



MATERIAL CALCULATION						
	MATERIAL ID'S	NORTH (1/4" STREET WEST)	SOUTH	EAST	WEST (FRANCE AVENUE)	TOTAL
FACADE SF:		1,284 SF	1,222 SF	2,472 SF	2,665 SF	7,613 SF
STONE: (% OF FACADE)	ST-01, ST-03, ST-05	462 SF / 37%	468 SF / 38%	712 SF / 29%	903 SF / 35%	2,545 SF / 34%
BRICK: (% OF FACADE)	FBR-01	0 SF / 0%	403 SF / 33%	890 SF / 36%	0 SF / 0%	1,293 SF / 17%
METAL PANEL: (% OF FACADE)	MP-3A, MP-3B, SMF-3E, SMF-3B	216 SF / 17%	269 SF / 22%	532 SF / 19%	581 SF / 23%	1,598 SF / 21%
INTERIOR SF:		773 SF	611 SF	1,308 SF	1,440 SF	4,132 SF
GLAZING: (% OF INTERIOR SPACE)	GL-11, G-11T	576 SF / 75% (75% REQUIRED)	82 SF / 14%	411 SF / 32%	1081 SF / 75% (75% REQUIRED)	2,160 SF / 52%

13" - 10" CEILING

10" - 0" CEILING

FAÇADE AREA  
2565 SF

INTERIOR SPACE  
1440 SF

REQUIRED GLAZING:  
1440 SF X 0.75 = 1080 SF

PROVIDED GLAZING:  
**1081 SF**

KEY ELEVATION WEST

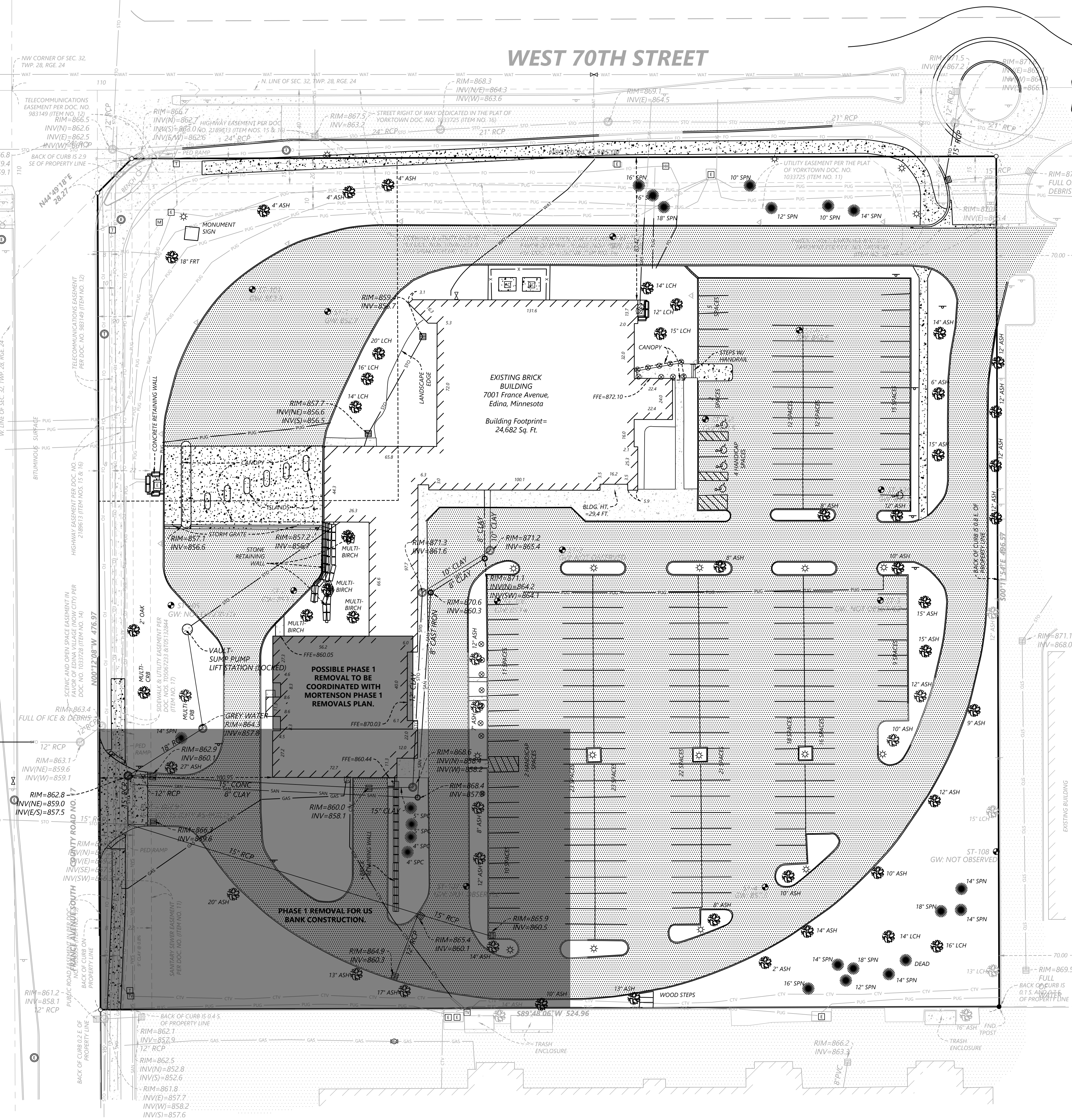
$$1^{\circ} = 20^{\circ} - 0^{\circ}$$

$$1'' = 20'' - 0''$$



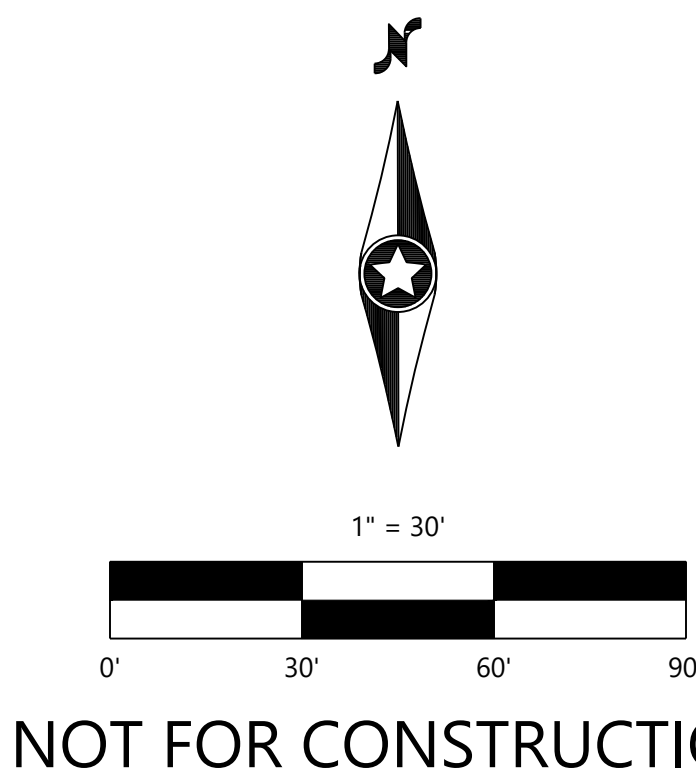
FRANCE AVENUE SOUTH COUNTY ROAD NO. 17

WEST 70TH STREET



LEGEND

	SANITARY MANHOLE		STEEL/WOOD POST
	SEWER CLEANOUT		SIGN
	SEPTIC COVER		MAIL BOX
	STORM MANHOLE		FLAG POLE
	BEEHIVE CATCH BASIN		HANDICAPPED STALL
	CATCH BASIN		BENCH
	FLARED END SECTION		OIL MANHOLE
	CULVERT		OIL PUMP JACK
	CATCH BASIN MANHOLE		OIL WELL
	DOWNSPOUT		MET TOWER
	DRYWELL		WEATHER STATION
	STORM INTERCEPTOR		TURBINE
	HYDRANT		IRRIGATION MANHOLE
	GATE VALVE		IRRIGATION SH
	WATER METER		IRRIGATION SP
	FIRE DEPARTMENT CONNECTION		IRRIGATION VALVE
	CURB STOP BOX		SOIL BORING
	WATER MANHOLE		PERC TEST
	WELL		MONITORING WELL
	POST INDICATOR VALVE		PIEZOMETER
	DOUBLE DETECTOR CHECK VALVE		BUSH/SHRUB
	FARM HYDRANT		CONIFEROUS TREE
	REDUCE PRESSURE VALVE		DECIDUOUS TREE
	STOCK TANK		SAGURA
	WINDMILL		BOUNDARY LINE
	ELECTRIC BOX		RIGHT-OF-WAY LINE
	ELECTRIC METER		LOT LINE
	ELECTRIC MANHOLE		EASEMENT LINE
