

4917 EDEN AVE

PRELIMINARY DEVELOPMENT PACKAGE

4917 EDEN AVE (EDINA, MN)

REUTER WALTON

CONSULTANTS

PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

RENDERING



PROJECT LOCATION



PROJECT SUMMARY (UNIT MATRIX)

UNIT MIX - RENTABLE AREA			
UNIT TYPE	UNIT AREA	COUNT #	RENTABLE / TOTAL AREA
UNIT A1 - 1 BED	700 SF	67	46918 SF
UNIT A1.1 - 1 BED	748 SF	1	748 SF
UNIT A2 - 1 BED	706 SF	7	4941 SF
UNIT A2.1 - 1 BED	680 SF	7	4759 SF
UNIT A3 - 1 BED	724 SF	11	7966 SF
UNIT B1 - 2 BED	1070 SF	32	55940 SF
UNIT B2 - 2 BED	1080 SF	12	12714 SF
UNIT B3 - 2 BED	1036 SF	7	7253 SF
UNIT B4 - 2 BED	1161 SF	5	5807 SF
UNIT BD1 - 2 BED DEN	1204 SF	6	7221 SF
UNIT BD2 - 2 BED DEN	1201 SF	6	7206 SF
UNIT BD3 - 2 BED DEN	1203 SF	4	4810 SF
UNIT BD4 - 2 BED DEN	1247 SF	4	4990 SF
UNIT PH1 - PENTHOUSE	1496 SF	2	2992 SF
UNIT PH2 - PENTHOUSE	1448 SF	1	1448 SF
UNIT PH3 - PENTHOUSE	1486 SF	1	1486 SF
UNIT PH4 - PENTHOUSE	1750 SF	1	1737 SF
UNIT PH5 - PENTHOUSE	1694 SF	1	1694 SF
UNIT PH6 - PENTHOUSE	1726 SF	1	1726 SF
UNIT S1 - ALCOVE	572 SF	12	6863 SF
TOTAL: 208			188918 SF

PROJECT TEAM

OWNER / APPLICANT: NICK WALTON
OWNER / APPLICANT : REUTER WALTON
ADDRESS
1710 W Lake St, Minneapolis, MN 55408
Phone: 612-823-3489

Architect: Chris Palkowitsch & Mike Krych
Boarman Kroos Vogel Group, Inc
222 North Second Street
Minneapolis, Minnesota 55401
Phone: 612.339.3752
Fax: 612.339.6212

Civil: MICHAEL J. ST. MARTIN, PE (MN, WI)
COMPANY NAME : Loucks
ADDRESS
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
Phon 763.496.6713 | C 612.237.8532

Landscape: Brady Halverson
Boarman Kroos Vogel Group, Inc
222 North Second Street
Minneapolis, Minnesota 55401
Phone: 612.339.3752
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Structural Engineering: Lionel Dayton
Boarman Kroos Vogel Group, Inc
222 North Second Street
Minneapolis, Minnesota 55401
Phone: 612.339.3752
Fax: 612.339.6212

CERTIFICATION

NOT FOR
CONSTRUCTION

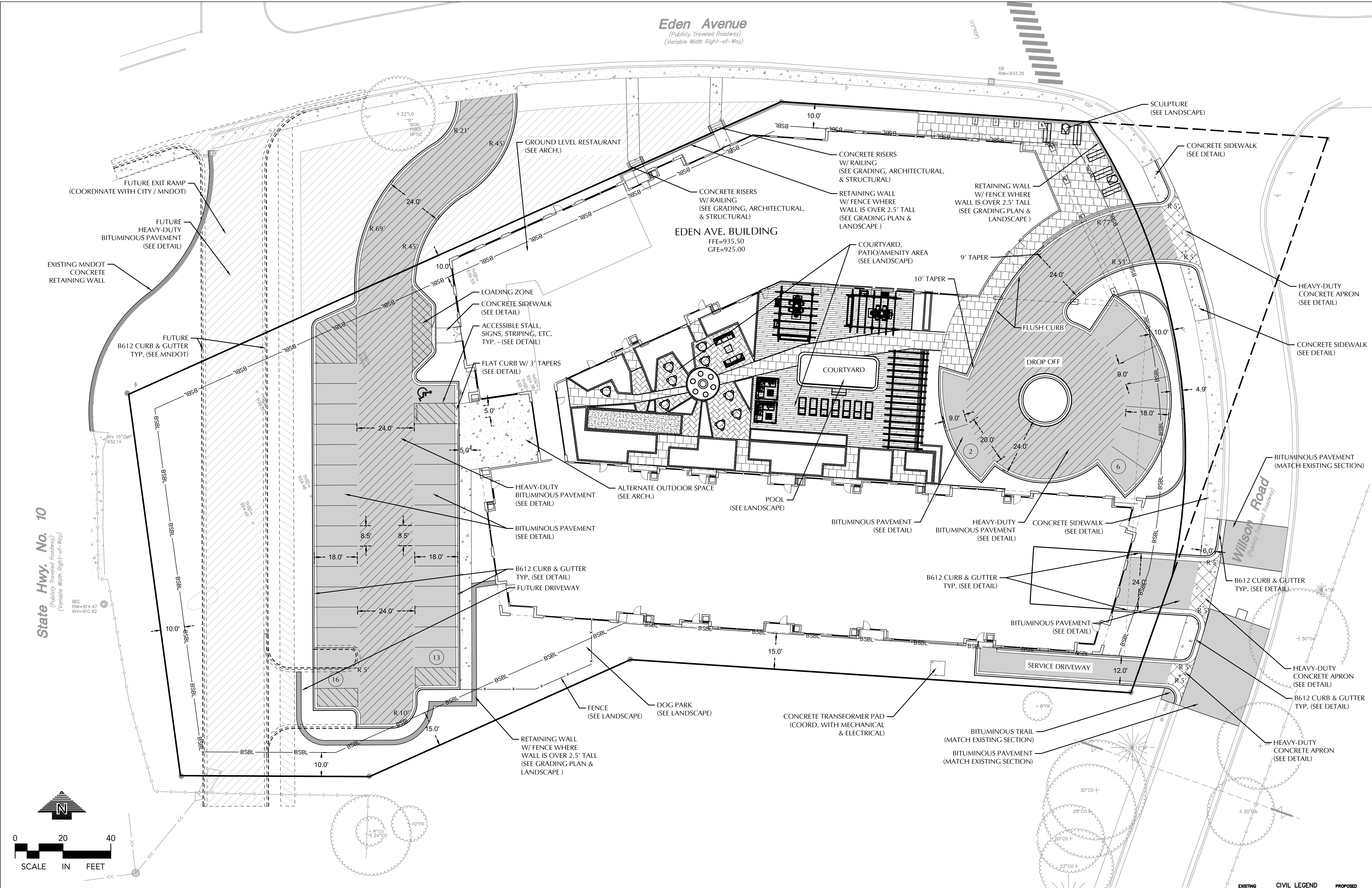
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COMMISSION NUMBER	2286-05

SHEET TITLE

COVER SHEET

SHEET NUMBER

G100



SITE PLAN LEGEND

CONCRETE SIDEWALK

BITUMINOUS PAVEMENT

HEAVY DUTY BITUMINOUS PAVEMENT

CONCRETE PAVEMENT

HEAVY-DUTY CONCRETE PAVEMENT

SPECIALTY LANDSCAPE PAVING

SITE DATA

CURRENT ZONING:xxx

PROPOSED ZONING:xxx

BUILDING SETBACK:xxx

TOTAL PROPERTY AREA:2.08 AC.

AREA OF DISTURBANCE:2.58 AC.

EXISTING IMPERVIOUS AREA:1.82 AC.

PROPOSED IMPERVIOUS AREA:1.48 AC.

- SITE NOTES**
1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.

2. ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.

3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.

5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' WITH A 24' WIDE TWO WAY DRIVE UNLESS OTHERWISE NOTED.

6. ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.

7. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

8. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

ACCESSIBLE PARKING

SURFACE ACCESSIBLE PARKING:xxx STALLS

REQUIRED SURFACE ACCESSIBLE PARKING:xxx STALLS*

*REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 101-150 STALLS

OFF-STREET PARKING CALCULATIONS

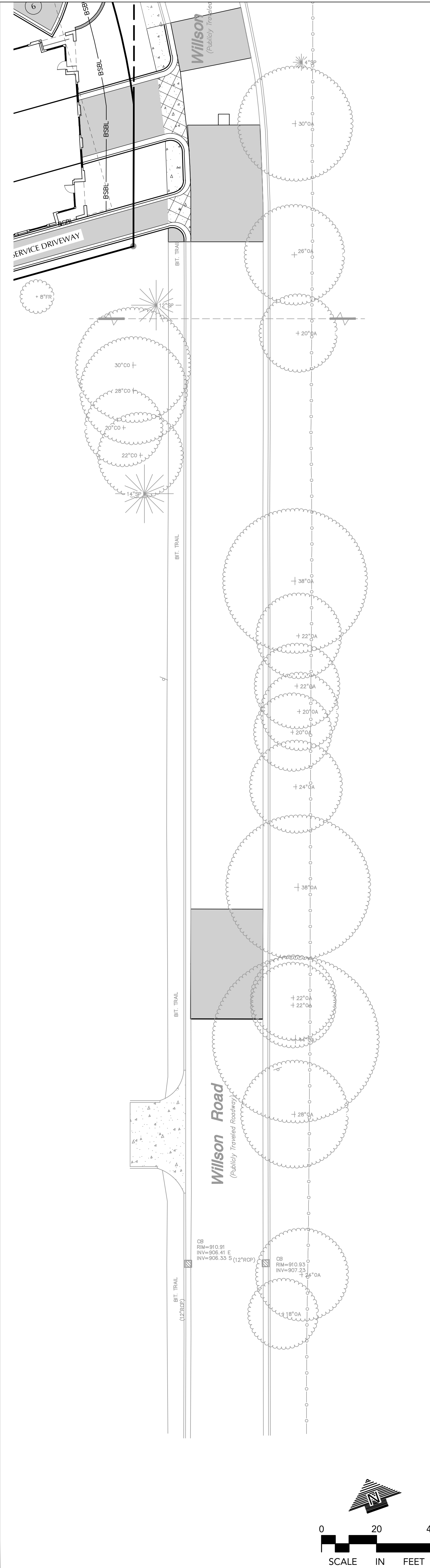
PROPOSED SURFACE PARKING PROVIDED:37 STALLS

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	AIR/WATER	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOIL BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FORCE MAIN	
	DRAIN TILE	
	SALT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	PILE LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



