /Basement Plan: Proposed
1/8" = 1' - 0" *HALF SCALE*

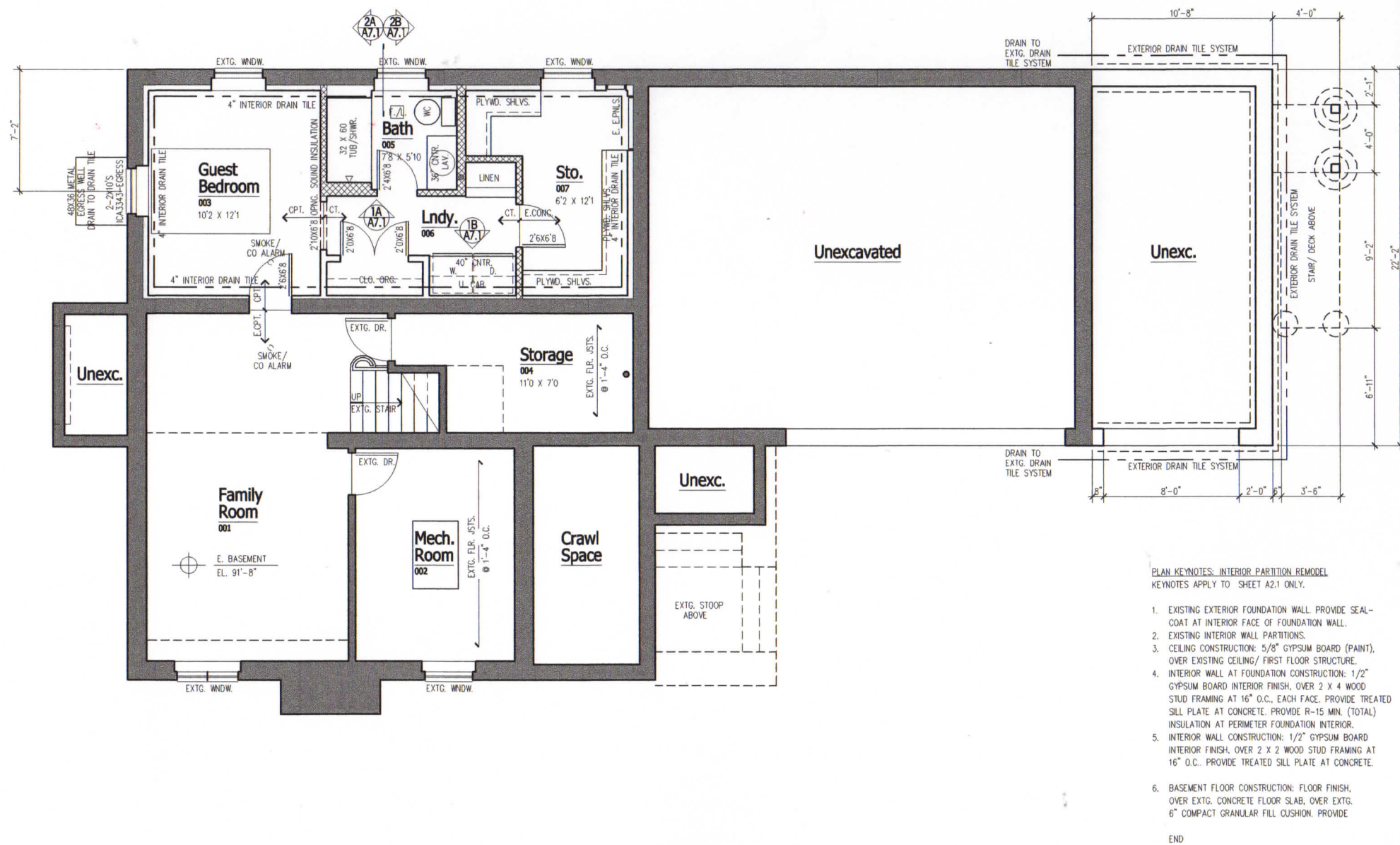
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2019

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REGISTERED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.
REGISTRATION NUMBER:
MICHAEL J. ECKARDT, 2243

PERMIT
CONSTRUCTION SET:
04-08-2019

NARANG RESIDENCE
CUSTOM HOME/ADDITION/REMODEL
APARNA & PURNIM NARANG
4531 BRUCE AVENUE
EDINA, MN 55424

SHEET:
A1.0



STRUCTURAL NOTES:
ALL BEAMS TO BE WITHIN THE FLOOR STRUCTURE DEPTH
UNLESS NOTED AS "DROPPED" OR "HEADER". LUMBER
SUPPLIER TO VERIFY ALL FRAMING MEMBERS, TRUSSES,
BEAMS & HEADERS. PROVIDE ARCHITECTS FINAL REVIEW.

ARCHOS
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& DESIGN, P.A.
TEL. 651.489.3529
CELL 651.245.8401
MIKE@ECKARDT.COM
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55107
MICHAEL J. ECKARDT,
OWNER/ARCHITECT
2019

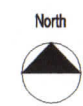
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PREPARED BY ME OR UNDER DIRECT
SUPERVISION AND AM A DULY
REGISTERED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.
REGISTRATION NUMBER:
MICHAEL J. ECKARDT, 2243

**PERMIT
CONSTRUCTION SET:**
04-08-2019

NARANG RESIDENCE
CUSTOM HOME/ADDITION/REMODEL
APARNA & PURNIM NARANG
4531 BRUCE AVENUE
EDINA, MN 55424

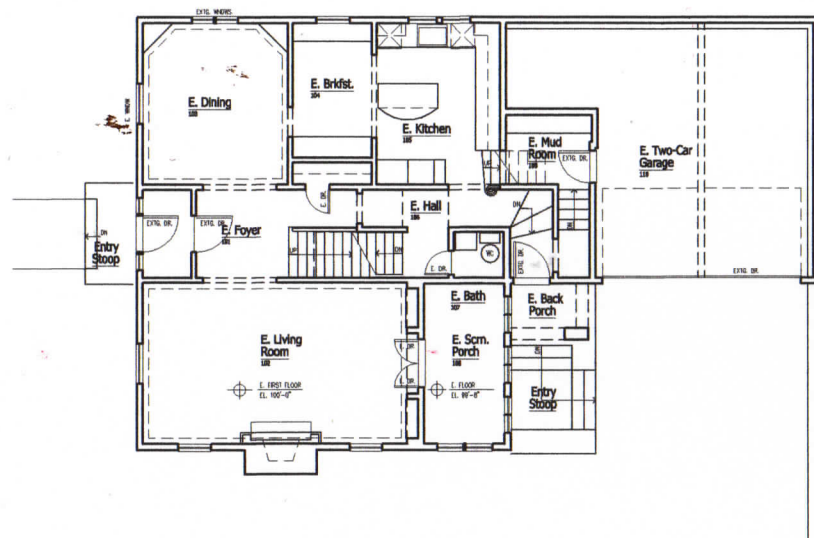
- PLAN KEYNOTES: INTERIOR PARTITION REMODEL
KEYNOTES APPLY TO SHEET A2.1 ONLY.
1. EXISTING EXTERIOR FOUNDATION WALL. PROVIDE SEAL-COAT AT INTERIOR FACE OF FOUNDATION WALL.
 2. EXISTING INTERIOR WALL PARTITIONS.
 3. CEILING CONSTRUCTION: 5/8" GYPSUM BOARD (PAINT), OVER EXISTING CEILING/ FIRST FLOOR STRUCTURE.
 4. INTERIOR WALL AT FOUNDATION CONSTRUCTION: 1/2" GYPSUM BOARD INTERIOR FINISH, OVER 2 X 4 WOOD STUD FRAMING AT 16" O.C., EACH FACE. PROVIDE TREATED SILL PLATE AT CONCRETE. PROVIDE R-15 MIN. (TOTAL) INSULATION AT PERIMETER FOUNDATION INTERIOR.
 5. INTERIOR WALL CONSTRUCTION: 1/2" GYPSUM BOARD INTERIOR FINISH, OVER 2 X 2 WOOD STUD FRAMING AT 16" O.C., PROVIDE TREATED SILL PLATE AT CONCRETE.
 6. BASEMENT FLOOR CONSTRUCTION: FLOOR FINISH, OVER EXTG. CONCRETE FLOOR SLAB, OVER EXTG. 6" COMPACT GRANULAR FILL CUSHION. PROVIDE