	ELECTRIC TOWER		SECTION LINE
	STREET LIGHT		TREE LINE
	POWER POLE WITH LIGHT		CABLE TELEVISION LINE
	GUY WIRE		GAS LINE
	POWER POLE		POWER OVERHEAD
	MAST ARM		POWER UNDERGROUND
	MAST ARM W/ LIGHT		SANITARY SEWER
	TRAFFIC SIGNAL		STORM SEWER
	TELEPHONE BOX		TELEPHONE OVERHEAD
	TELEPHONE MANHOLE		TELEPHONE UNDERGROUND
	CABLE TV BOX		WATERMAIN
	CABLE TV MANHOLE		FIBER OPTIC
	FIBER OPTIC MANHOLE		FENCE LINE
	FIBER OPTIC PEDESTAL		CONTROLLED ACCESS
	NATURAL GAS METER		CURB & GUTTER
	NATURAL GAS VALVE		CONCRETE SURFACE
	NATURAL GAS MANHOLE		BITUMINOUS SURFACE
	NATURAL GAS RISER/SERVICE		GRAVEL SURFACE
	NATURAL GAS VENT PIPE		WETLAND
	NATURAL GAS WELL		FOUND MONUMENT (SEE LABEL)
	AIR CONDITIONER		SET MONUMENT (SEE LABEL)
	UNKNOWN MANHOLE		
	MISCELLANEOUS METER		
	MISCELLANEOUS PEDESTAL		



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811 or call811.com  
Common Ground Alliance

DESIGNED	11/16/2020
CHECKED	
DRAWN	
APPROVED	
DATE	
SCALE	
VERTICAL SCALE	

PREPARED FOR:  
**RSP ARCHITECTS**  
1220 MARSHALL STREET NE  
MINNEAPOLIS, MN 55413

1- I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.  
DATE: 02/26/2021  
DAVID T. BADE  
LICENSE NO. 125413

**US BANK - EDINA**  
EDINA, MN

**Westwood**  
Professional Services, Inc.  
12701 Whitewater Drive, Suite #200  
Edina, MN 55425  
Phone: (952) 937-5160  
Fax: (952) 937-5822  
www.westwoodps.com

**EXISTING CONDITIONS  
AND REMOVALS PLAN**

SHEET NUMBER:

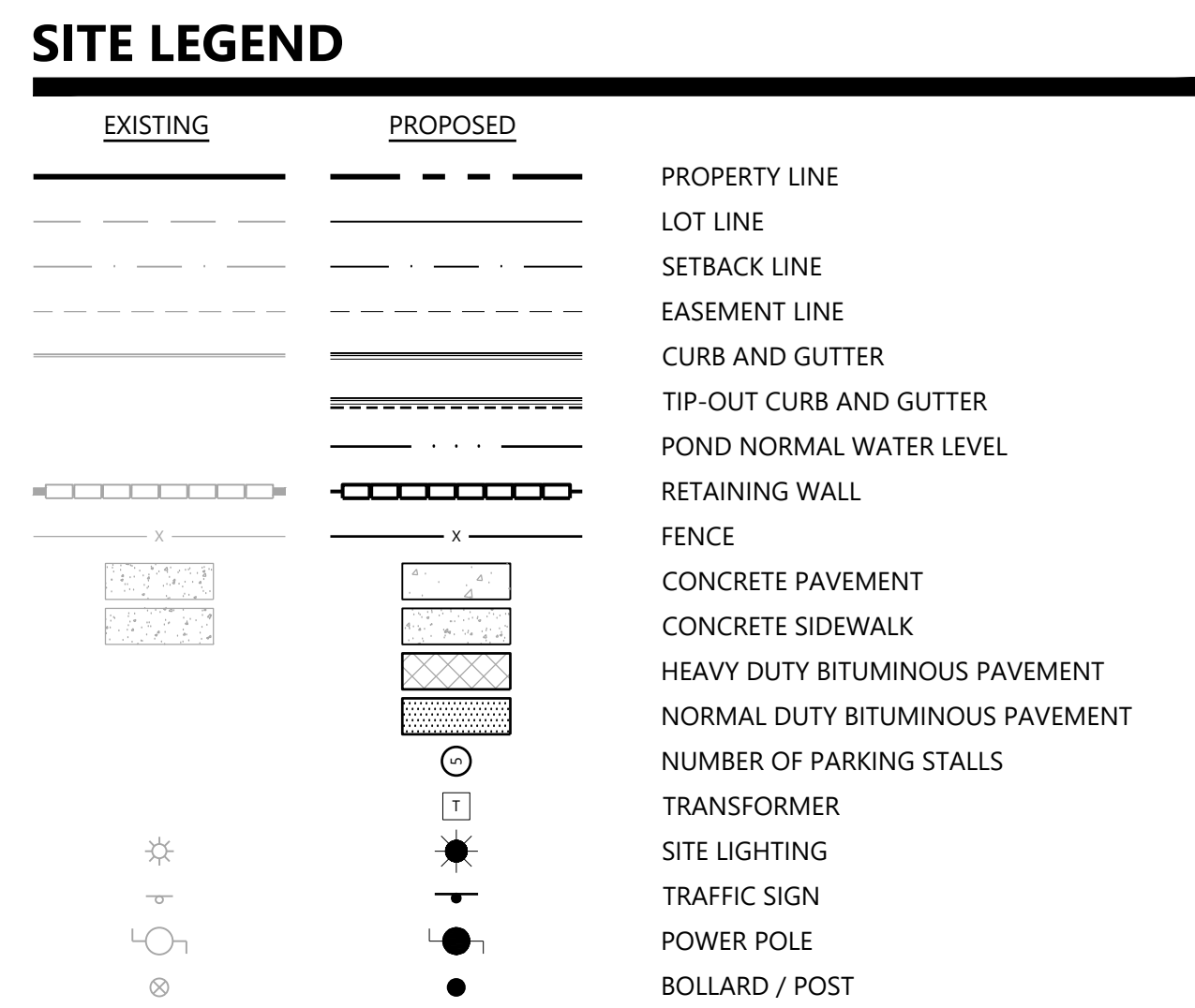
**C100**

DATE: 02/26/2021

PROJECT NUMBER: 0029211.50

US BANK - EDINA





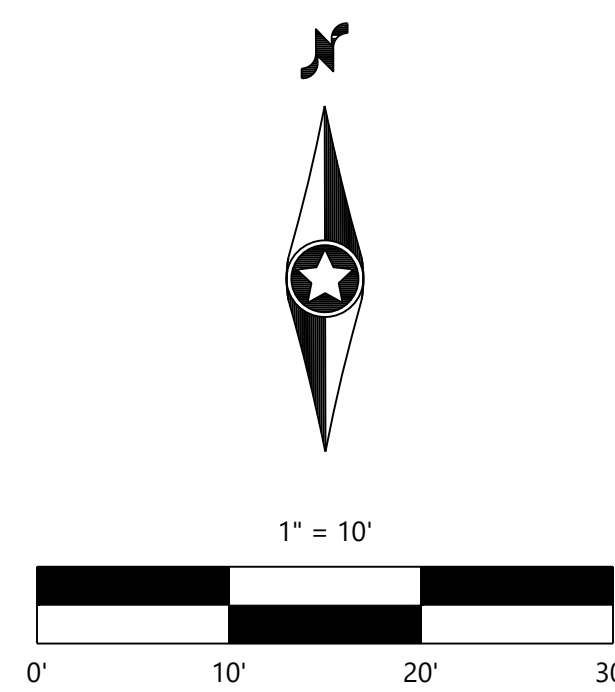
1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 2020.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
6. ALL CURB RADII ARE SHALL BE 5.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
7. ALL CURB AND GUTTER SHALL BE 36" UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