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Maple Grove, MN 55369
763-424-5505
www.loucksin.com

LOUCKS PROJECT NO. 21081.00

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CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Michael J. St. Martin, PE

24440

XXXX/XXXX

License Number

Date

DATE

XXXX/XXXX

JBT

DRAWN BY

MJS

CHECKED BY

21081.00

COMMISSION NUMBER

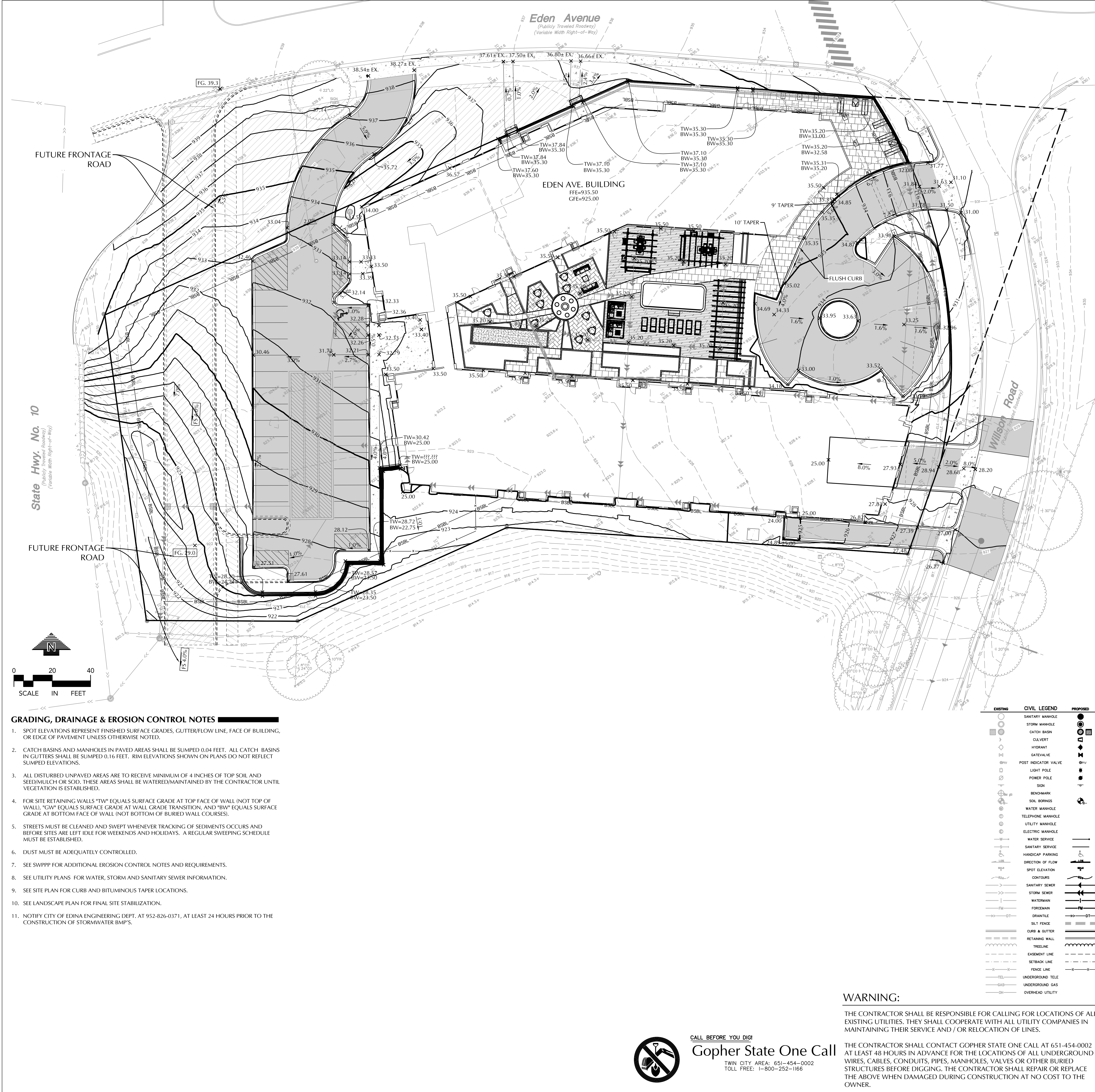
SHEET TITLE

SITE PLAN

SHEET NUMBER

C2-1

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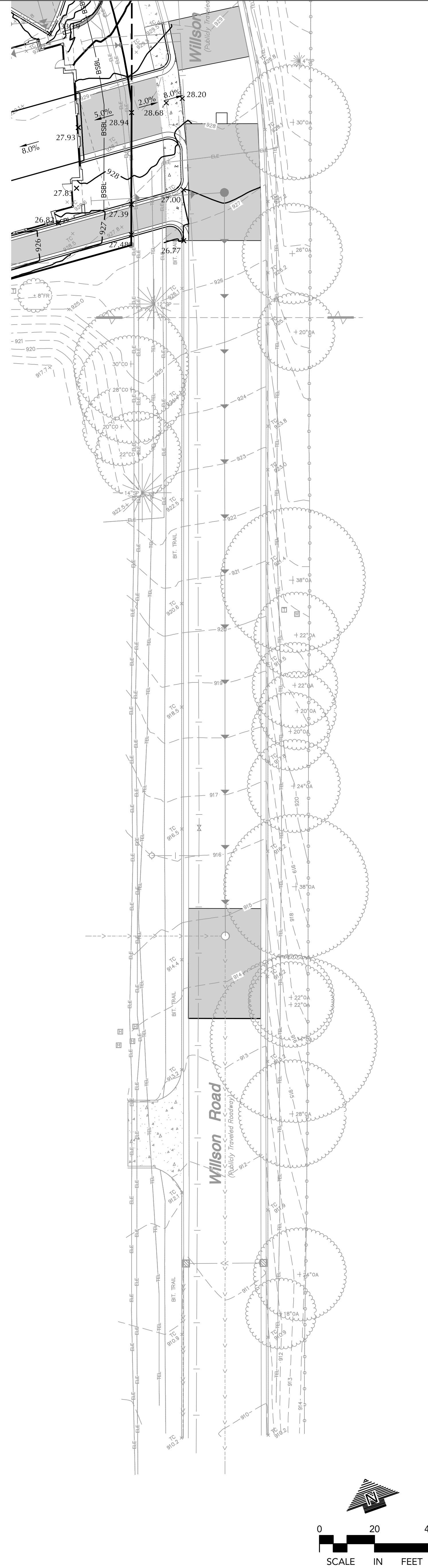
- GRADING, DRAINAGE & EROSION CONTROL NOTES**
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN CUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
 - ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOI. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
 - FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL). "OV" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BM" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
 - STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
 - DUST MUST BE ADEQUATELY CONTROLLED.
 - SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
 - SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
 - SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
 - SEE LANDSCAPE PLAN FOR FINAL SITE STABILIZATION.
 - NOTIFY CITY OF EDINA ENGINEERING DEPT. AT 952-826-0371, AT LEAST 24 HOURS PRIOR TO THE CONSTRUCTION OF STORMWATER BMP'S.

CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

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Michael J. St. Martin, PE

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Date

DATE
DRAWN BY
CHECKED BY
COMMISSION NUMBER

XXXX/XXXX
JBT
MJS
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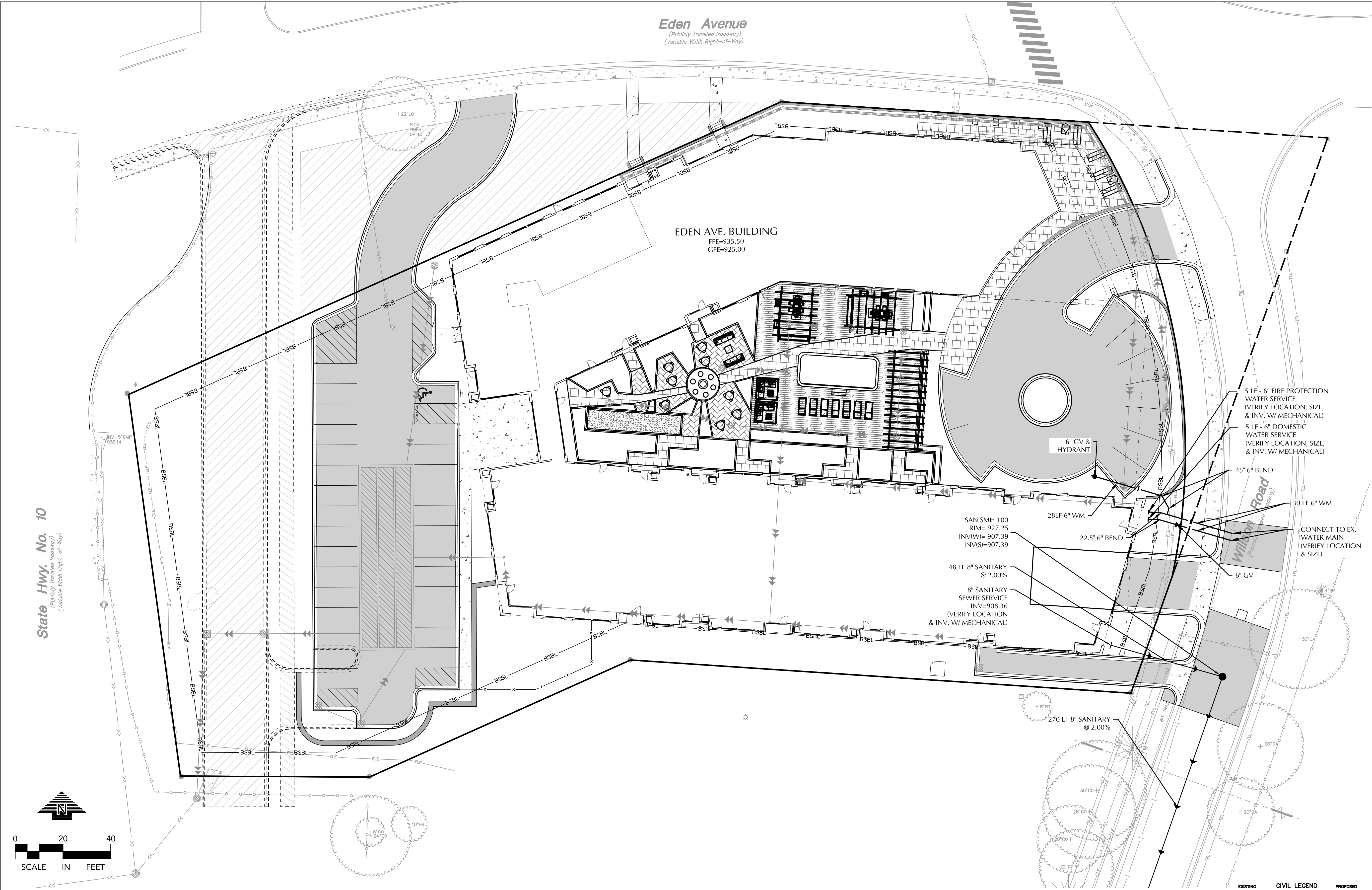
SHEET TITLE