END

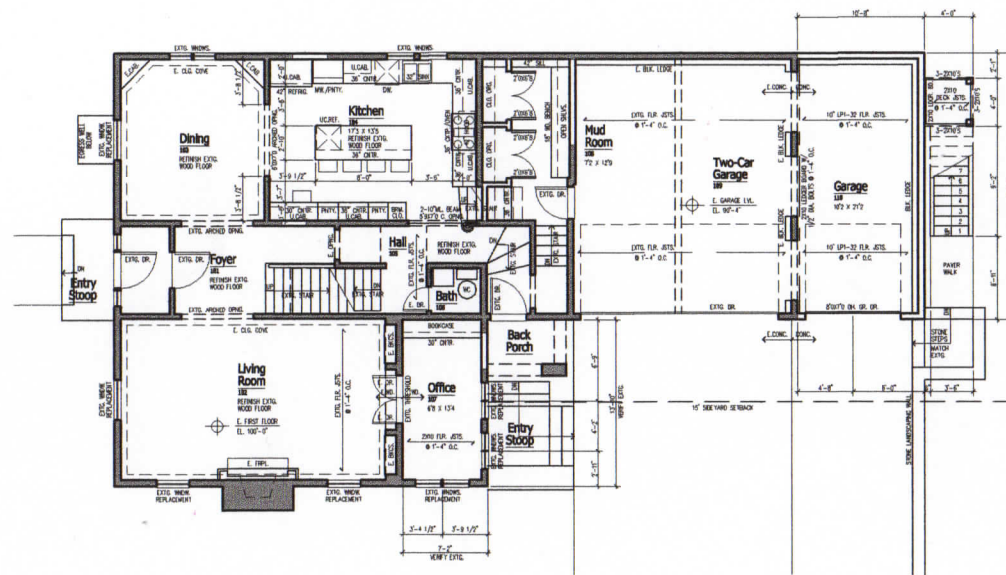


1 Foundation /Basement Plan: Proposed
1/4" = 1' - 0" *HALF SCALE*

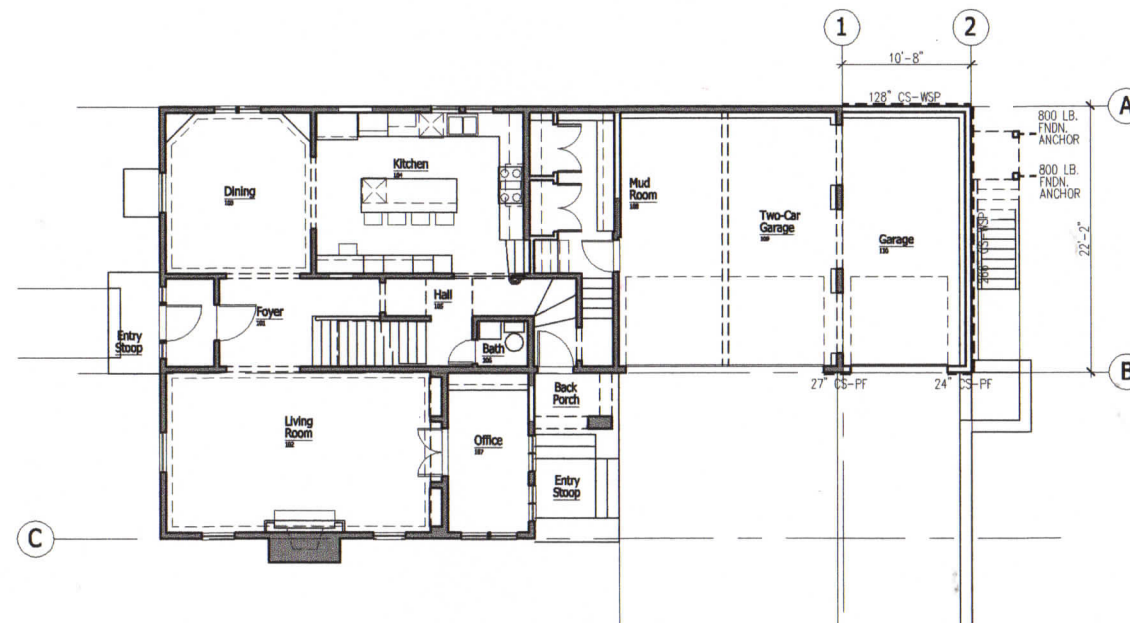
SHEET:
A1.1



1 First Floor Plan: Existing
1/8" = 1' - 0"



2 First Floor Plan: Proposed
1/8" = 1' - 0"



3 First Floor/ Braced Wall Panel Plan
1/8" = 1' - 0" *HALF SCALE*



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& DESIGN, P.A.

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CELL. 651.245.8401
MIKEECKARDT@COMCAST.NET