EXISTING ZONING:	PDC-3, PLANNED COMMERCIAL
PROPOSED ZONING:	PUD - PLANNED UNIT DEVELOPMENT
PARCEL DESCRIPTION:	LOT 4, BLOCK 1, YORKTOWN, HENNEPIN COUNTY, MINNESOTA
PROPERTY AREA:	44,890 SF (1.03 AC)
FLOOR AREA-RATIO(FAR):	SEE ARCH PLANS
BUILDING SETBACK PER CODE:	40'-FRONT

1A	B612 CURB AND GUTTER
1B	B618 CURB AND GUTTER
2	FLUSH CURB
8	PRIVATE CONCRETE SIDEWALK
9	PRIVATE PEDESTRIAN CURB RAMP
13	TRAFFIC ARROW
14	SIGN INSTALLATION
15	HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
19	PAVEMENT SECTIONS
21	HEAVY DUTY CONCRETE SECTION
24	CONCRETE CURB AT SIDEWALK
31	TRANSITION CURB (B612)
40	MODULAR BLOCK RETAINING WALL

- A. LIMESTONE BLOCK WALL - SEE ARCH PLANS
- B. CONCRETE PAVERS - SEE LANDSCAPE PLAN
- C. TRANSFORMER LOCATION
- D. TRASH ENCLOSURE - SEE ARCH PLANS
- E. PLANTER CURB - SEE LANDSCAPE PLAN

REFERENCE	
S.1	STOP SIGN
S.2	PEDESTRIAN CROSSING
S.3	DO NOT ENTER



N:\0029211\_50\DWG\Civil\0029211-50\DWG01.DWG

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FRANCE AVENUE SOUTH COUNTY ROAD NO. 17

## GRADING LEGEND

EXISTING	PROPOSED	
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

## GRADING NOTES

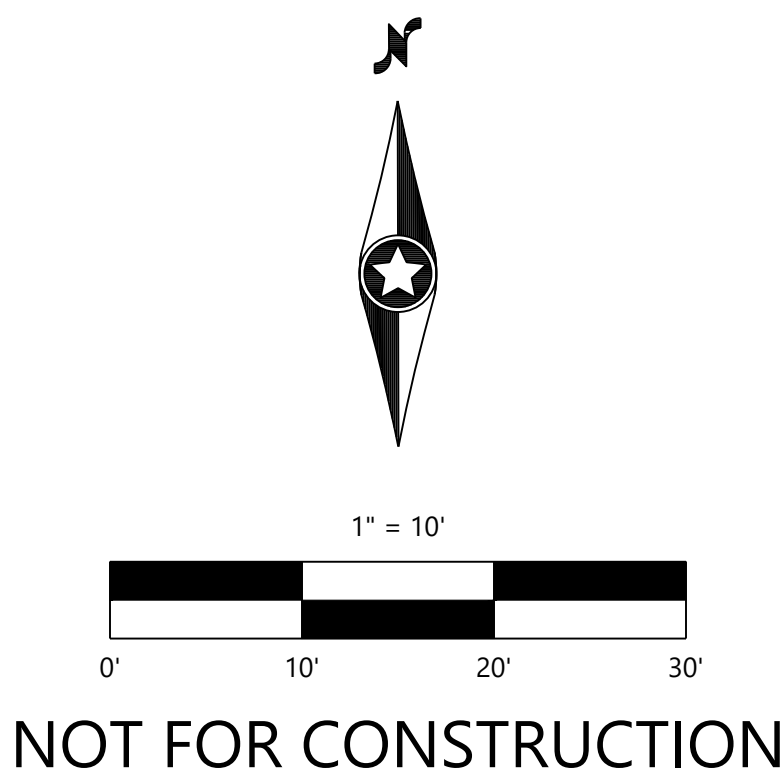
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

## FILTRATION/INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. REMOVE SEDIMENT FROM EXCAVATED BASIN PRIOR TO PLACEMENT OF FILTER MEDIA. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTROMETER SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. CORRECTIVE ACTION MAY INCLUDE REMOVING PLUG IN DRAIN TILE. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.

## SOIL REPLACEMENT NOTE

GEOTECHNICAL EVALUATIONS FOUND A LAYER OF CLAYEY SAND APPROXIMATELY 4 FEET BELOW THE BOTTOM OF THE PROPOSED INFILTRATION CHAMBERS. SHOULD THIS MATERIAL BE ENCOUNTERED DURING CONSTRUCTION, THE EXISTING CLAYEY SAND MUST BE REMOVED AND REPLACED WITH MATERIAL HAVING AN INFILTRATION RATE COMPARABLE WITH THE POORLY-GRADED SAND LOCATED AT THE BOTTOM OF THE SYSTEM.



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811 or call811.com  
Common Ground Alliance

DESIGNED:	11/16/2020
CHECKED:	
DRAWN:	US BANK FINAL DEVELOPMENT PLANS
DATE:	02/26/2021
REVISIONS:	02/26/2021 WATERSHED COMMENTS
DATE:	04/04/2021 CITY OF EDINA SITE UPDATE
SCALE:	2" = 1' L

PREPARED FOR:  
**RSP ARCHITECTS**  
1220 MARSHALL STREET NE  
MINNEAPOLIS, MN 55413

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IN ACCORDANCE WITH THE LAWS OF THE STATE OF MINNESOTA.  
**DAVID T. BADE**  
DATE: 02/26/2021 LICENSE NO. \_\_\_\_\_

**US BANK - EDINA**  
EDINA, MN

**Westwood**  
12701 Whitewater Drive, Suite #300  
Minneapolis, MN 55443  
Phone: (612) 837-2510  
Fax: (612) 837-8822  
www.westwoodps.com  
Westwood Professional Services, Inc.

**GRADING PLAN**

SHEET NUMBER:

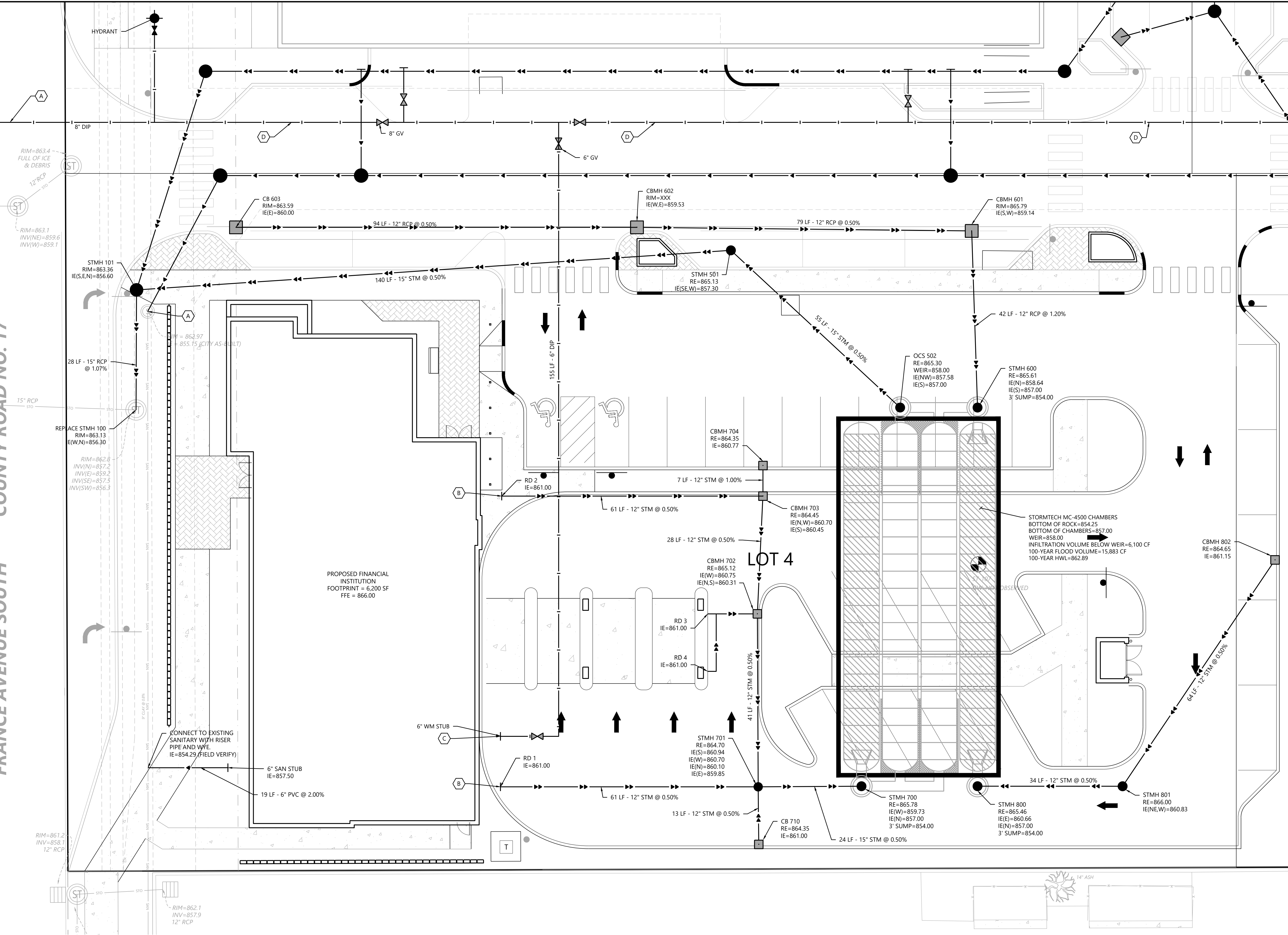
**C300**

DATE: 02/26/2021

PROJECT NUMBER: 0029211.50

US BANK - EDINA





## GENERAL UTILITY NOTES

- |  |  |   |  |
|--|--|---|--|
| <p>THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS IN THE FIELD. THE INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.</p>  | <p>WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.</p>   | <p>14. STORM SEWER PIPE:<br/>A. RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.<br/>B. REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.<br/>C. HDPE STORM PIPE 4" TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12" TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D3231.<br/>D. PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D3231.<br/>E. CORRUGATED METAL PIPE (CMP) FOR SIZES 18" TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.<br/>F. ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.</p> | <p>17. AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST- CONSTRUCTION ELEVATIONS IS REQUIRED.</p> |
| <p>2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.</p>  | <p>8. PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.</p>   | <p>15. ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.</p>   | <p>18. ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.</p>  |
| <p>3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.</p>  | <p>10. UTILITY SERVICES SPECIFICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.</p>   | <p>16. POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST IS ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).</p>  | <p>19. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.</p>   |
| <p>4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.</p>  | <p>11. DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM 888. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.</p>  |   |  |
| <p>5. ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONNECTION WITH THE UTILITY COMPANIES.</p>   | <p>12. ALL WATER LINES SHALL HAVE 8" MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8" OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.</p>   |   |  |
| <p>6. CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED, TESTED AND APPROVED BY THE CITY WITHIN 48-HOURS. PAID CITY STANDARDS SHALL COMMENCE WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.</p> | <p>13. SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULED 40 PER ASTM D2321. ALL PVC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.</p> |   |  |

1" = 10'

0' 10' 20' 30'

NOT FOR CONSTRUCTION

## UTILITY LEGEND

<u>EXISTING</u>		<u>PROPOSED</u>		
				PROPERTY LINE
				EASEMENT LINE
				CURB AND GUTTER
				SANITARY SEWER
				SANITARY SEWER FORCE MAIN
				STORM SEWER
				WATER MAIN
				HYDRANT
				GAS
				UNDERGROUND ELECTRIC
				OVERHEAD ELECTRIC
				UNDERGROUND TELEPHONE
				OVERHEAD TELEPHONE
				TELEPHONE FIBER OPTIC
				CABLE TELEVISION
				DRAIN TILE
				GATE VALVE
				FLARED END SECTION (WITH RIPRAP)
				LIGHT POLE

## UTILITY KEYNOTE

- A. CONNECT TO EXISTING. COORDINATE CONNECTION WITH THE CITY.
- B. REVIEW AND COORDINATE FINAL ROOF DRAIN LOCATIONS WITH PLUMBING PLAN.
- C. COMBINED FIRE/DOMESTIC WITH INTERNAL SPLIT. SEE PLUMBING PLAN.
- D. PHASED WATERMAIN CONSTRUCTION AS PART OF OVERALL SITE REDEVELOPMENT TO SERVE NEW US BANK BUILDING. UTILITY PHASING PLAN TO BE DEVELOPED BY MORTENSON.

Call 48 Hours before digging:  
**811 or call811.com**  
Common Ground Alliance

## UTILITY PLAN

SHEET NUMBER:

# C500

DATE: 02/26/2021

PROJECT NUMBER: 0029211.50

US BANK - EDINA  
EDINA, MN

PREPARED FOR:

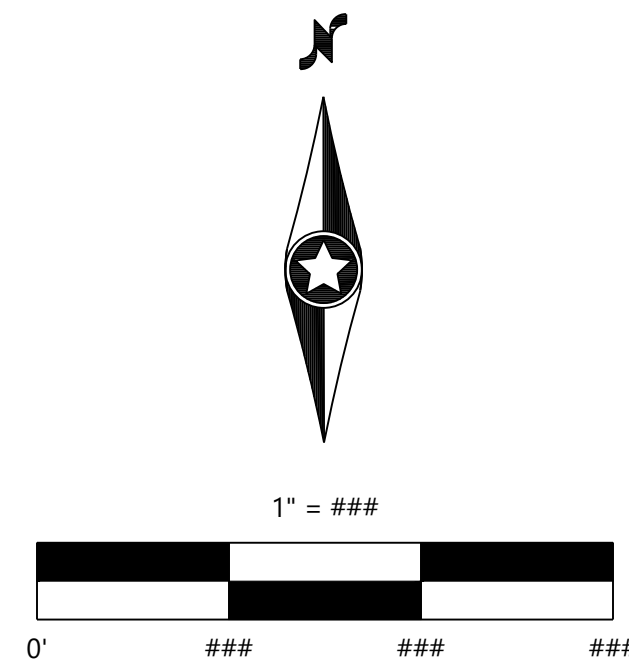
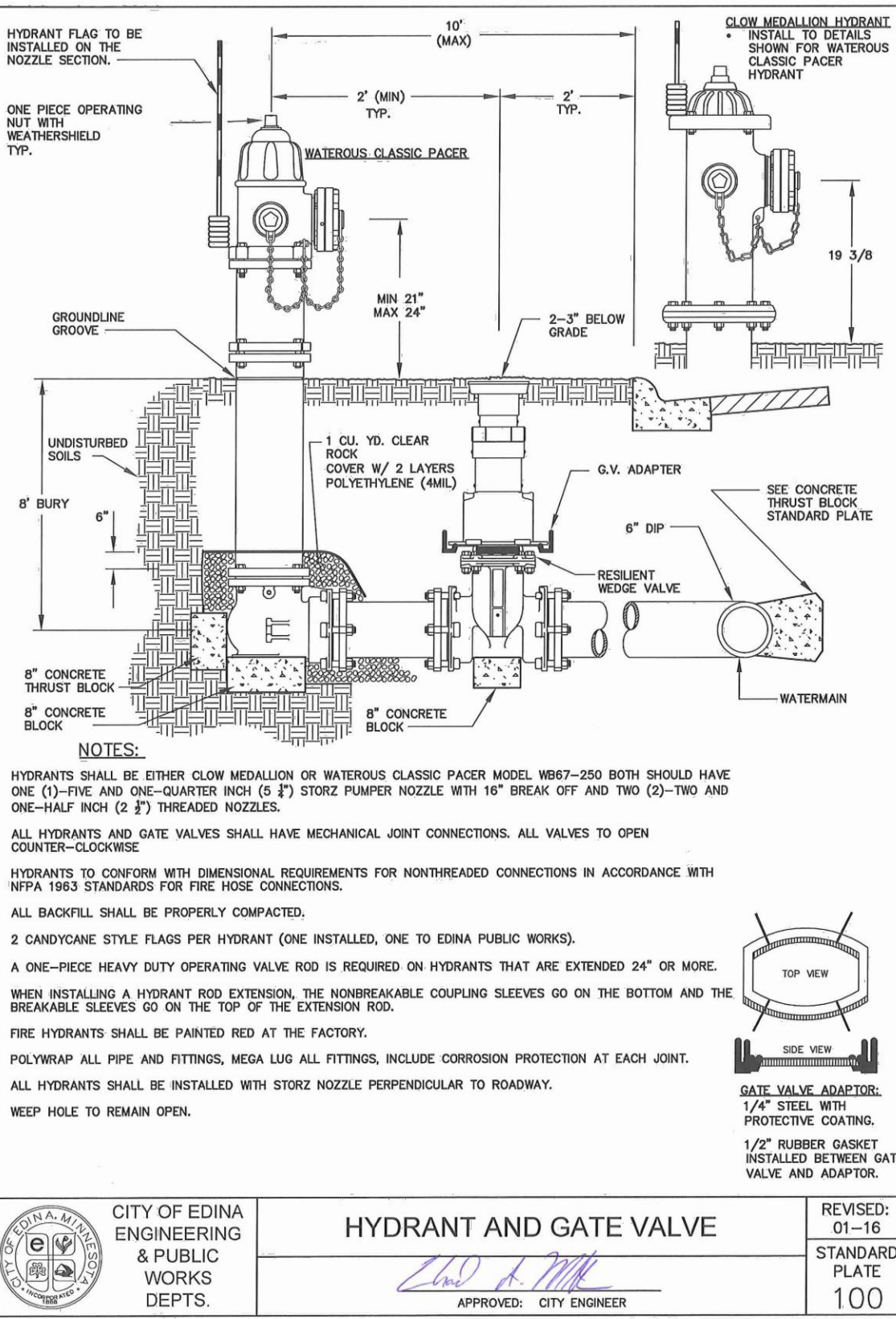
**RSP ARCHITECTS**  
1220 MARSHALL STREET NE