GRADING PLAN

SHEET NUMBER

C3-1

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- UTILITY NOTES**
- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
 - ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
 - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY ENGINEERING INSPECTOR AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING PUBLIC UTILITIES.
 - ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
 - A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
 - ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
 - ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCH. 40 PVC.
 - ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714.
 - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, CHAPTER 4714). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
 - HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, CHAPTER 4714:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
 - HYDRANT USE: CONTRACTOR IS NOT PERMITTED TO USE HYDRANTS. ALSO APPLIES TO SUBCONTRACTORS.
 - THE CONTRACTOR SHALL CONTACT THE CITY ENGINEERING INSPECTOR AND GIVE AT LEAST 48 HOURS NOTICE TO HAVE WATER SHUT OFF. THE CITY INSPECTOR SHALL COORDINATE AND OPERATE ALL VALVES AND FILL ALL WATER MAINS (PUBLIC AND PRIVATE). CONTRACTOR SHALL NOTIFY IN WRITING, ALL AFFECTED CUSTOMERS AT LEAST 24 HOURS IN ADVANCE BEFORE SHUT OFF; ATTACH DOOR, ET., NOT IN MAILBOXES.
 - TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY PUBLIC UTILITIES DEPARTMENT AND USE ONLY PRE-APPROVED HYDRANT AND SUPPLIED HYDRO METER WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY MAIN SHALL BE DISINFECTED, FLUSHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER SYSTEM SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
 - SANITARY SEWER MATERIAL: PVC SDR 26
 - WATERMAIN MATERIAL: 6" PVC C900

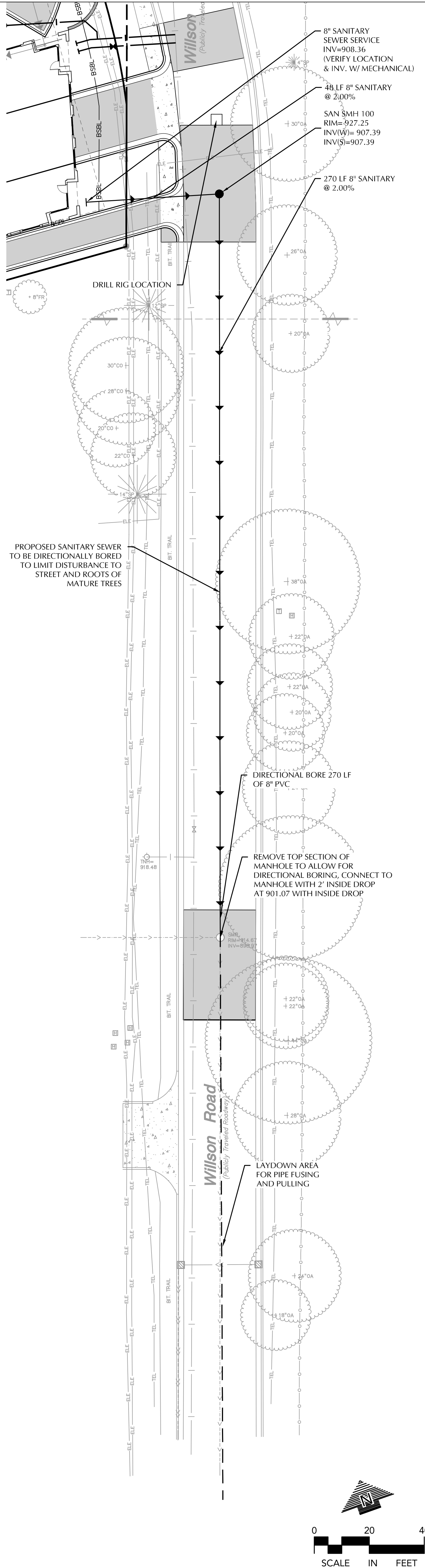


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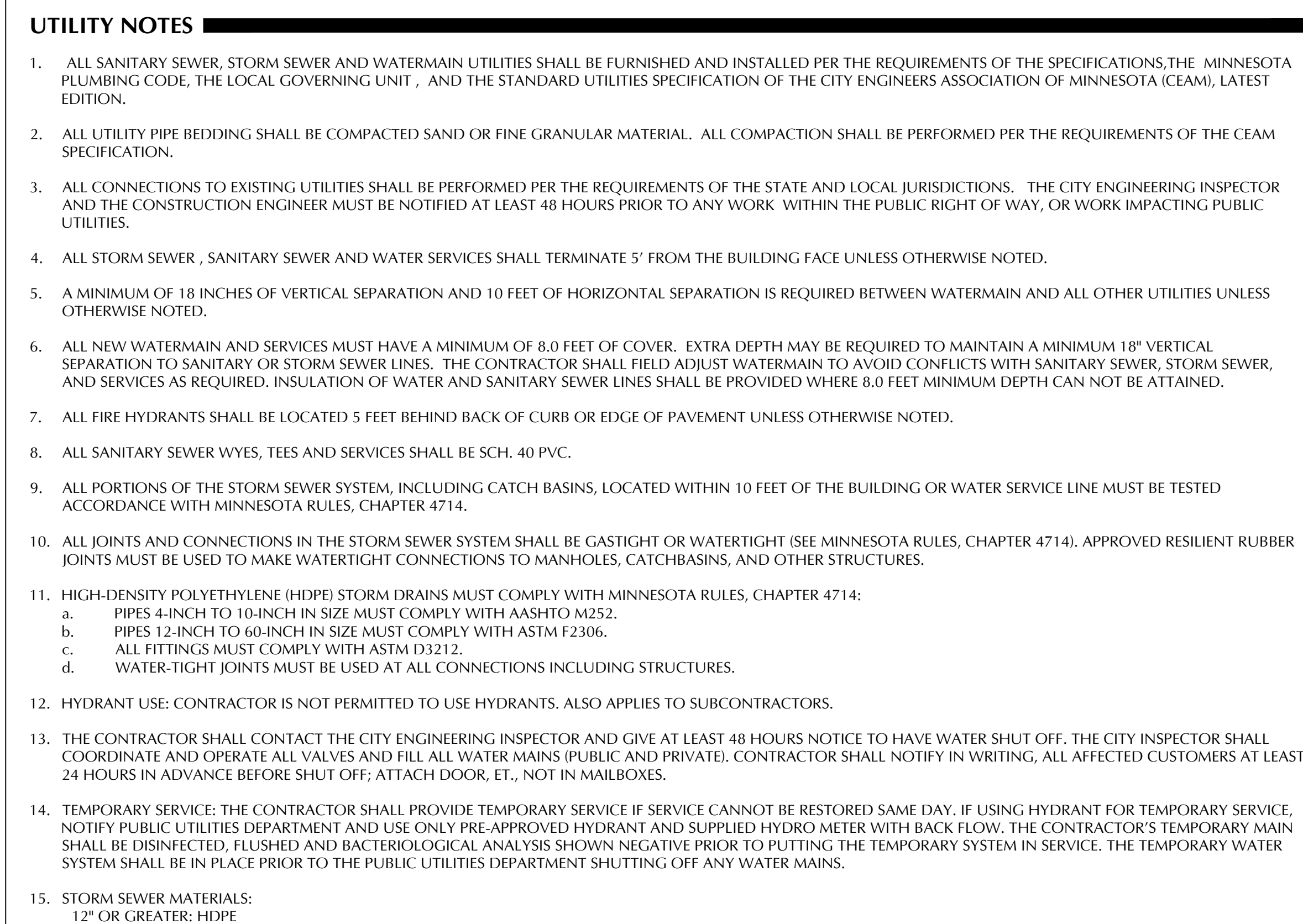
Michael J. St. Martin, PE	
24440	XXXX/XXXX
License Number	Date
DATE	XXXX/XXXX
DRAWN BY	JBT
CHECKED BY	MJS
COMMISSION NUMBER	21081.00
SHEET TITLE	