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55117

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OWNER/ARCHITECT

2019

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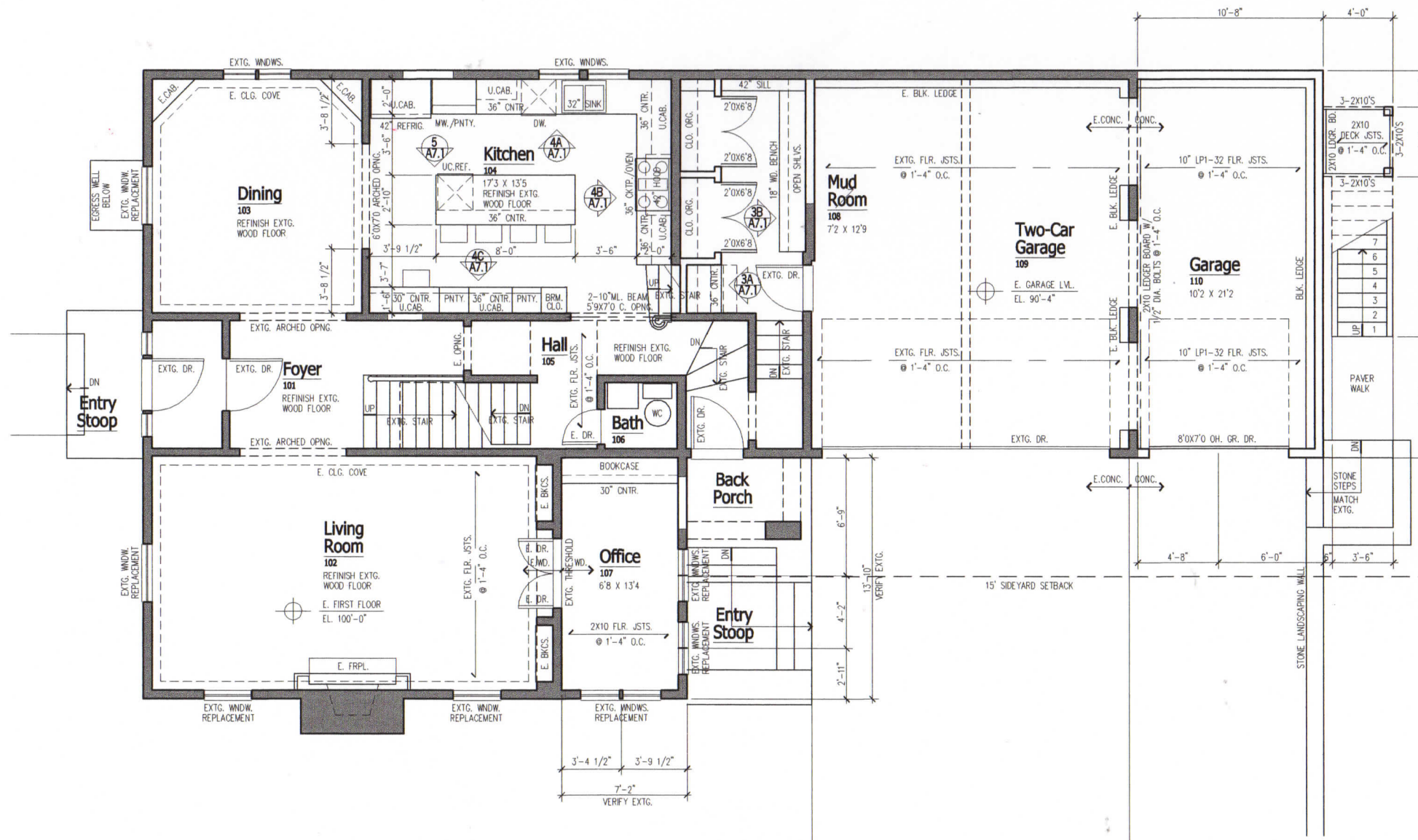
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CONSTRUCTION SET:
04-08-2019

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EDINA, MN 55424

SHEET:
A2.0



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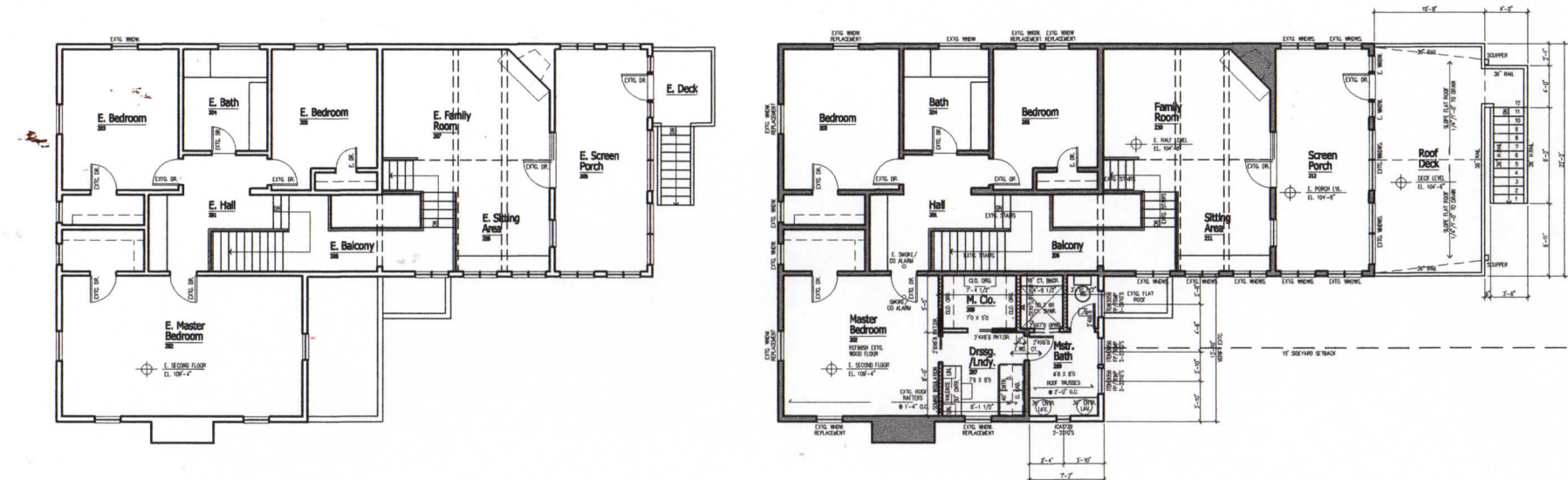
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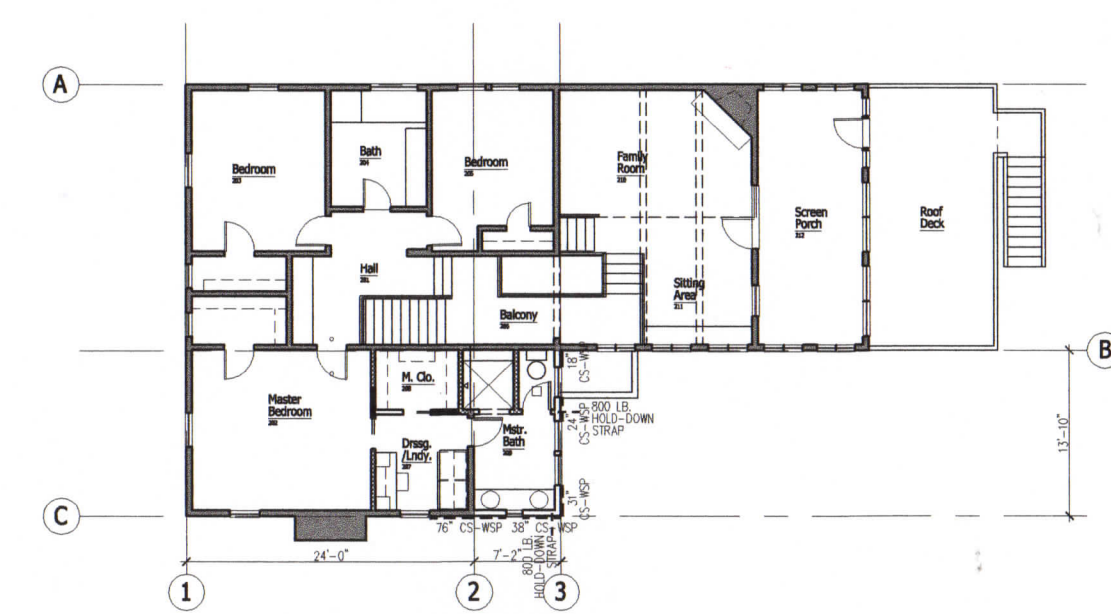
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EDINA, MN 55424