DAVID T. BADE

1/16/2020  
US BANK FINAL DEVELOPMENT PLANS

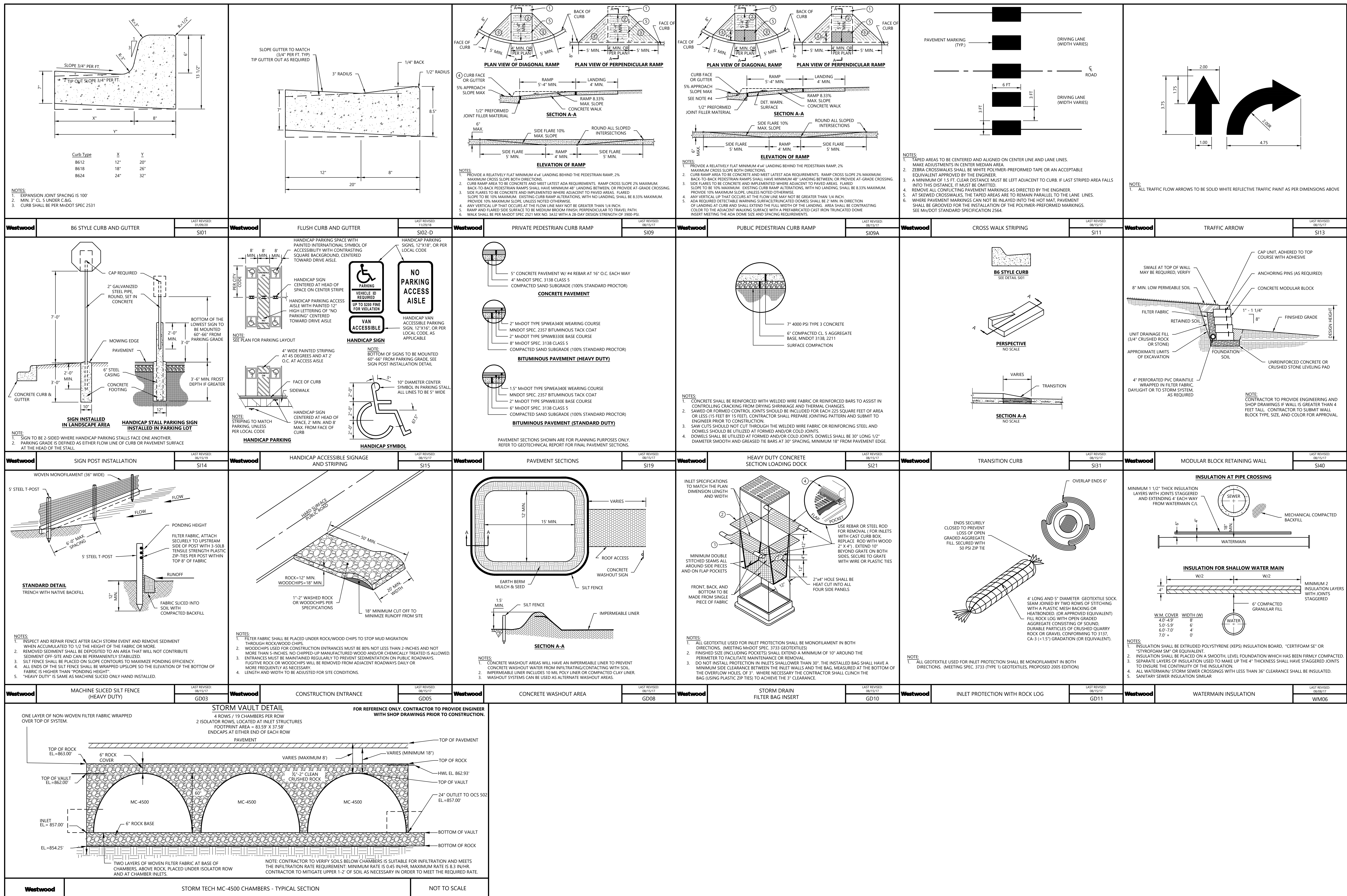
DESIGNED:	.
CHECKED:	.
DRAWN:	.
HORIZONTAL SCALE:	10'
VERTICAL SCALE:	2' or 1'