SANITARY SEWER & WATERMAIN PLAN

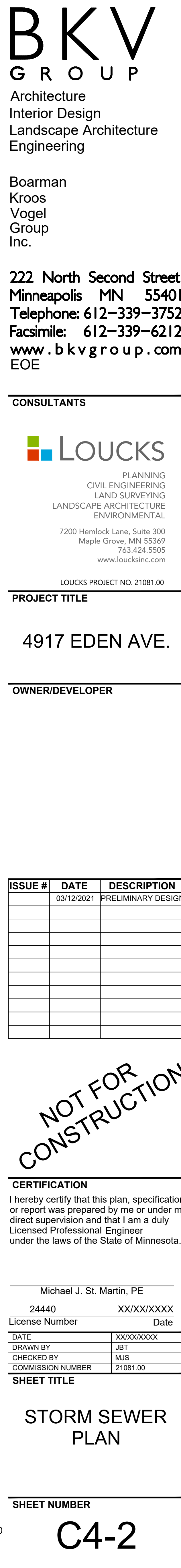
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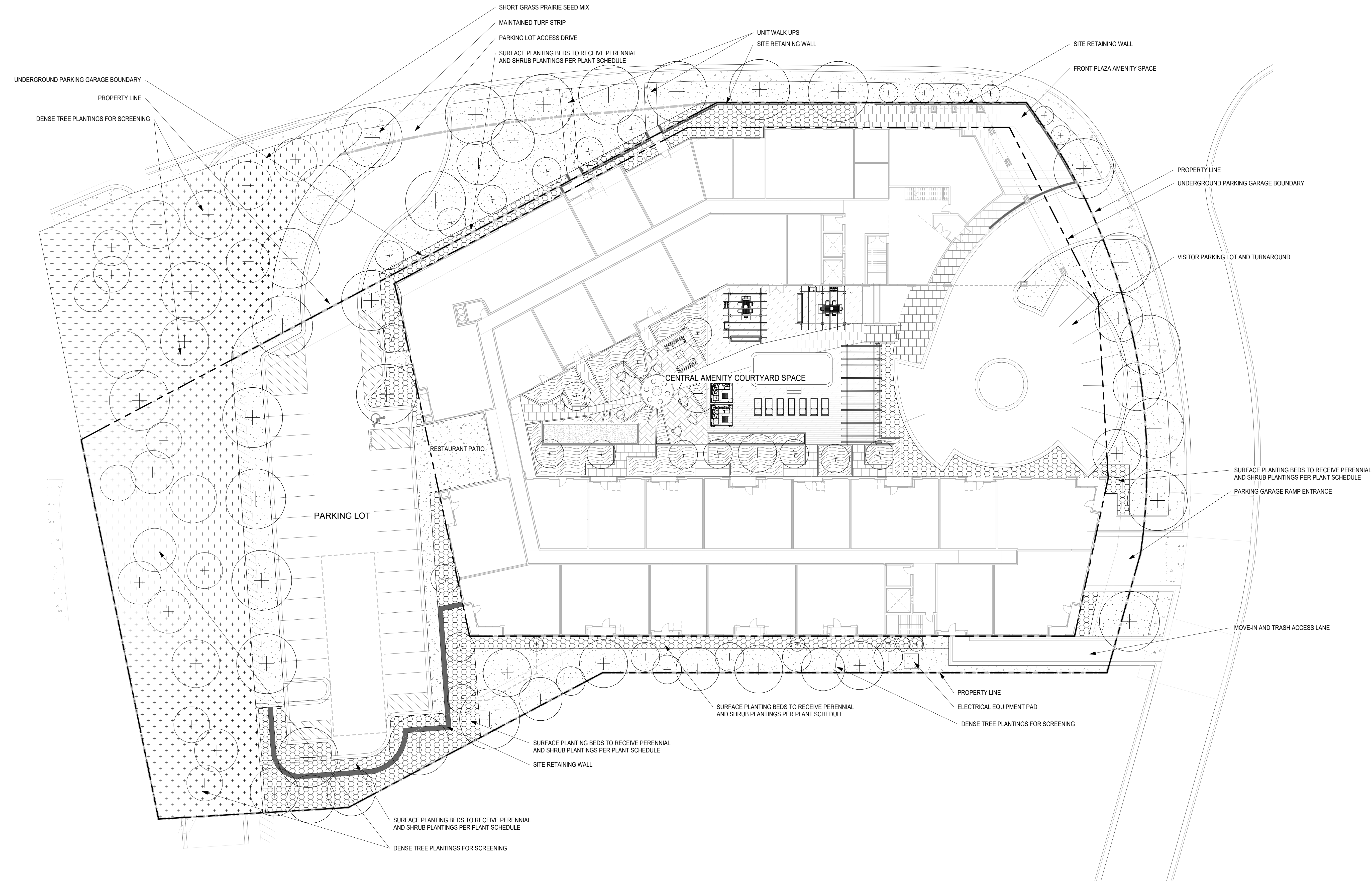
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1 SITE - LANDSCAPE PLAN
L100
1" = 20'-0"

GRAPHIC LEGEND:

CIP STANDARD GRAY CONCRETE,
BROOM FINISHED, TYP.

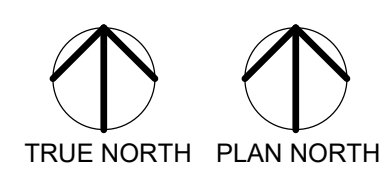
CIP COLORED CONCRETE,
BROOM FINISHED, TYP.

PLANTING BED #1: ROCK
MULCH, 4" MIN. MIXED SHRUBS
AND PERENNIALS PER PLANT
SCHEDULE.

TURFGRASS: SOD, IRRIGATED
(SEE SPEC.)

PLANTING BED #2: HARDWOOD
MULCH, 4" MIN. MIXED SHRUBS
AND PERENNIALS PER PLANT
SCHEDULE.

SHORTGRASS PRAIRIE, SEED
MIX TBD



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CONSTRUCTION

DRAWN BY: SB
CHECKED BY: BH
COMMISSION NUMBER: 2286-05

SHEET TITLE

SITE -
LANDSCAPE
PLAN

SHEET NUMBER

L100

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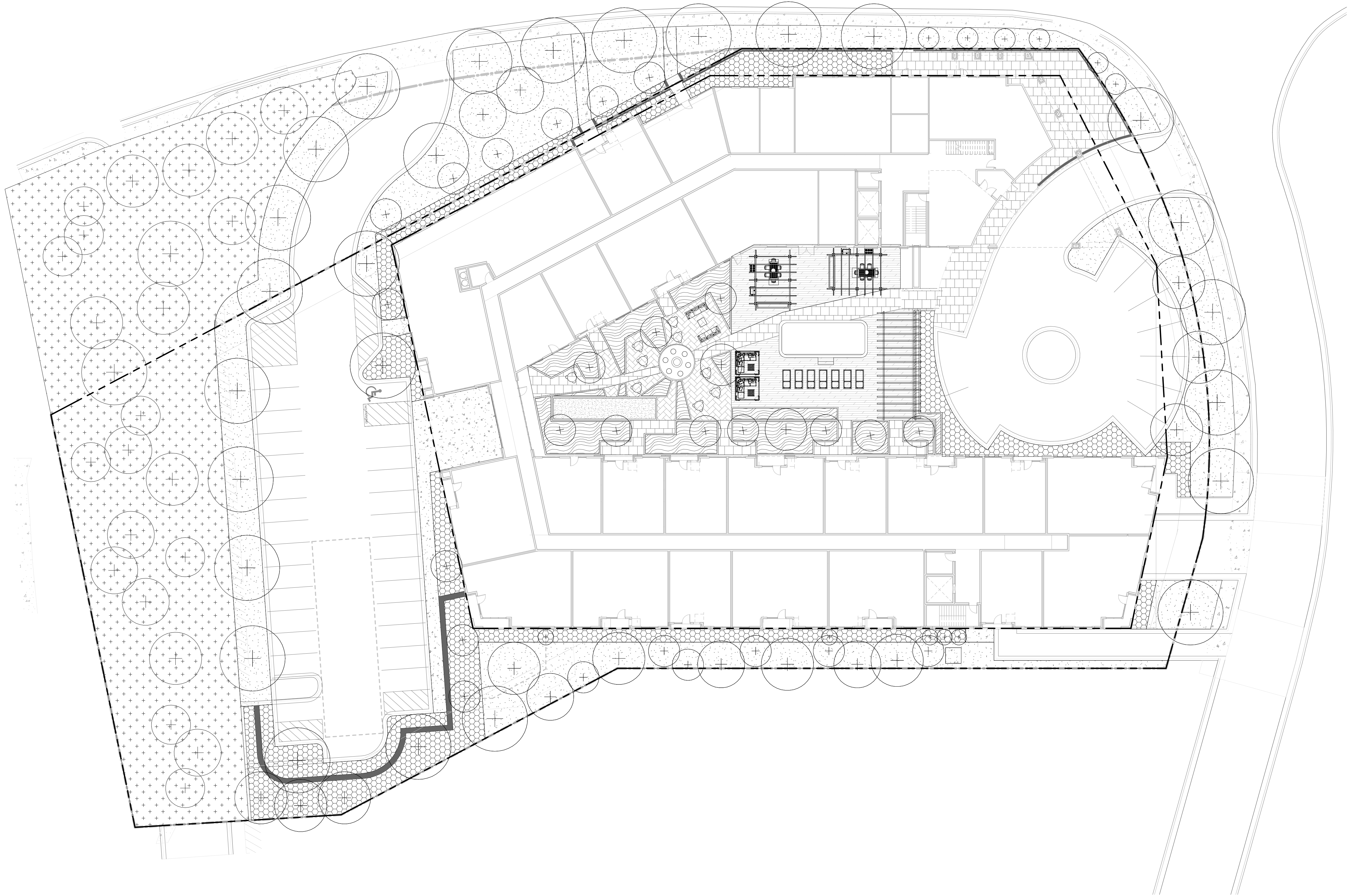
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1 SITE - PLANTING PLAN
1" = 20'-0"

PROPOSED PLANT SCHEDULE:

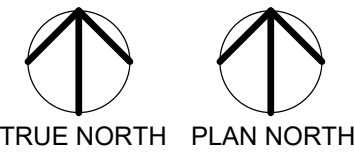
QTY	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE
PERENNIALS/VINES/ANNUALS				
1	ac	MAGGIE DALEY ASTILBE	Astilbe chinensis 'Maggie Daley'	#1 CONT.
1	ca	FEATHER REED GRASS	Calamagrostis arundinacea var. brachytricha	#1 CONT.
1	hb	BLUE ANGEL HOSTA	Hosta 'Blue Angel'	#1 CONT.
1	hh	HAPPY RETURNS DAYLILY	Hemerocallis 'Happy Returns'	#1 CONT.
1	pa	HAMELN FOUNTAIN GRASS	Pennisetum alopecuroides 'Hamel'	#1 CONT.
1	pl	PACHYSANDRA 'Green Carpet'	Pachysandra terminalis 'Green Carpet'	#1 CONT.
1	pv	NORTHWIND SWITCHGRASS	Panicum virgatum 'Northwind'	#1 CONT.
1	rh	WALKER'S LOW CATMINT	Nepeta x faasseni 'Walker's Low'	#1 CONT.
1	sh	PRAIRIE DROPSIDE	Sporobolus heterolepis	#1 CONT.
1	ss	LITTLE BLUESTEM 'Blue Heaven'	Schizachyrium scoparium 'Mimble A' (PP17, 310)	#1 CONT.
ORNAAMENTAL TREES				
1	ag	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	2" CAL.
2	bp	WHITESPIRE BIRCH (CLUMP)	Betula populifolia 'Whitespire'	2.5" CAL.
8	cc	NORTHERN CLUMP REDBUD	Cercis canadensis	#20 CONT.
5	sr	SUMMER STORM LILAC	Syringa reticulata 'Summer Storm' (PPAF)	2" CAL.
DECIDUOUS TREES				
8	as	GREEN MOUNTAIN SUGAR MAPLE	Acer saccharum 'Green Mountain'	2.5" CAL.
7	bn	RIVER BIRCH	Betula nigra	2.5" CAL.
6	bp	DAKOTA PINNACLE BIRCH	Betula platyphylla 'Fargo'	2.5" CAL.
3	gb	AUTUMN GOLD GINKGO	Ginkgo biloba 'Autumn Gold'	2.5" CAL.
8	gt	SKYLINE HONEYLOCUST	Gleditsia triacanthos var. inermis 'Skyline'	2.5" CAL.
6	pt	PRAIRIE GOLD ASPEN	Populus tremuloides 'NEAR'	2.5" CAL.
8	qa	QUAKING ASPEN	Populus tremuloides	#20 CONT.
7	qb	SWAMP WHITE OAK	Quercus bicolor	2.5" CAL.
5	qw	KINDRED SPIRIT OAK	Quercus x warei 'Nadler'	2.5" CAL.
5	ta	AMERICAN SENTRY LINDEN	Tilia americana 'MinkSentry'	2.5" CAL.
DECIDUOUS SHRUBS				
1	bw	NORTHERN CHARM BOXWOOD	Buxus 'Wilson'	#3 CONT.
1	cc	SUGARTINA CLETHRA	Clethra alnifolia 'Crystalina' (PP21, 561)	#2 CONT.
1	ct	ARCTIC FIRE DOGWOOD	Cornus stolonifera 'Farrow' (PP18,523)	#5 CONT.
1	cs	CARDINAL DOGWOOD	Cornus sericea 'Cardinal'	#5 CONT.
1	ds	BUTTERFLY BUSH HONEYSUCKLE	Diervilla sessilifolia 'Butterfly'	#5 CONT.
1	dw	DWARF WINGED EUONYMOU	Euonymus alatus 'Compactus'	#10 CONT.
1	ra	GRO LOW SUMAC	Rhus aromatica 'Gro Low'	#5 CONT.
1	sm	DWARF KOREAN LILAC	Syringa meyeri 'Palatin'	#5 CONT.
1	sr	RED ELDERBERRY	Sambucus racemosa	#5 CONT.
1	ss	SEM FALSE SPIREA	Sorbaria sorbifolia 'Sem'(PP16,336)	#2 CONT.
CONIFEROUS TREES				
1	jc	SPARTAN JUNIPER	Juniper chinensis 'Spartan'	6' B&B
12	pa	NORWAY SPRUCE	Prusa abies	6' B&B
7	ps	WHITE PINE	Pinus Strobus	6' B&B
CONIFEROUS SHRUBS				
1	cp	KING'S GOLD CHAMAECYPARIS	Chamaecyparis pisifera 'King's gold'	#5 CONT.
1	cl	HEATHERBUN CHAMAECYPARIS	Chamaecyparis thyoides 'Heather Bun'	#5 CONT.
1	jh	BLUE CHIP JUNIPER	Juniperus horizontalis 'Blue Chip'	#5 CONT.
1	jp	SEA GREEN JUNIPER	Juniperus x pfitzeriana 'Sea Green'	#5 CONT.
1	js	BLUE FOREST JUNIPER	Juniperus sabina 'Blue Forest'	#5 CONT.
1	pb	SCHOODIC PINE	Pinus banksiana 'Schoodic'	#3 CONT.
1	tc	TECHNITO ARBORVITAE	Thuja occidentalis 'Balljoint' (PP15, 850)	6' B&B

*PLANT SCHEDULE FOR SPECIES REFERENCE ONLY, FINAL QUANTITIES TO BE DETERMINED

IRRIGATION NOTE: ALL PLANTING BEDS TO RECEIVE DRIPLINE IRRIGATION, ALL TURF AREAS TO RECEIVE SPRAY NOZZLES

GRAPHIC LEGEND:

CIP STANDARD GRAY CONCRETE, BROOM FINISHED, TYP.	CIP COLORED CONCRETE, BROOM FINISHED, TYP.
PLANTING BED #1: ROCK MULCH, 4" MIN. MIXED SHRUBS AND PERENNIALS PER PLANT SCHEDULE	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
PLANTING BED #2: HARDWOOD MULCH, 4" MIN. MIXED SHRUBS AND PERENNIALS PER PLANT SCHEDULE	SHORTGRASS PRAIRIE, SEED MIX TBD



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CONSTRUCTION

DRAWN BY	SB
CHECKED BY	BH
COMMISSION NUMBER	2286-05

SHEET TITLE

SITE - PLANTING PLAN

SHEET NUMBER

L101

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BKV
GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

222 North Second Street
Long & Kees Bldg
Suite 101
Minneapolis, MN
55401
612.339.3752

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

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CONSTRUCTION

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COMMISSION NUMBER	2286-05

EDEN AVE

SCULPTURE

FUTURE OUTDOOR SPACE
(MN DOT LAND)

OPEN MN
DOT LAND

EXISTING
RETAINING WALL

ALTERNATE
OUTDOOR
SEATING AREA

29 SURFACE
PARKING SPACES

BELOW GRADE
WATER
RETENTION

ALTERNATE
LOADING AREA

-3 PARKING
PACES - FUTURE
DRIVEWAY

DOG RUN
AREA

BELOW GRADE
WATER
RETENTION

COURTYARD

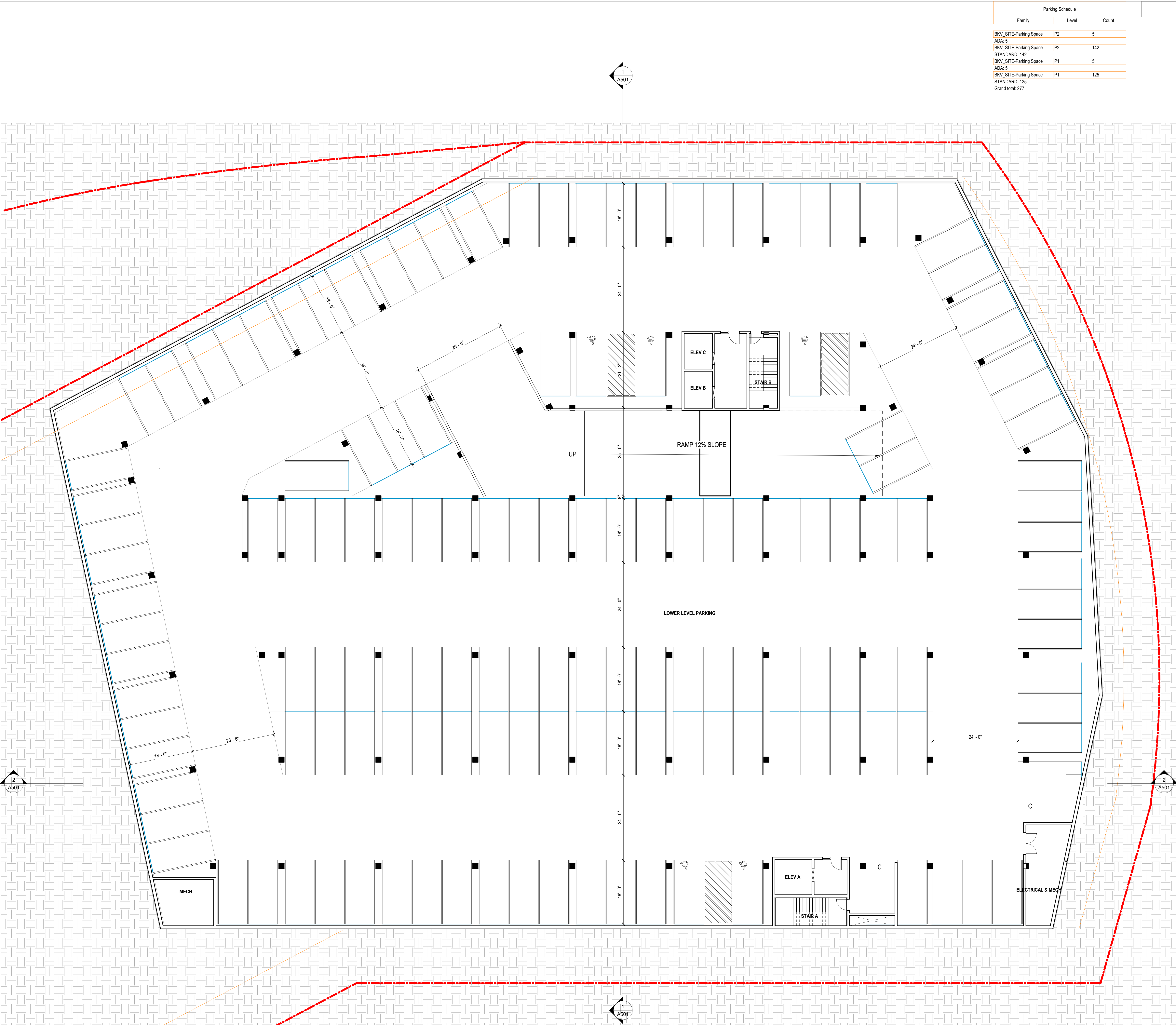
DROP OFF

CORRIDOR

SERVICE DRIVEWAY

WILLSON RD

BIM 360/2286-05_4917 Eden Ave/2286-05_4917 Eden Ave_Al_2019.rvt
3/12/2021 4:28:13 PM



Parking Schedule		
Family	Level	Count
BKV SITE-Parking Space	P2	5
ADA-5		
BKV SITE-Parking Space	P2	142
STANDARD: 142		
BKV SITE-Parking Space	P1	5
ADA-5		
BKV SITE-Parking Space	P1	125
STANDARD: 125		
Grand total: 277		

ARCHITECTURAL KEYNOTES

BKV
GROUP

Architecture
Interior Design
Landscape
Architecture

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Minneapolis, MN
55401
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CONSULTANTS

TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33884 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

CERTIFICATION

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CONSTRUCTION

DRAWN BY	Author
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COMMISSION NUMBER	2286-05

SHEET TITLE

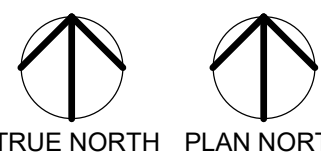
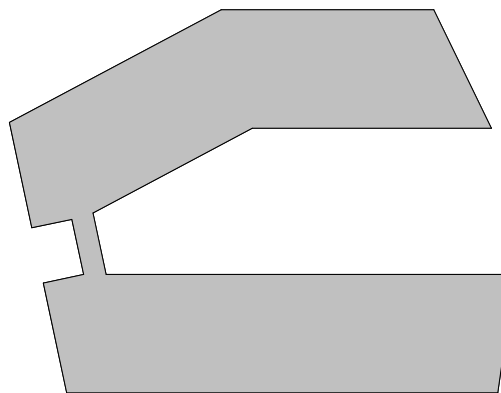
LEVEL OVERALL
LOWER
BASEMENT PLAN