SHEET:
A2.1



1 Second Floor Plan: Existing
1/8" = 1' - 0"

2 Second Floor Plan: Proposed
1/8" = 1' - 0"



3 Second Floor/ Braced Wall Panel Plan
1/8" = 1' - 0" *HALF SCALE*

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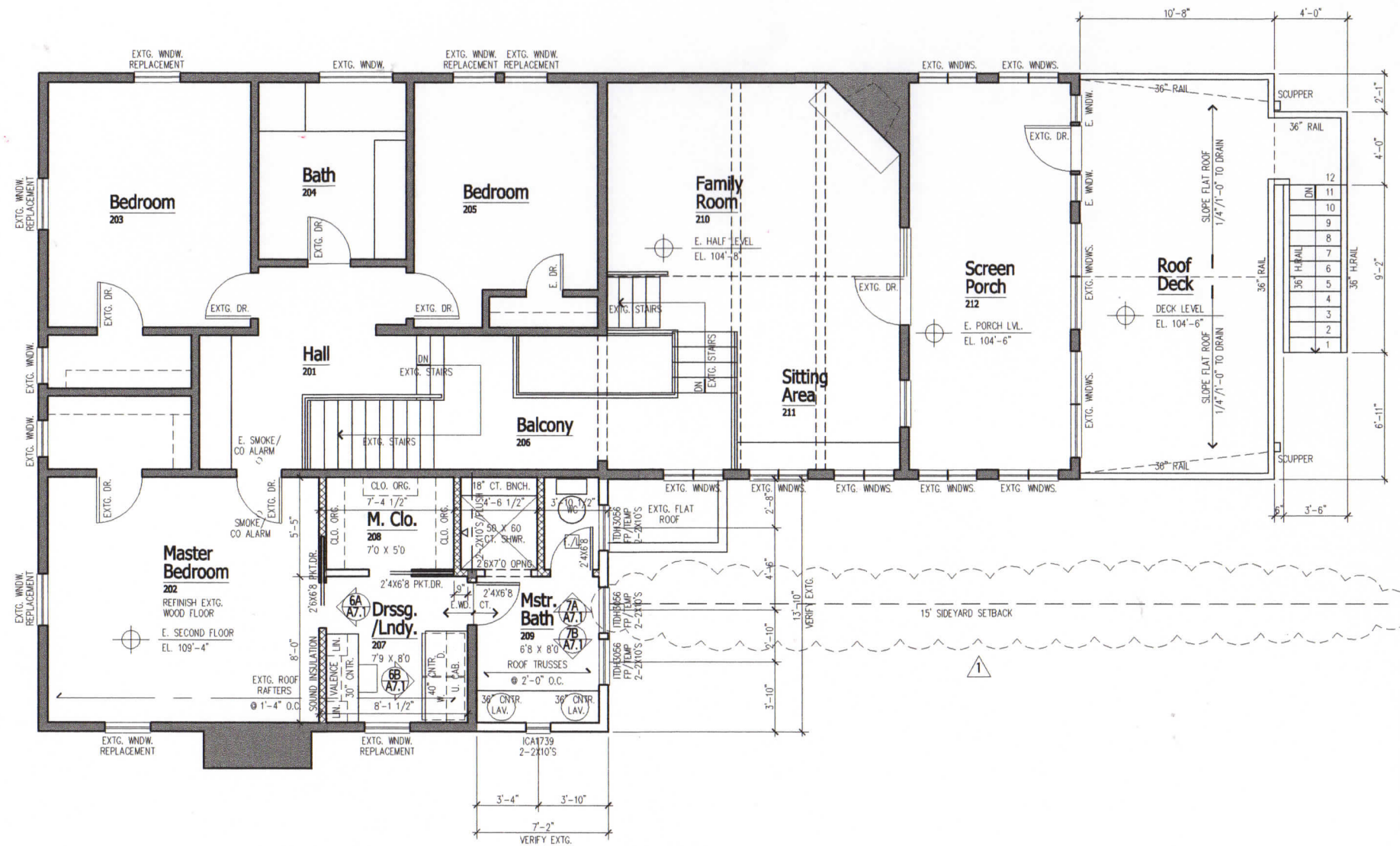
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SHEET:
A3.0



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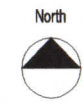
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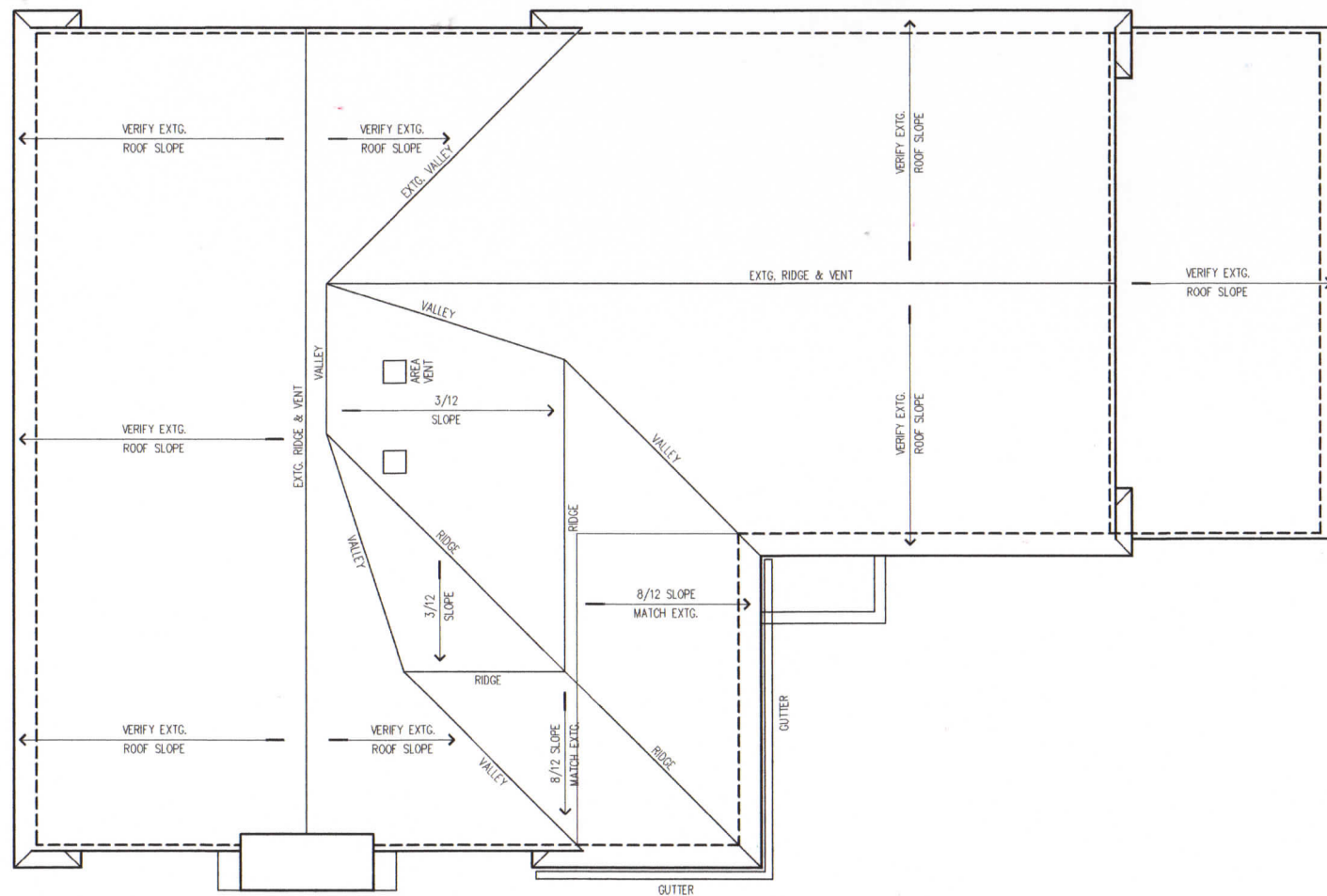
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EDINA, MN 55424