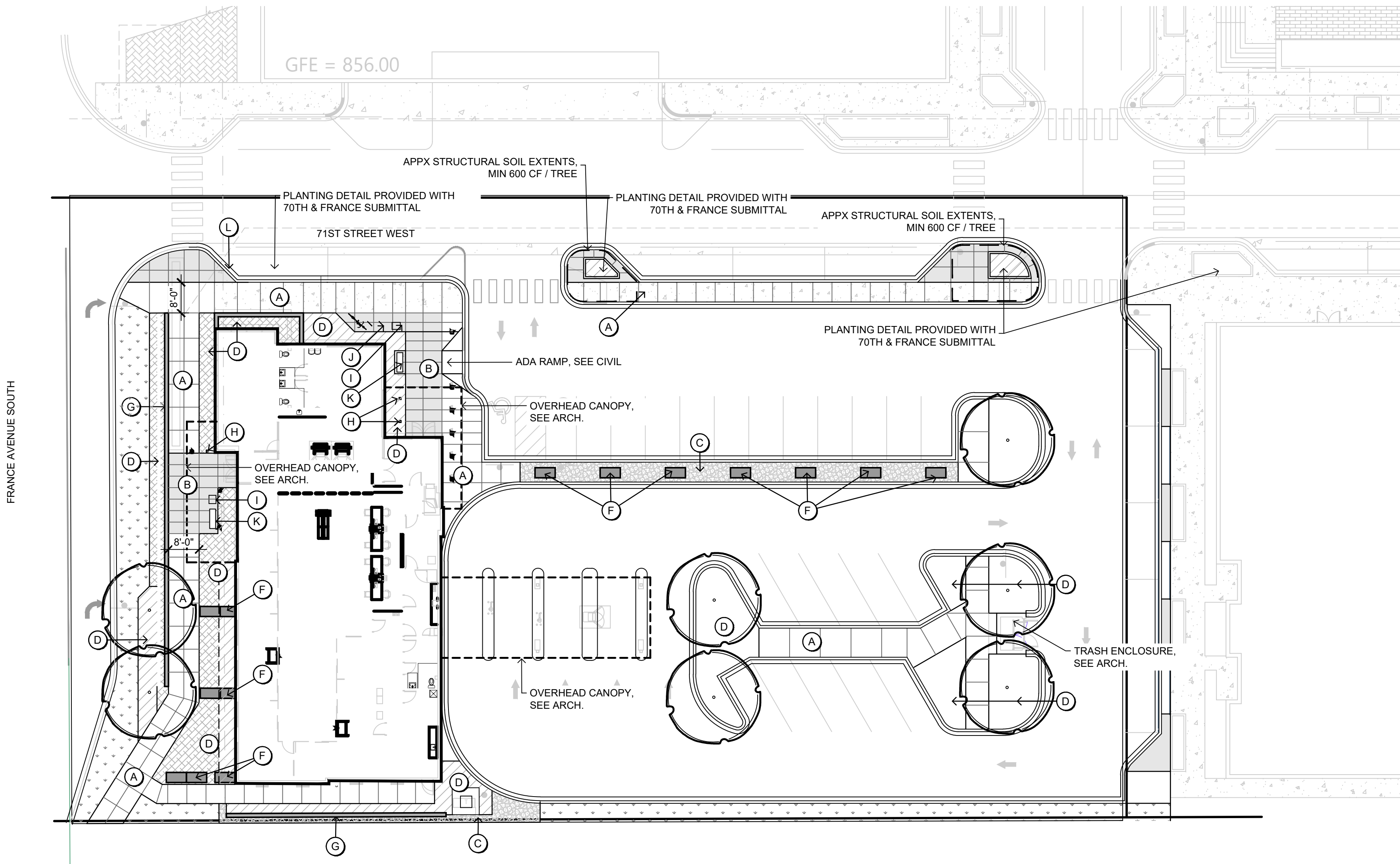


NOT FOR CONSTRUCTION









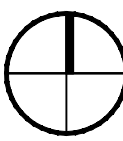
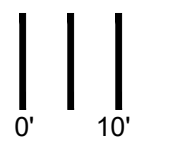
LANDSCAPE SITE PLAN HATCH LEGEND:

- CONCRETE PAVING
- DECORATIVE PAVING A
- DECORATIVE LIMESTONE MULCH
- TURF
- PLANT BED

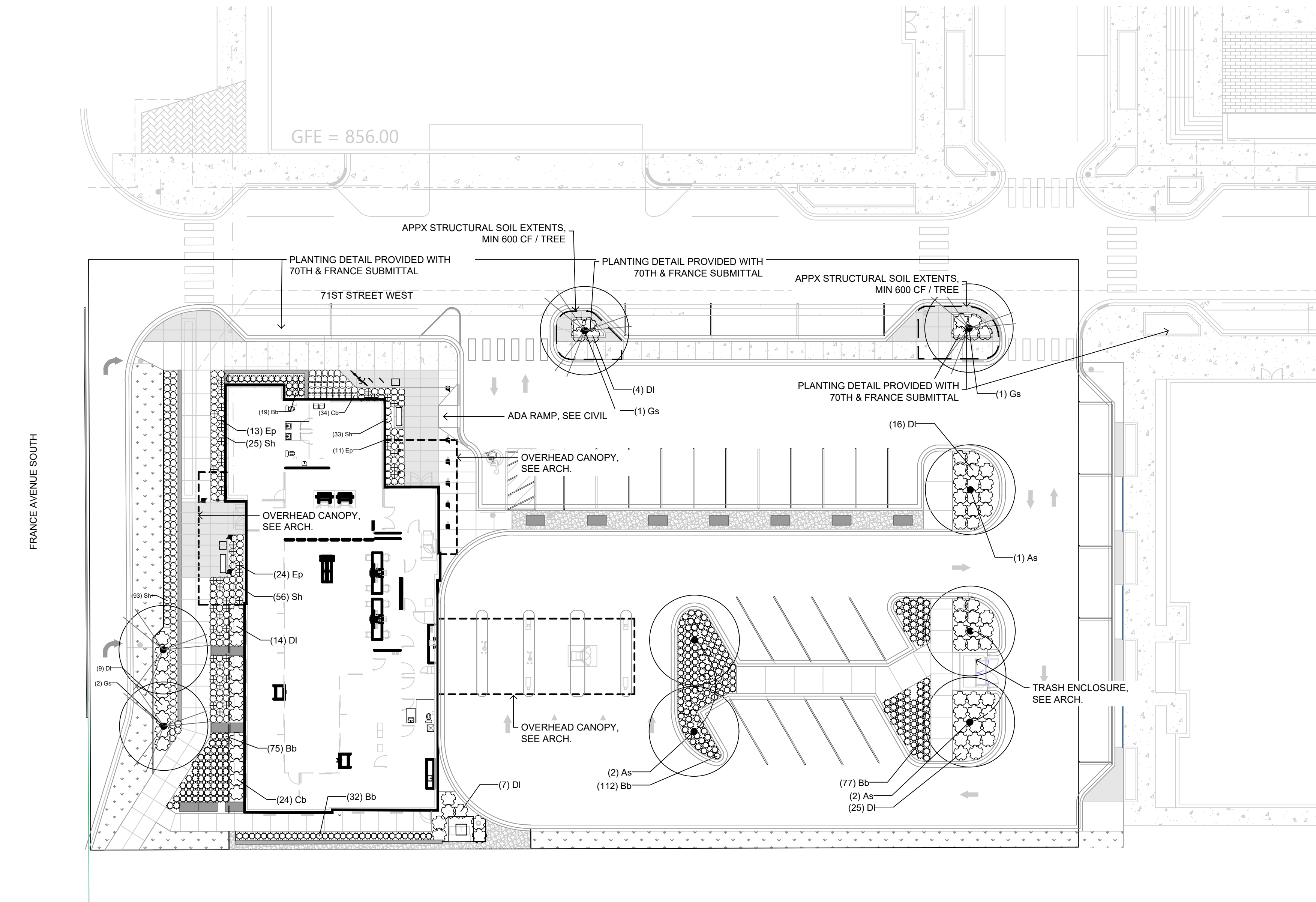
PLAN KEYNOTES:

- CONCRETE WALK
- DECORATIVE PAVING, TBD
- DECORATIVE LIMESTONE MULCH
- PLANTING BED (IRRIGATED)
- TURF / SOD (IRRIGATED)
- LIMESTONE ARCHITECTURAL BLOCK SAW CUT TOP AND SPLIT FACE ON SIDES
- RETAINING WALL, SEE L2.0
- LIGHT BOLLARD, TBD
- WASTE RECEPTACLES, TBD
- BIKE RACKS, TBD
- BENCH, TBD
- SIGNAGE

SCALE: 1"=20'



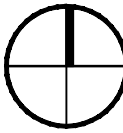
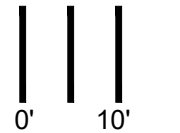
01 LANDSCAPE SITE PLAN



PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL
	As	5	Sienna Glen Maple / Acer x freemanii 'Sienna' TM	B & B	2.5"Cal
	Gs	4	Skyline Honey Locust / Gleditsia triacanthos 'Skyline'	B & B	2.5"Cal
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	DI	79	Dwarf Bush Honeysuckle / Diervilla lonicera	5 gal	
GRASSES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	Bb	301	Blonde Ambition Blue Grama / Bouteloua gracilis 'Blonde Ambition'	1 gal	
	Cb	34	Korean Feather Reed Grass / Calamagrostis brachytricha	1 gal	
	Sh	207	Prairie Dropseed / Sporobolus heterolepis	5 gal	
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	Ep	48	Coneflower / Echinacea purpurea	5 gal	

SCALE: 1"=20'



02 LANDSCAPE PLANTING PLAN



RSP Architects  
1220 Marshall Street NE 612.677.7100  
Minneapolis 612.677.7499 fax  
Minnesota 55413-1036 www.rsparch.com

Consultants



LANDSCAPE ARCHITECT  
CONFLUENCE  
530 N THIRD STREET, SUITE 120  
MINNEAPOLIS, MN 55401  
PH: (612) 333-3702  
www.thinkconfluence.com

Certification

NOT FOR  
CONSTRUCTION

I hereby certify that this plan, specification, or report was  
prepared by me or under my direct supervision and that I am  
a duly Licensed Landscape Architect under the laws of the  
State of Minnesota.

Name Terry Minarik

License Number 42242

Date Signed

Project For



US BANK FINAL  
DEVELOPMENT PLANS  
EDINA, MN

Project No. 19179

Drawn By JC

Checked By TM

Date 01/26/2021

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ISSUE SCHEDULE

ISSUE	DATE	DESCRIPTION
1	04/20/21	QTY OF EDINA SITE UPDATE

LANDSCAPE SITE PLAN

CONFLUENCE PROJECT NO. 19179

L1.0





RSP Architects  
1220 Marshall Street NE 612.677.7100  
Minneapolis 612.677.7499 fax  
Minnesota 55413-1036 www.rsparch.com

Consultants



LANDSCAPE ARCHITECT  
CONFLUENCE  
530 N THIRD STREET, SUITE 120  
MINNEAPOLIS, MN 55401  
PH: (612) 333-3702  
www.thinkconfluence.com

Certification

NOT FOR  
CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota.