SHEET NUMBER

A098

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1
A098
P2
3/2" = 1'-0"



CONSULTANTS

TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33684 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

PROJECT TITLE

4917 EDEN AVE

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

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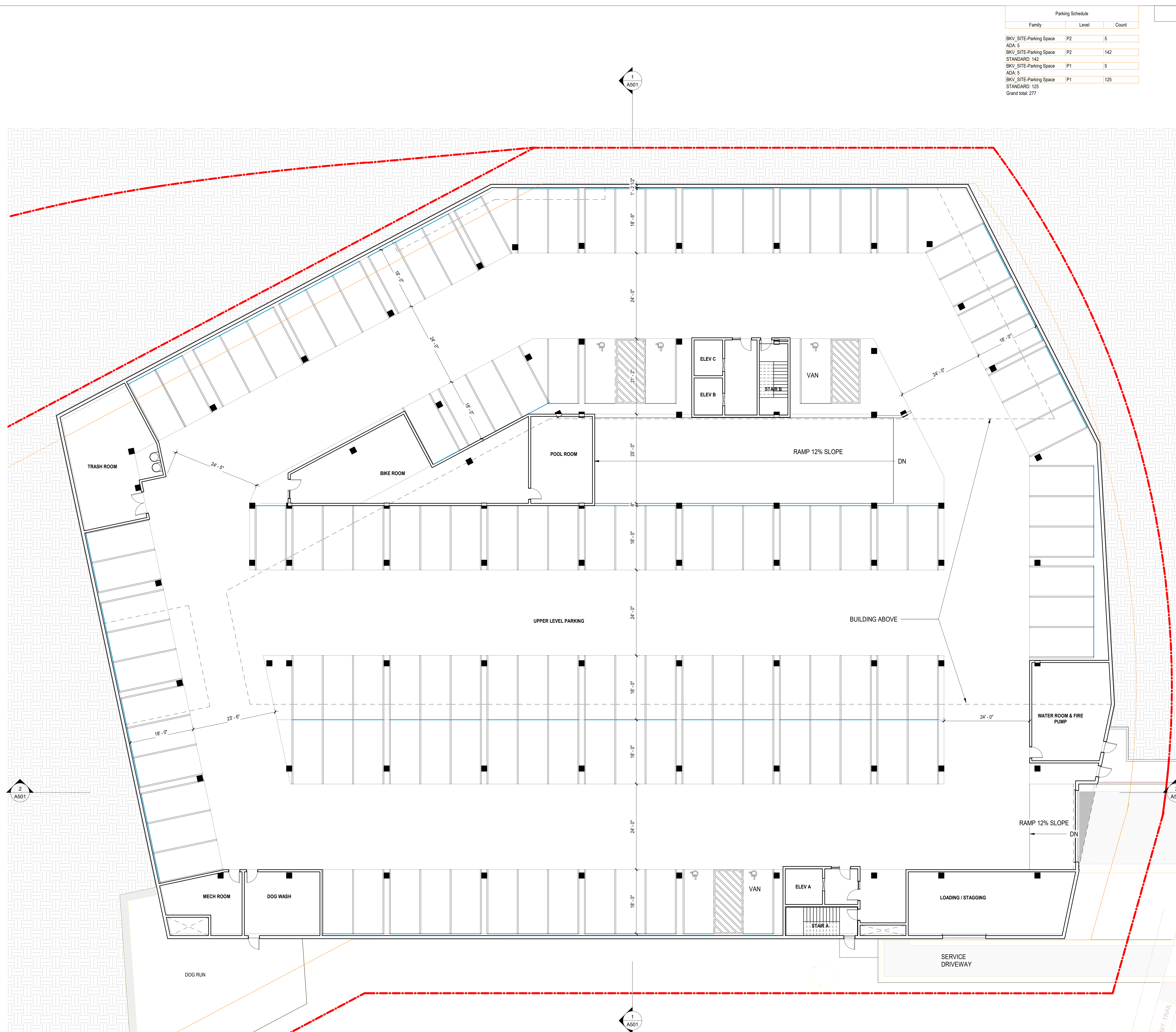
SHEET TITLE

LEVEL OVERALL
UPPER
BASEMENT PLAN

SHEET NUMBER

A099

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CONSULTANTS

PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33884 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

UNIT MIX - RENTABLE AREA			
UNIT TYPE	UNIT AREA	COUNT #	RENTABLE / TOTAL AREA
UNIT A1 - 1 BED	700 SF	67	46918 SF
UNIT A1.1 - 1 BED	746 SF	1	746 SF
UNIT A2 - 1 BED	706 SF	7	4941 SF
UNIT A2.1 - 1 BED	680 SF	7	4759 SF
UNIT A3 - 1 BED	724 SF	11	7966 SF
UNIT B1 - 2 BED	1070 SF	52	55640 SF
UNIT B2 - 2 BED	1060 SF	12	12714 SF
UNIT B3 - 2 BED	1036 SF	7	7253 SF
UNIT B4 - 2 BED	1161 SF	5	5807 SF
UNIT B01 - 2 BED DEN	1204 SF	6	7221 SF
UNIT B02 - 2 BED DEN	1201 SF	6	7206 SF
UNIT B03 - 2 BED DEN	1203 SF	4	4810 SF
UNIT B04 - 2 BED DEN	1247 SF	4	4990 SF
UNIT PH1 - PENTHOUSE	1486 SF	2	2992 SF
UNIT PH2 - PENTHOUSE	1448 SF	1	1448 SF
UNIT PH3 - PENTHOUSE	1486 SF	1	1486 SF
UNIT PH4 - PENTHOUSE	1750 SF	1	1737 SF
UNIT PH5 - PENTHOUSE	1694 SF	1	1694 SF
UNIT PH6 - PENTHOUSE	1726 SF	1	1726 SF
UNIT S1 - ALCOVE	572 SF	12	6863 SF
TOTAL: 208			188918 SF

CERTIFICATION

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SHEET TITLE

LEVEL 1 -
OVERALL FLOOR
PLAN

SHEET NUMBER

A101



1
A101 3/32" = 1'-0"

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PROJECT TITLE

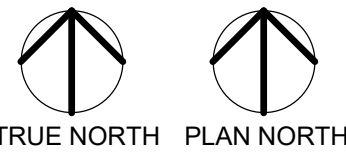
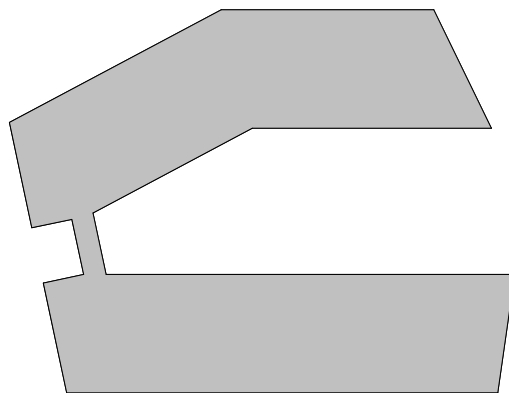
4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33884 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

UNIT MIX - RENTABLE AREA			
UNIT TYPE	UNIT AREA	COUNT #	RENTABLE / TOTAL AREA
UNIT A1 - 1 BED	700 SF	67	46918 SF
UNIT A1.1 - 1 BED	746 SF	1	746 SF
UNIT A2 - 1 BED	706 SF	7	4941 SF
UNIT A2.1 - 1 BED	680 SF	7	4759 SF
UNIT A3 - 1 BED	724 SF	11	7966 SF
UNIT B1 - 2 BED	1070 SF	52	55640 SF
UNIT B2 - 2 BED	1060 SF	12	12714 SF
UNIT B3 - 2 BED	1036 SF	7	7253 SF
UNIT B4 - 2 BED	1161 SF	5	5807 SF
UNIT B01 - 2 BED DEN	1204 SF	6	7221 SF
UNIT B02 - 2 BED DEN	1201 SF	6	7206 SF
UNIT B03 - 2 BED DEN	1203 SF	4	4810 SF
UNIT B04 - 2 BED DEN	1247 SF	4	4990 SF
UNIT PH1 - PENTHOUSE	1486 SF	2	2952 SF
UNIT PH2 - PENTHOUSE	1448 SF	1	1448 SF
UNIT PH3 - PENTHOUSE	1486 SF	1	1486 SF
UNIT PH4 - PENTHOUSE	1750 SF	1	1737 SF
UNIT PH5 - PENTHOUSE	1694 SF	1	1694 SF
UNIT PH6 - PENTHOUSE	1726 SF	1	1726 SF
UNIT S1 - ALCOVE	572 SF	12	6863 SF
TOTAL: 208			188918 SF



CERTIFICATION

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SHEET TITLE

LEVEL 2
OVERALL FLOOR
PLAN

SHEET NUMBER

A102

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PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
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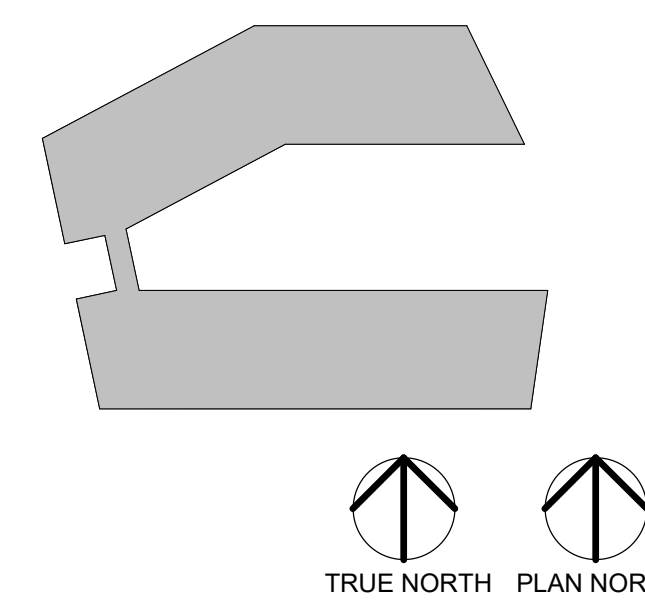
TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33884 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