REV #1: EXTG. SETBACK: 05-28-2019

1 Second Floor Plan: Proposed
1/4" = 1' - 0" *HALF SCALE*



SHEET:
A3.1



1 Second Floor Plan: Proposed
1/4" = 1' - 0" *HALF SCALE*



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04-08-2019

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EDINA, MN 55424

SHEET:
A4.1



- EXTERIOR ELEVATION KEYNOTES:
KEYNOTES APPLY TO SHEETS: A5.1 THRU A5.3 ONLY.
ALL KEYNOTES ARE "GENERIC" FOR THE PURPOSE OF EXTERIOR BUILDING MATERIAL PLACEMENT. THE BUILDING CONTRACTOR WILL SELECT ALL MATERIALS & FINISHES.
1. AREA VENT.
 2. ASPHALT ROOF SHINGLES; PROVIDE BITUTHENE ICE AND WATER SHIELD, EXTEND UP ROOF TO A POINT 3'-0" INSIDE OF THE INTERIOR FACE OF THE WALL.
 3. PREFINISHED METAL GUTTER & LEAF GUARD, OVER 5/4"x8 PROFILE FASCIA TRIM, CEDAR (PAINTED) BOARD, MATCH EXISTING PROFILE. PROVIDE PREFINISHED METAL DRIP EDGE.
 4. CROWN MOULD, OVER 5/4"x8 PROFILE CABLE-END TRIM, CEDAR (PAINTED) BOARD, MATCH EXISTING PROFILE. PROVIDE PREFINISHED METAL DRIP EDGE.
 5. CROWN MOULD, OVER 5/4"x8 PROFILE HORIZONTAL TRIM, CEDAR (PAINTED) BOARD, MATCH EXISTING PROFILE.
 6. 8" EXPOSURE, HORIZONTAL CEDAR SHAKE SIDING, MATCH EXISTING PROFILES.
 7. PREFINISHED, METAL CORNER TRIM, PAINT TO MATCH SIDING COLOR.
 8. EXTERIOR CLAD, MARVIN INTEGRITY WINDOW UNITS, REFER TO FLOOR PLANS FOR UNIT SIZE. ALL UNITS (WINDOWS AND DOORS) TO BE LOW-E ARGON GAS INSULATED, TYPE GLASS. PROVIDE DIVIDED LITES, AS SHOWN.
 9. EXTERIOR DOOR UNITS, REFER TO FLOOR PLANS FOR UNIT SIZE.
 10. EXTERIOR WINDOW & DOOR TRIM PROFILES, MATCH EXISTING BRICK MOLD PROFILES. PROVIDE PREFINISHED METAL DRIP CAP FLASHING, AS REQUIRED.
 11. ROOF DECK & STAIR RAILING: F304 HANDRAIL, OVER 1X2 & 2X4 TOP RAIL, ABOVE 2X2 VERTICAL PICKETS AT 5 1/2" O.C., 2X4 BOTTOM RAIL & 4X4 POSTS CEDAR.
 12. STAIR DECK CONSTRUCTION: 2X6 FIBERGLASS DECKING, OVER 2X10 TREATED DECK, JOIST FRAMING @ 16" O.C., 2X10 PROFILE CEDAR BOARD, HORIZONTAL SHORT BOARD (PAINTED), PROVIDE POSTS PER PLAN, FRAMING & STRUCTURAL POSTS TO BE TREATED STRUCTURAL LUMBER. PROVIDE CONTINUOUS PATH HOLD-DOWN AND LATERAL BRACING WITH SIMPSON CLIPS, STRAPS AND ANCHORS.
 13. EXISTING GRADE, SLOPE AWAY FROM BUILDING.
 14. DASHED LINES INDICATE FOOTINGS & FOUNDATIONS, BELOW GRADE. VERIFY 4'-0" MINIMUM DEPTH BELOW GRADE & FROST LINE.
 15. RIDGE CAP FLASHING AT FLAT ROOF PARAPET.
 16. PREFINISHED METAL ROOF SCUPPER, PROVIDE DOWNSPOUTS TO DRAIN.
- END.