Name Terry Minarik

License Number 42242

Date Signed

Project For



US BANK FINAL  
DEVELOPMENT PLANS  
EDINA, MN

Project No. 19179

Drawn By JC

Checked By TM

Date 01/26/2021

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ISSUE SCHEDULE

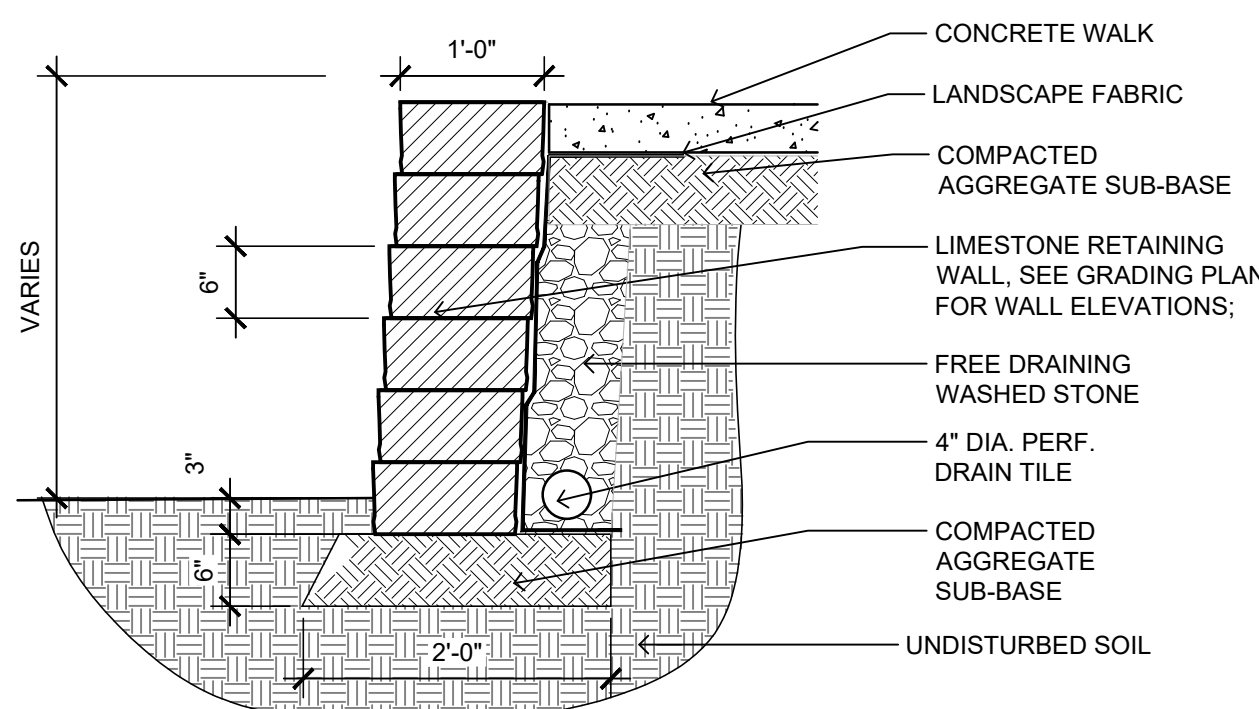
ISSUE	DATE	DESCRIPTION
1	04/20/21	CITY OF EDINA SITE UPDATE

LANDSCAPE DETAILS

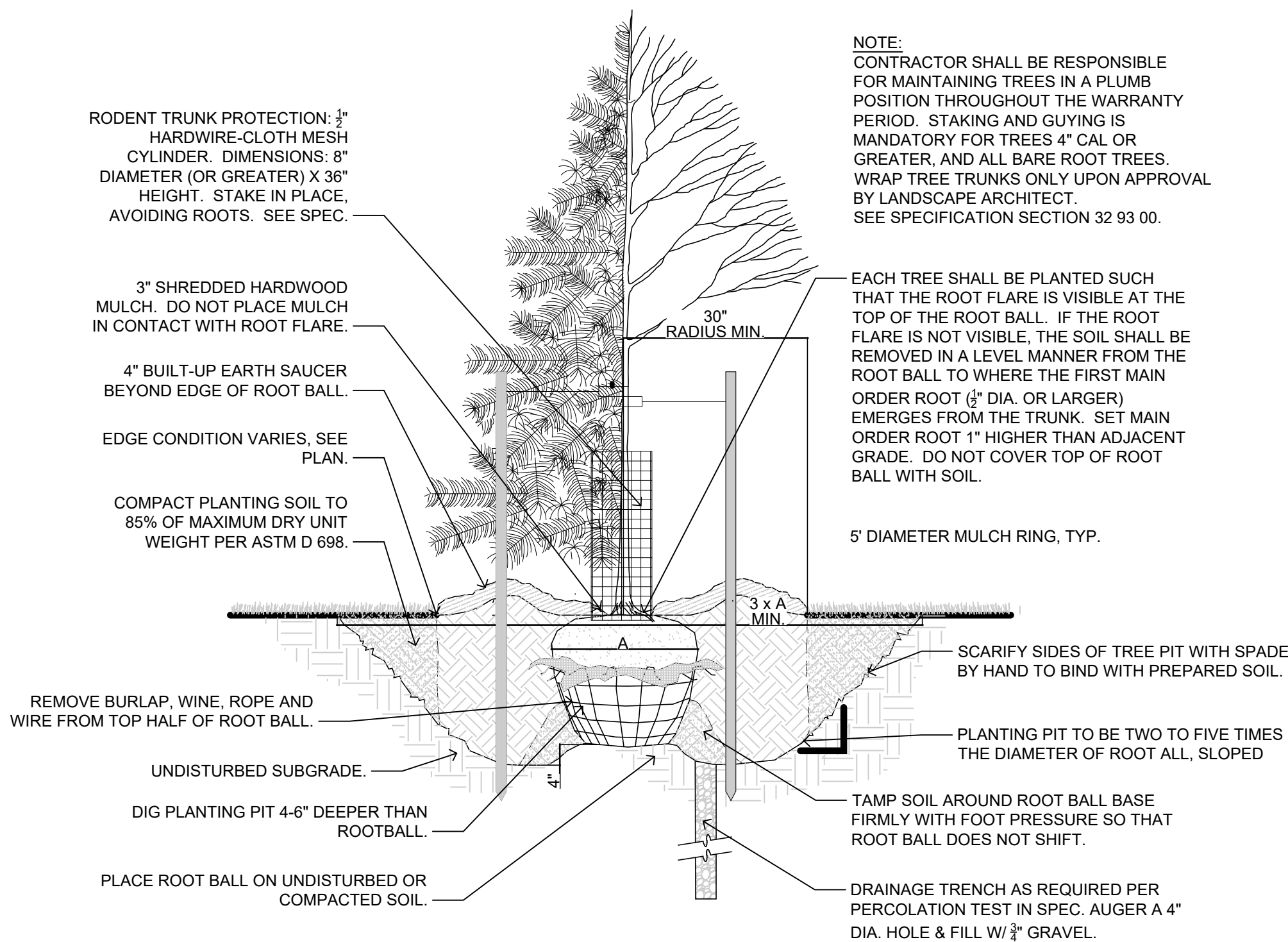
CONFLUENCE PROJECT NO: 19179

L2.0

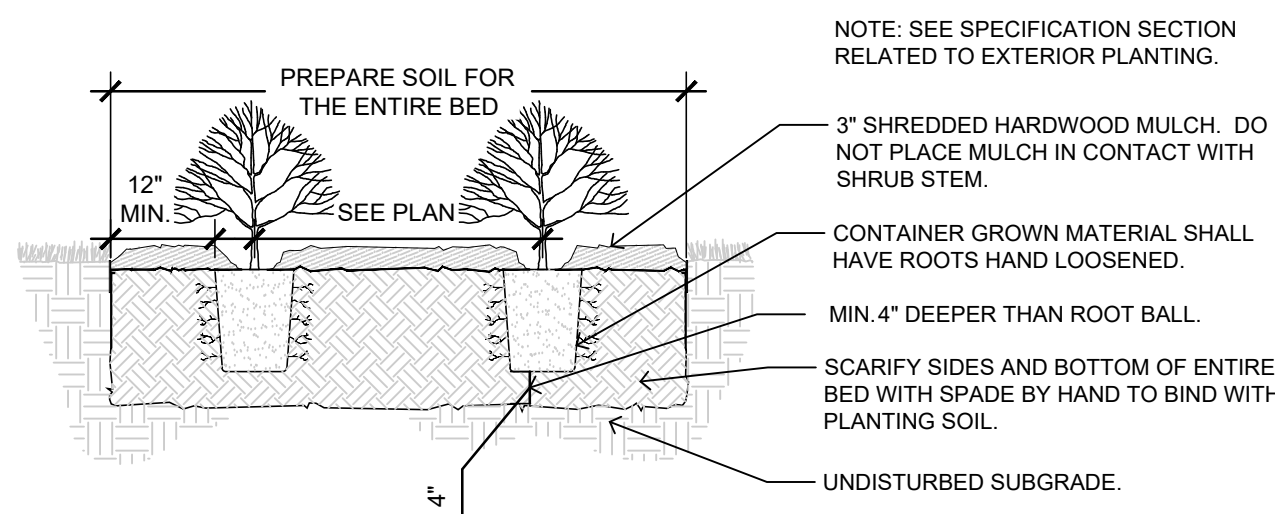
- NOTES:  
1. LIMESTONE IS MANKATO OR KASOTA  
2. SPLIT FACED EDGES; SAWN TOP AND BOTTOM



03  
L2.0 LIMESTONE WALL, TYP. 3/4" = 1'-0"



01  
L2.0 TREE PLANTING DETAIL, TYP. 1/2" = 1'-0"



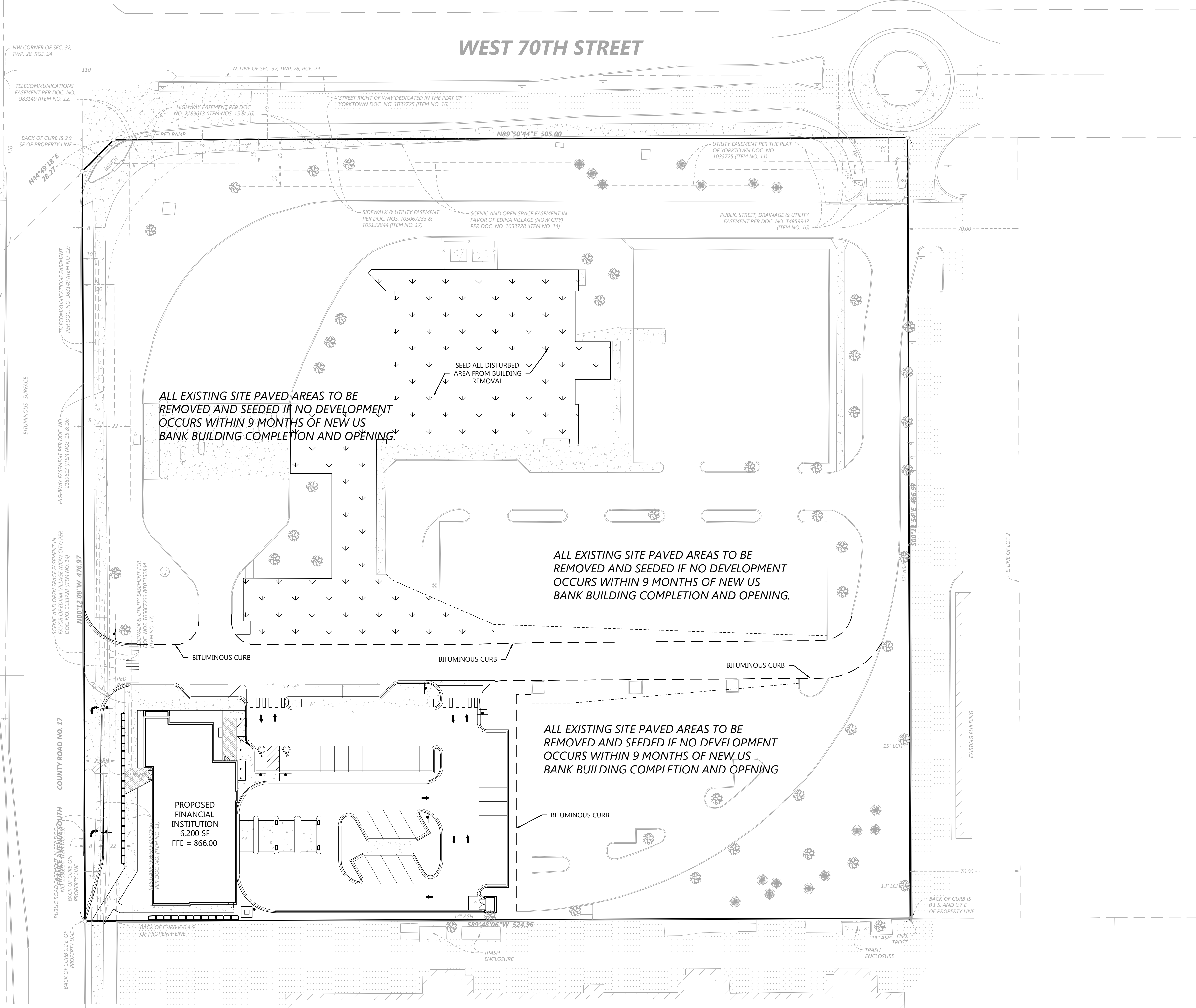
01  