UNIT MIX - RENTABLE AREA			
UNIT TYPE	UNIT AREA	COUNT #	RENTABLE / TOTAL AREA
UNIT A1 - 1 BED	700 SF	67	46919 SF
UNIT A1.1 - 1 BED	746 SF	1	746 SF
UNIT A2 - 1 BED	706 SF	7	4941 SF
UNIT A2.1 - 1 BED	680 SF	7	4759 SF
UNIT A3 - 1 BED	724 SF	11	7966 SF
UNIT B1 - 2 BED	1070 SF	52	55640 SF
UNIT B2 - 2 BED	1060 SF	12	12714 SF
UNIT B3 - 2 BED	1036 SF	7	7253 SF
UNIT B4 - 2 BED	1161 SF	5	5807 SF
UNIT B01 - 2 BED DEN	1204 SF	6	7221 SF
UNIT B02 - 2 BED DEN	1201 SF	6	7206 SF
UNIT B03 - 2 BED DEN	1203 SF	4	4810 SF
UNIT B04 - 2 BED DEN	1247 SF	4	4990 SF
UNIT PH1 - PENTHOUSE	1486 SF	2	2992 SF
UNIT PH2 - PENTHOUSE	1448 SF	1	1448 SF
UNIT PH3 - PENTHOUSE	1486 SF	1	1486 SF
UNIT PH4 - PENTHOUSE	1750 SF	1	1737 SF
UNIT PH5 - PENTHOUSE	1694 SF	1	1694 SF
UNIT PH6 - PENTHOUSE	1726 SF	1	1726 SF
UNIT S1 - ALCOVE	572 SF	12	6863 SF
TOTAL: 208			188919 SF



1
A103 / 3/32" = 1'-0"



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SHEET TITLE

LEVEL 3-6
OVERALL FLOOR
PLAN

SHEET NUMBER

A103

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PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
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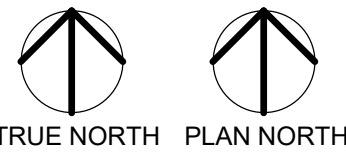
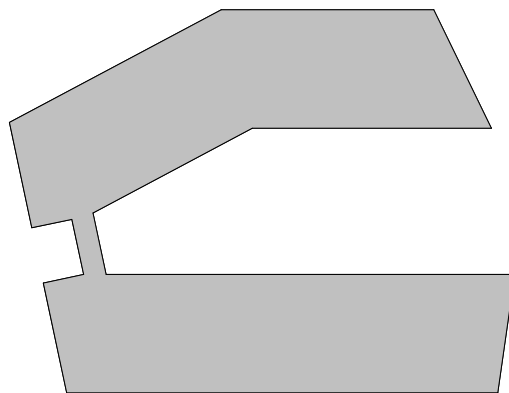
TOTAL GROSS AREA - L1 TO L7	
LEVEL	AREA
LEVEL 1	32646 SF
LEVEL 2	31793 SF
LEVEL 3	33884 SF
LEVEL 4	32872 SF
LEVEL 5	32872 SF
LEVEL 6	32872 SF
LEVEL 7	31443 SF
TOTAL	228382 SF

TOTAL GROSS AREA - PARKING LEVELS	
LEVEL	AREA
P2	53527 SF
P1	53124 SF
TOTAL	106652 SF

UNIT MIX - RENTABLE AREA			
UNIT TYPE	UNIT AREA	COUNT #	RENTABLE / TOTAL AREA
UNIT A1 - 1 BED	700 SF	67	46919 SF
UNIT A1.1 - 1 BED	746 SF	1	746 SF
UNIT A2 - 1 BED	706 SF	7	4941 SF
UNIT A2.1 - 1 BED	680 SF	7	4759 SF
UNIT A3 - 1 BED	724 SF	11	7966 SF
UNIT B1 - 2 BED	1070 SF	52	55640 SF
UNIT B2 - 2 BED	1060 SF	12	12714 SF
UNIT B3 - 2 BED	1036 SF	7	7253 SF
UNIT B4 - 2 BED	1161 SF	5	5807 SF
UNIT B01 - 2 BED DEN	1204 SF	6	7221 SF
UNIT B02 - 2 BED DEN	1201 SF	6	7206 SF
UNIT B03 - 2 BED DEN	1203 SF	4	4810 SF
UNIT B04 - 2 BED DEN	1247 SF	4	4900 SF
UNIT PH1 - PENTHOUSE	1486 SF	2	2972 SF
UNIT PH2 - PENTHOUSE	1448 SF	1	1448 SF
UNIT PH3 - PENTHOUSE	1486 SF	1	1486 SF
UNIT PH4 - PENTHOUSE	1750 SF	1	1737 SF
UNIT PH5 - PENTHOUSE	1694 SF	1	1694 SF
UNIT PH6 - PENTHOUSE	1726 SF	1	1726 SF
UNIT S1 - ALCOVE	572 SF	12	6863 SF
TOTAL: 208			188919 SF



1
A107
LEVEL 7
3/32" = 1'-0"



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SHEET TITLE

LEVEL 7
OVERALL FLOOR
PLAN

SHEET NUMBER

A107

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PROJECT TITLE

4917 EDEN AVE

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	03/12/2021	PRELIMINARY DESIGN

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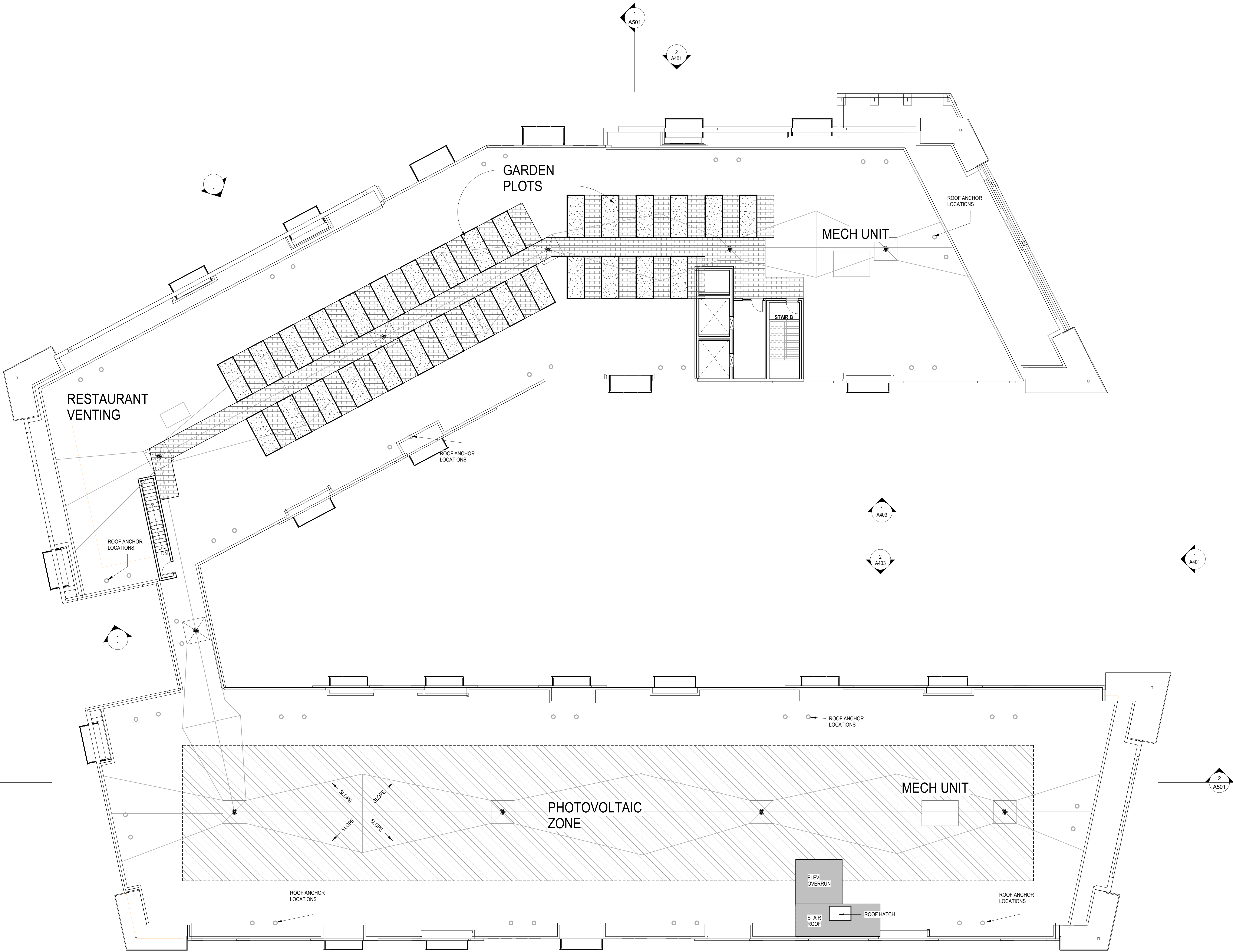
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COMMISSION NUMBER	2286-05

SHEET TITLE

ROOF PLAN

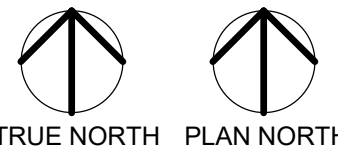
SHEET NUMBER

A140



1
A140

ROOF
3/32" = 1'-0"





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GROUP

Architecture
Interior Design
Landscape
Architecture

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Minneapolis, MN
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612.339.3752

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PROJECT TITLE

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SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A402

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1 COURTYARD - NORTH
A403 3/32" = 1'-0"