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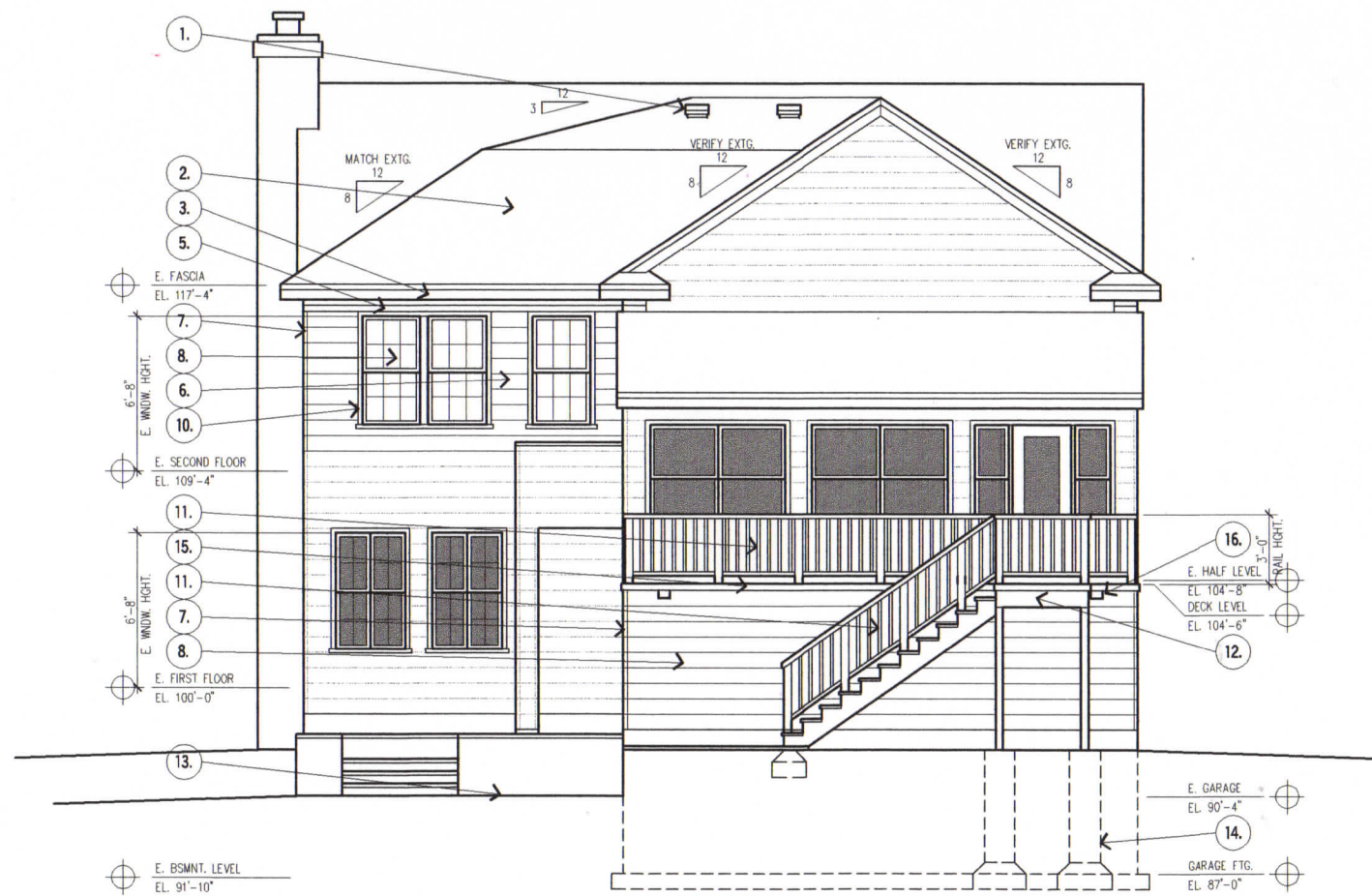
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CONSTRUCTION SET:
04-08-2019**

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CUSTOM HOME/ADDITION/REMODEL

APARNA & PURNIM NARANG
4531 BRUCE AVENUE
EDINA, MN 55424

1 South Elevation- Proposed
1/4" = 1' - 0" *HALF SCALE*

SHEET:
A5.1



- EXTERIOR ELEVATION KEYNOTES:
KEYNOTES APPLY TO SHEETS: A5.1 THRU A5.3 ONLY.
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1. AREA VENT.
 2. ASPHALT ROOF SHINGLES. PROVIDE BITUMEN ICE AND WATER SHIELD, EXTEND UP ROOF TO A POINT 3'-0" INSIDE OF THE INTERIOR FACE OF THE WALL.
 3. PREFINISHED METAL GUTTER & LEAF GUARD, OVER 5/4"x8" PROFILE FASCIA TRIM. CEDAR (PAINTED) BOARD. MATCH EXISTING PROFILE. PROVIDE PREFINISHED METAL DRIP EDGE.
 4. CROWN MOULD, OVER 5/4"x8" PROFILE CABLE-END TRIM. CEDAR (PAINTED) BOARD. MATCH EXISTING PROFILE. PROVIDE PREFINISHED METAL DRIP EDGE.
 5. CROWN MOULD, OVER 5/4"x8" PROFILE HORIZONTAL TRIM. CEDAR (PAINTED) BOARD. MATCH EXISTING PROFILE.
 6. 8" EXPOSURE, HORIZONTAL CEDAR SHAKE SIDING, MATCH EXISTING PROFILES.
 7. PREFINISHED, METAL CORNER TRIM, PAINT TO MATCH SIDING COLOR.
 8. EXTERIOR CLAD, MARVIN INTEGRITY WINDOW UNITS. REFER TO FLOOR PLANS FOR UNIT SIZE. ALL UNITS (WINDOWS AND DOORS) TO BE LOW-E ARGON GAS INSULATED TYPE GLASS. PROVIDE DIVIDED LITES, AS SHOWN.
 9. EXTERIOR DOOR UNITS, REFER TO FLOOR PLANS FOR UNIT SIZE.
 10. EXTERIOR WINDOW & DOOR TRIM PROFILES, MATCH EXISTING BRICK MOLD PROFILES. PROVIDE PREFINISHED METAL DRIP CAP FLASHING, AS REQUIRED.
 11. ROOF DECK & STAIR RAILING: F904 HANDRAIL, OVER 1X2 & 2X4 TOP RAIL, ABOVE 2X2 VERTICAL PICKETS AT 5 1/2" O.C., 2X4 BOTTOM RAIL & 4X4 POSTS CEDAR.
 12. STAIR/DECK CONSTRUCTION: 2X6 FIBERGLASS DECKING, OVER 2X10 TREATED, DECK JOIST FRAMING @ 16" O.C., 2X10 PROFILE CEDAR BOARD, HORIZONTAL SKIRT BOARD (PAINTED), PROVIDE POSTS PER PLAN, FRAMING & STRUCTURAL POSTS TO BE TREATED STRUCTURAL LUMBER. PROVIDE CONTINUOUS PATH HOLD-DOWN AND LATERAL BRACING WITH SIMPSON CLIPS, STRAPS AND ANCHORS.
 13. EXISTING GRADE, SLOPE AWAY FROM BUILDING.
 14. DASHED LINES INDICATE FOOTINGS & FOUNDATIONS, BELOW GRADE. VERIFY 4'-0" MINIMUM DEPTH BELOW GRADE & FROST LINE.
 15. RIDGE CAP FLASHING AT FLAT ROOF PARAPET.
 16. PREFINISHED METAL ROOF SCUPPER. PROVIDE DOWNSPOUTS TO DRAIN.
- END.