L2.0 PLANTING DETAIL, TYP. 1/2" = 1'-0"





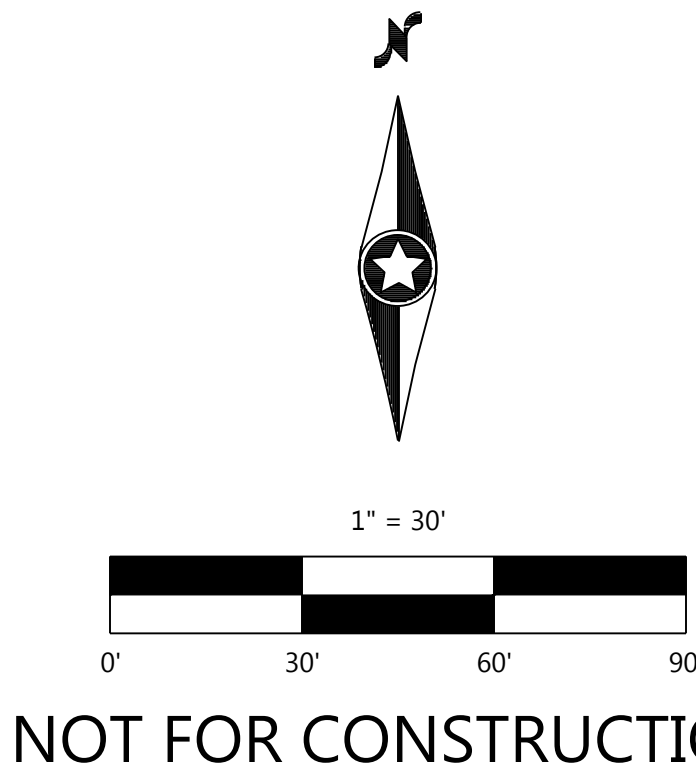


FRANCE AVENUE SOUTH COUNTY ROAD NO. 17



SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST



NOT FOR CONSTRUCTION

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

DESIGNED:	XX/XX/XX
CHECKED:	###
DRAWN:	###
DATE:	###
SCALE:	###
VERTICAL SCALE:	###

PREPARED FOR:  
**ORION/MORTENSON**  
4530 WEST 77TH STREET SUITE #365  
EDINA, MN 55435

**7001 FRANCE REDEVELOPMENT**  
EDINA, MN

**Westwood**  
Phone (952) 937-2510 12701 Whitewater Drive, Suite #300  
Fax (952) 937-2522 Minneapolis, MN 55435  
www.westwoodpro.com  
Westwood Professional Services, Inc.

PHASE 1 SITE PLAN

SHEET NUMBER:  
**3**

DATE: 02/04/21

PROJECT NUMBER: 0029211.10

7001 FRANCE REDEVELOPMENT