2 COURTYARD - SOUTH
A403 3/32" = 1'-0"

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PROJECT TITLE

4917 EDEN AVE

ISSUE #	DATE	DESCRIPTION
	03/12/2021	PRELIMINARY DESIGN

CERTIFICATION

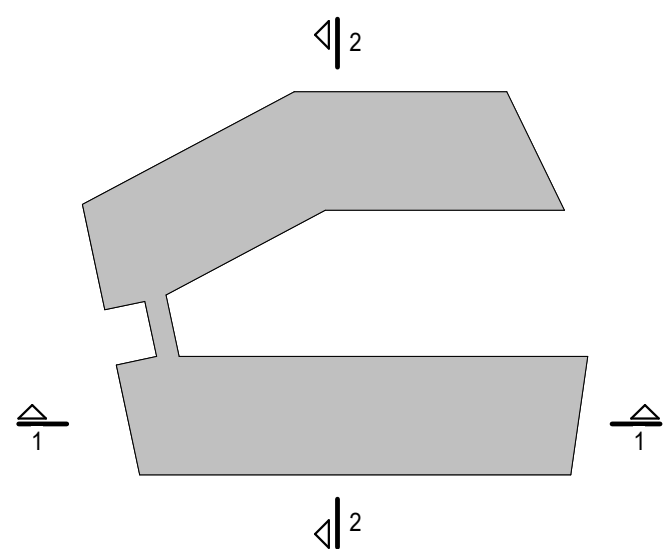
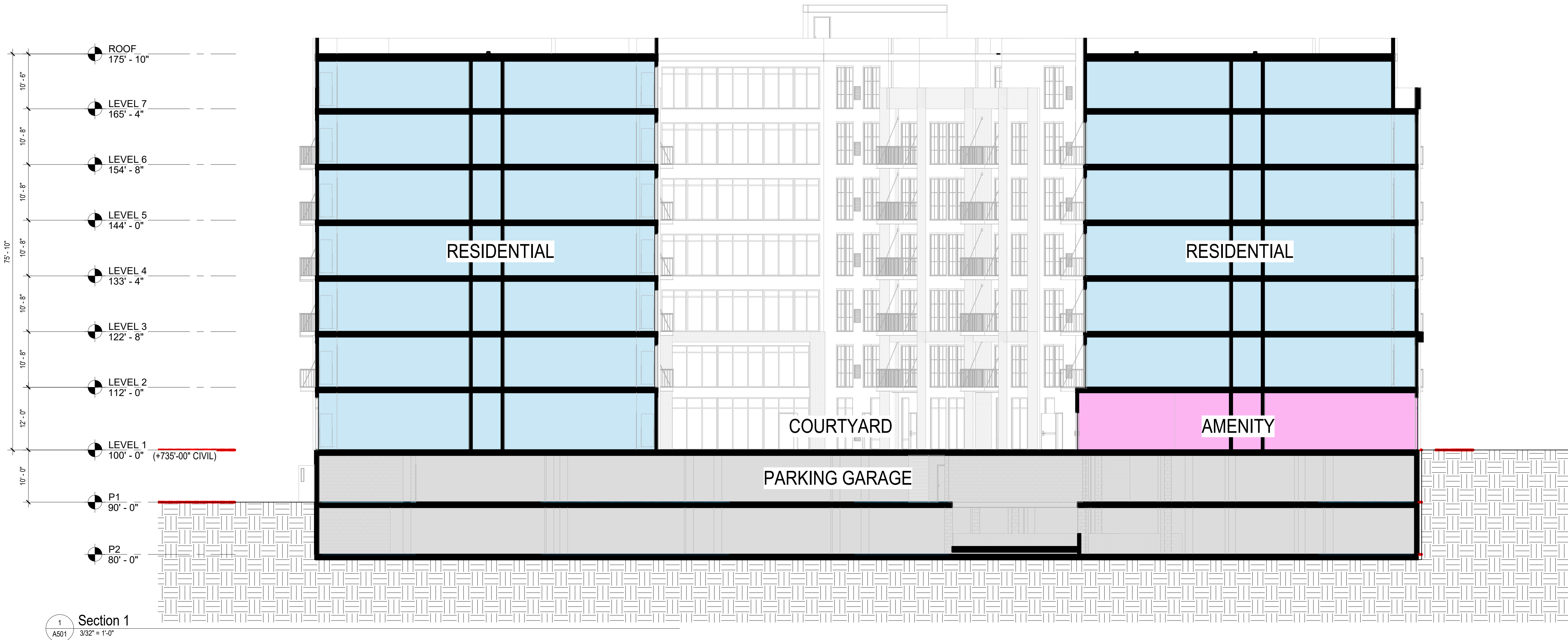
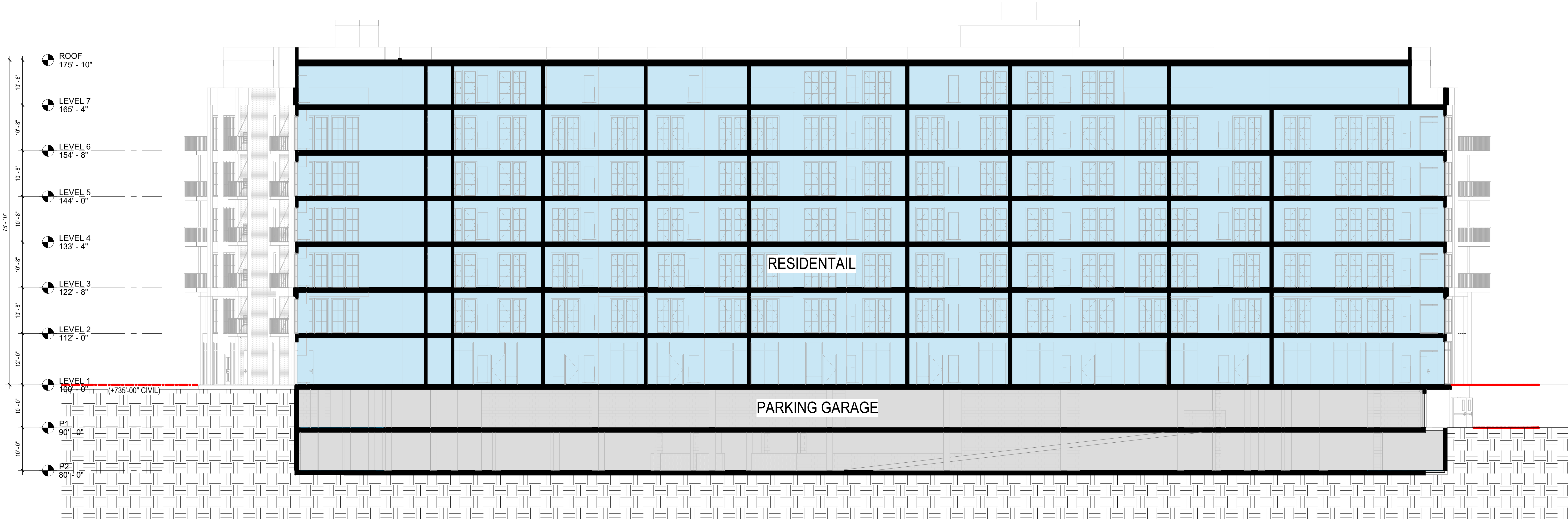
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COMMISSION NUMBER	2286-05

SHEET TITLE

BUILDING
SECTIONS

SHEET NUMBER

A501



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CONSTRUCTION

NEW CONCEPT - RENDERING



REUTERWALTON

RW - EDEN AVE, EDINA MN

BKV
GROUP

NEW CONCEPT - RENDERING



NEW CONCEPT - RENDERING



REUTERWALTON

RW - EDEN AVE, EDINA MN

BKV
GROUP

NEW CONCEPT - RENDERING



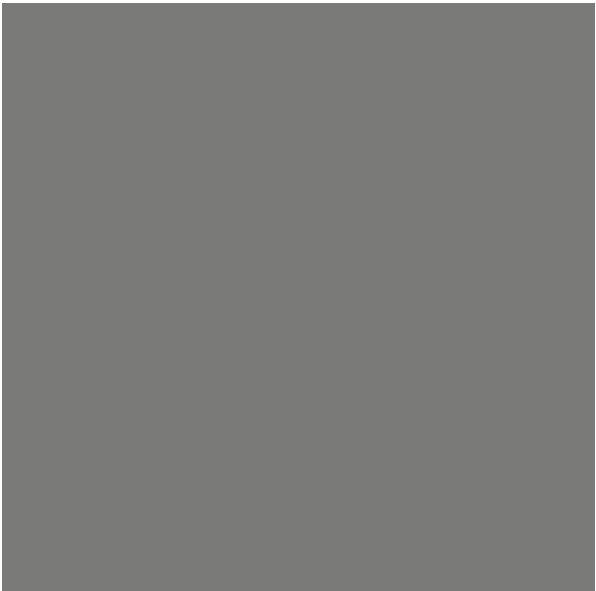
NEW CONCEPT - RENDERING



NEW CONCEPT - MATERIALS



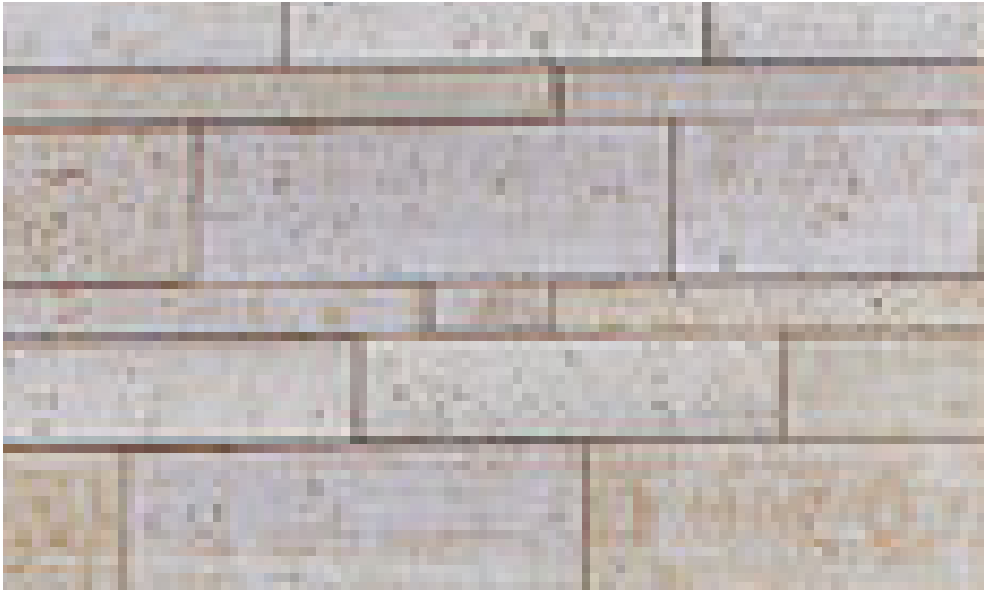
FBR-1
WHITE BRICK



FSDG-1
CEMENT BOARD SIDING AND TRIM
DARK GREY



FSDG-2
CEMENT BOARD SIDING AND TRIM
BUFF



STN-1
KASOTA STONE OR MANUFACTURED STONE



MP-1 & 2
METAL PANEL
COPPER FINISH



DCMU-1
SPLIT FACE BLOCK
BUFF COLOR