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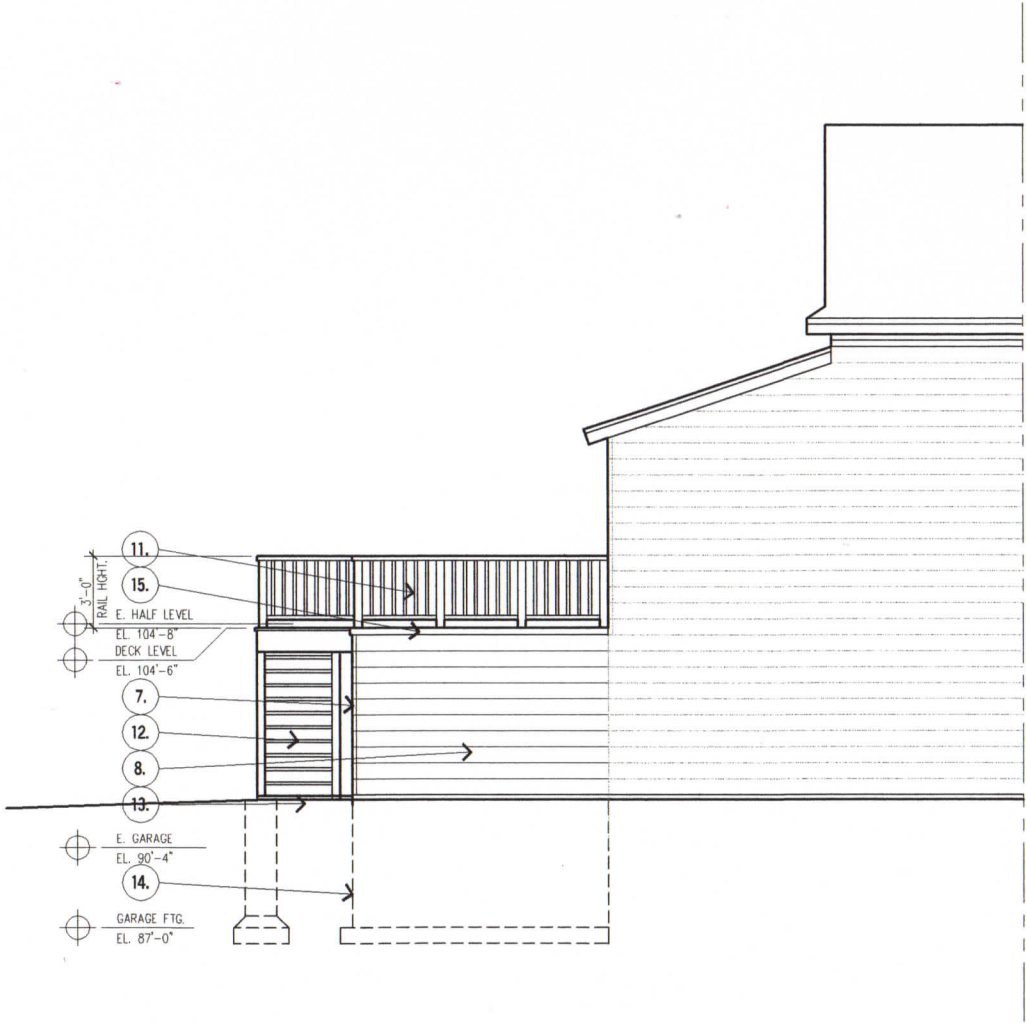
1 East Elevation- Proposed
1/4" = 1' - 0" HALF SCALE

SHEET:
A5.2

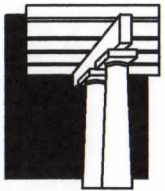
1

North Elevation- Proposed
HALF SCALE

1/4" = 1' - 0"



- EXTERIOR ELEVATION KEYNOTES:
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 3. PREFINISHED METAL GUTTER & LEAF GARD. OVER
5/4"x8 PROFILE FASCOA TRIM: CEDAR (PAINTED)
BOARD. MATCH EXISTING PROFILE. PROVIDE
PREFINISHED METAL DRIP EDGE.
 4. CROWN MOLD. OVER 5/4"x8 PROFILE CABLE-END
TRIM: CEDAR (PAINTED) BOARD. MATCH EXISTING
PROFILE. PROVIDE PREFINISHED METAL DRIP EDGE.
 5. CROWN MOLD. OVER 5/4"x8 PROFILE HORIZONTAL
TRIM: CEDAR (PAINTED) BOARD. MATCH EXISTING
PROFILE.
 6. 8" EXPOSURE. HORIZONTAL CEDAR SHAKE SIDING.
MATCH EXISTING PROFILES.
 7. PREFINISHED METAL CORNER TRIM. PAINT TO MATCH
SIDING COLOR.
 8. EXTERIOR CLAD. MARVIN INTEGRITY WINDOW UNITS.
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 9. EXTERIOR DOOR UNITS. REFER TO FLOOR PLANS
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 10. EXTERIOR WINDOW & DOOR TRIM PROFILES. MATCH
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AT 5 1/2" O.C.. 2X4 BOTTOM RAIL & 4X4 POSTS
CEDAR.
 12. STAIR/DECK CONSTRUCTION: 2X6 FIBERGLASS DECKING,
OVER 2X10 TREATED DECK JOIST FRAMING @ 16" O.C..
2X10 PROFILE CEDAR BOARD. HORIZONTAL SHIRT
BOARD (PAINTED). PROVIDE POSTS PER PLAN. FRAMING
& STRUCTURAL POSTS TO BE TREATED STRUCTURAL
LUMBER. PROVIDE CONTINUOUS PATH HOLD-DOWN AND
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BELOW GRADE. VERIFY 4'-0" MINIMUM DEPTH BELOW
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CUSTOM HOME: ADDITION/REMODEL
APARNA & PURNIEET NARANG
4531 BRUCE AVENUE
EDINA, MN 55424

SHEET:
A5.3

4531 Bruce Avenue



1 in = 40 ft



The CITY of
EDINA



July 1, 2019
Map Powered by DataLink
from WSB & Associates



CITY OF EDINA

4801 West 50th Street

Edina, MN 55424

www.edinamn.gov

Date: July 9, 2019

Agenda Item #: VI.B.

To: Heritage Preservation Commission

Item Type:

Report and Recommendation

From: Emily Bodeker, Assistant City Planner

Item Activity:

Subject: 2020 Work Plan

Action

ACTION REQUESTED:

Draft the Heritage Preservation Commission's 2020 Work Plan.

INTRODUCTION:

The Heritage Preservation Commission will have it's joint meeting with City Council on September 17, 2019 at 5:30 pm. The Board and Commission Annual work plan meeting will be on October 1, 2019.

ATTACHMENTS:

2019 HPC Work Plan

2020 Draft HPC Work Plan



Commission: Heritage Preservation Commission

2019 Annual Work Plan

Initiative # 1	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input type="checkbox"/> 2 (Review & Comment) <input checked="" type="checkbox"/> 3 (Review & Recommend) <input type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type: <input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility		Ongoing	<input checked="" type="checkbox"/> Funds available <i>Funds are available for this project.</i>	<input checked="" type="checkbox"/> Staff Liaison: 10Hrs _____ <input checked="" type="checkbox"/> Other Staff: Consultant, Robert Vogel
Evaluate and recommend potential properties to be added to the Heritage Preservation eligible landmark list.			<input type="checkbox"/> Funds not available	
Lead Commissioners:				
Progress Report:				

Initiative # 2	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input type="checkbox"/> 2 (Review & Comment) <input type="checkbox"/> 3 (Review & Recommend) <input checked="" type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type: <input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility		Ongoing	<input checked="" type="checkbox"/> Funds available	<input checked="" type="checkbox"/> Staff Liaison: 70% of the work of the HPC is reviewing COA's. 70% of staff's time for HPC is also relates to COA's. writes staff reports. <input checked="" type="checkbox"/> Other Staff Consultant, Robert Vogel: Staff Consultant Vogel
Review Certificates of Appropriateness (COA) application for changes to heritage landmark designated properties.			<input type="checkbox"/> Funds not available	
Progress Report:				

Initiative # 3	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input type="checkbox"/> 2 (Review & Comment) <input checked="" type="checkbox"/> 3 (Review & Recommend) <input type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type: <input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility		Ongoing	<input checked="" type="checkbox"/> Funds available	<input checked="" type="checkbox"/> Staff Liaison: 20 hours <input type="checkbox"/> CTS (including Video) <input checked="" type="checkbox"/> Other Staff, Consultant Vogel will work on drafting a Plan of Treatment for each property that is designated.
Invite owners of determined eligible properties to designate their properties Edina Heritage Landmarks.			<input type="checkbox"/> Funds not available	
Progress Report:				

Initiative # 4	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input type="checkbox"/> 2 (Review & Comment) <input type="checkbox"/> 3 (Review & Recommend) <input checked="" type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type <input type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input checked="" type="checkbox"/> Ongoing Responsibility		May	<input checked="" type="checkbox"/> Funds available <i>Funds are included in the Planning Department Budget.</i>	<input checked="" type="checkbox"/> Staff Liaison: 20 hours <input checked="" type="checkbox"/> CTS (including Video) <input type="checkbox"/> Other Staff
Select Annual Heritage Preservation Award recipient.			<input type="checkbox"/> Funds not available	
Progress Report:				

Initiative # 5	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input checked="" type="checkbox"/> 2 (Review & Comment) <input type="checkbox"/> 3 (Review & Recommend) <input type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type <input type="checkbox"/> New Initiative <input checked="" type="checkbox"/> Continued Initiative <input type="checkbox"/> Ongoing Responsibility		2019	<input checked="" type="checkbox"/> Funds available <i>Funds are included in the Planning Department Budget.</i>	<input checked="" type="checkbox"/> Staff Liaison: Staff will assist Consultant Vogel as needed. <input type="checkbox"/> CTS (including Video) <input checked="" type="checkbox"/> Other Staff:
Review and comment on survey of the historic Country Club District, including the re-evaluation of the District's treatment plan.			<input type="checkbox"/> Funds not available	
Progress Report:				

Initiative # 6	Council Charge (Proposed Charge Completed by CM) <input type="checkbox"/> 1 (Study & Report) <input checked="" type="checkbox"/> 2 (Review & Comment) <input type="checkbox"/> 3 (Review & Recommend) <input type="checkbox"/> 4 (Review & Decide)	Target Completion Date	Budget Required (Staff Liaison)	Staff Support Required (Staff Liaison)
Initiative Type: <input checked="" type="checkbox"/> New Initiative <input type="checkbox"/> Continued Initiative <input type="checkbox"/> Ongoing Responsibility		December 2019	<input type="checkbox"/> Funds available <i>Funds are available for this project.</i>	<input checked="" type="checkbox"/> Staff Liaison: <input type="checkbox"/> CTS (including Video) <input type="checkbox"/> Other Staff: Hrs
R&E 18.E. Serve on a cross-commission committee (see partners) to ensure City facility artwork and décor reflects diversity of race and culture.			<input checked="" type="checkbox"/> Funds not available <i>There are not funds available for this project (explain impact of Council approving initiative in liaison comments).</i>	
Lead Commissioners: Partners: Arts & Culture Commission, Human Rights & Relations Commission [LEAD], and Heritage Preservation Commission				
Progress Report:				

2020 Commission Work Plan Instructions

Commission work plans are developed by the commission. Not the staff liaison.

Schedule

September Meetings: Commission Approves proposed work plan. Plans due to MJ by September 25

October 1 Work Session: Chairs present proposed work plan to Council. Chair must be present.

November 19 Work Session: City Manager and staff liaison present proposed revisions.

December 3 Council Meeting: Council feedback incorporated and City Council approves work plan.

January 1: Commissioner officially starts implementing work plans.

General

- ▶ Each section with a white background should be filled out.
- ▶ List initiatives in order of priority
- ▶ Parking Lot: These are items the commission considered but did not propose as part of the work plan. These items are not considered approved and would require a work plan amendment approved by Council to allow the commission to begin work.

Initiative

When writing initiatives, start with the action (council charge). Make sure the following points are addressed

- 1) What is the specific action/outcome
- 2) Describe what the commission will do
- 3) Describe what the outcome(s) will look like

Examples: Review and recommend a building energy benchmarking policy. Study and report on possible city actions to reduce access and usage of vaping for youth.

Initiative Type

- ▶ **New Initiative** – not on previous work plan and has completion date
- ▶ **Continued Initiative** – carried over from a previous work plan with a revised target completion date
- ▶ **Ongoing Responsibility** – annually on the work plan and may or may not have a target completion date
- ▶ **Event** – Events coordinated and implemented by the Commission, not the City.

Completion Date

Provide a target date for the initiative to be completed by. If the date has passed, provide an update in the progress field

Council Charge

City Manager will propose council charge for Council consideration. If Council charge changes, initiative action will be updated.

Budget - Staff Liaison Completes

If funds are available, the staff liaison must provide the amount that will be used. If funds are NOT available, the staff liaison must explain the impact of Council approving this initiative.

Staff Support - Staff Liaison Completes

Note additional staff support needed including the hours and responsibilities. Select all that are needed.

Heritage Preservation

2020 DRAFT Commission Work Plan Template



Initiative	Initiative Type	Completion Date	Council Charge
Review and Decide	Ongoing	Ongoing	
Review and decide on Certificates of Appropriateness (COA) applications for changes to heritage landmark designated properties.	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison
			ongoing
Staff Liaison Comments:			
City Manager Comments:			
Progress Report:			

Initiative	Initiative Type	Completion Date	Council Charge
Review and Recommend	Ongoing	Ongoing	
Invite owners of determined eligible properties to designate their properties as Edina Heritage Landmarks and recommend to Planning Commission and City Council.	Lead Commissioners	Budget	Staff Support
	All Commission	Funds available	Staff Liaison
			ongoing
Staff Liaison Comments:			
City Manager Comments:			
Progress Report:			

Initiative	Initiative Type	Completion Date	Council Charge
	Lead Commissioners	Budget	Staff Support
			Staff Liaison
			ongoing
Staff Liaison Comments:			
City Manager Comments:			
Progress Report:			

Parking Lot

Commission

Select Commission Name

Arts & Culture

Heritage Preservation

Community Health

Human Rights & Relations

Planning

Transportation

Parks & Recreation

Energy & Environment

Initiative Type

New

Continue

Ongoing

Event

Council Charge

- 1 (study and report)
- 2 (review and comment)
- 3 (review and recommend)
- 4 (review and decide)

Budget

- Funds available
- Funds not available

Staff Support

- Staff Liaison
- CTS (including video)
- Other

Initiative Start

Start your initiative with an action

Study and Report

Review and Comment

Review and Recommend

Review and Decide